

AMENDED PLAT OF VILLA COMMUNITY AT THE OUTER BANKS
 CONDOMINIUMS PHASE 1
 LOTS NO. 29423, 29424 AND 29425
 JEFF CIMINILLO SUBDIVISION
 PLAT BOOK 24, PAGE 22
 IN THE S.W.1/4 OF SECTION 34
 T3S-R6E, AMERICAN TOWNSHIP
 ALLEN COUNTY, OHIO

TAX PARCELS #36-3410-02-017.000
 #36-3410-02-018.000
 #36-3410-02-019.000

BBA BUILDERS, INC.
 D.V.886, Pg.859

REVIEWED BY
M. Howbert
 MICHAEL L. HOWBERT, P.E.
 ALLEN COUNTY ENGINEER'S
 DATE: 6/10/04

DESCRIPTION
 VILLA COMMUNITY AT THE OUTER BANKS
 PHASE 1
 0.784 ACRES

Being Lots 29423, 29424 and 29425 in the Jeff Ciminillo Subdivision (Plat Book 24, Page 22) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin found on the west line of the Jeff Ciminillo Subdivision marking the southwest corner of Lot 29423 in said Subdivision -
 Thence North 00°-09'-37" East (bearing base) on and along the west line of Lots 29423, 29424 and 29425 in said Subdivision for a distance of 240.00 feet to a 5/8-inch iron pin found marking the northwest corner of Lot 29425, passing at 80.00 feet and at 160.00 feet 5/8-inch iron pins found -
 Thence South 89°-41'-59" East on and along the north line of said Lot for a distance of 143.34 feet to a 5/8-inch iron pin set on the west line of Westerly Drive marking the northeast corner of said Lot 29425 -
 Thence South 00°-38'-17" West on and along said west line of Westerly Drive and the east line of Lots 29425, 29424 and 29423 for a distance of 240.00 feet to a 5/8-inch iron pin found marking the southeast corner of said Lot 29423, passing at 80.00 feet and at 160.00 feet 5/8-inch iron pins found -
 Thence North 89°-41'-59" West on and along the south line of said Lot 29423 for a distance of 141.33 feet to the **place of beginning**.
 Containing in all 34,160 square feet or 0.784 acres of land subject, however, to all legal easements and rights of way.

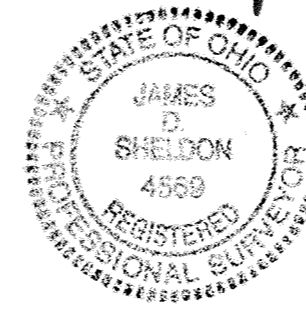
The foregoing description is based on a field survey performed on December 19, 2001, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

CERTIFICATION

I, James D. Sheldon, Registered Engineer No. 24779, State of Ohio, and Registered Surveyor No. 4569, State of Ohio, do hereby certify that the drawings herein, consisting of sheets numbered 1 & 3, correctly represent the location, dimensions and configurations of Villa Community at the Outer Banks Condominiums Phase I as they existed on the date shown.

Date: 5 MAY 04

James D. Sheldon
 James D. Sheldon, P.E., P.S.



COUNTY RECORDER'S CERTIFICATION

NO. 200411731

FILED FOR RECORD IN THE ALLEN COUNTY, OHIO, RECORDER'S OFFICE THIS 10th DATE OF June, 2004, AT 4:05 O'CLOCK P.M. AND RECORDED IN ALLEN COUNTY PLAT BOOK 26 ON PAGE 1.

FEE: \$ 82.80

DECLARATION: D.V. 927 PAGE 87

BY: Edward P. Rubin, M.H.
 RECORDER OF ALLEN COUNTY, OHIO

NOTE AS TO REVISION OF ORIGINAL PLAT

THE PLAT OF THE VILLA COMMUNITY AT THE OUTER BANKS CONDOMINIUMS PHASE I ORIGINALLY RECORDED ON JUNE 13, 2002 IN PLAT BOOK 24 AT PAGES 179-184 HAS BEEN REVISED AS FOLLOWS:

SHEETS 1 OF 6 AND 3 OF 6 OF THE ORIGINAL PLAT HAVE BEEN REVISED TO REFLECT A MODIFICATION TO UNIT C.

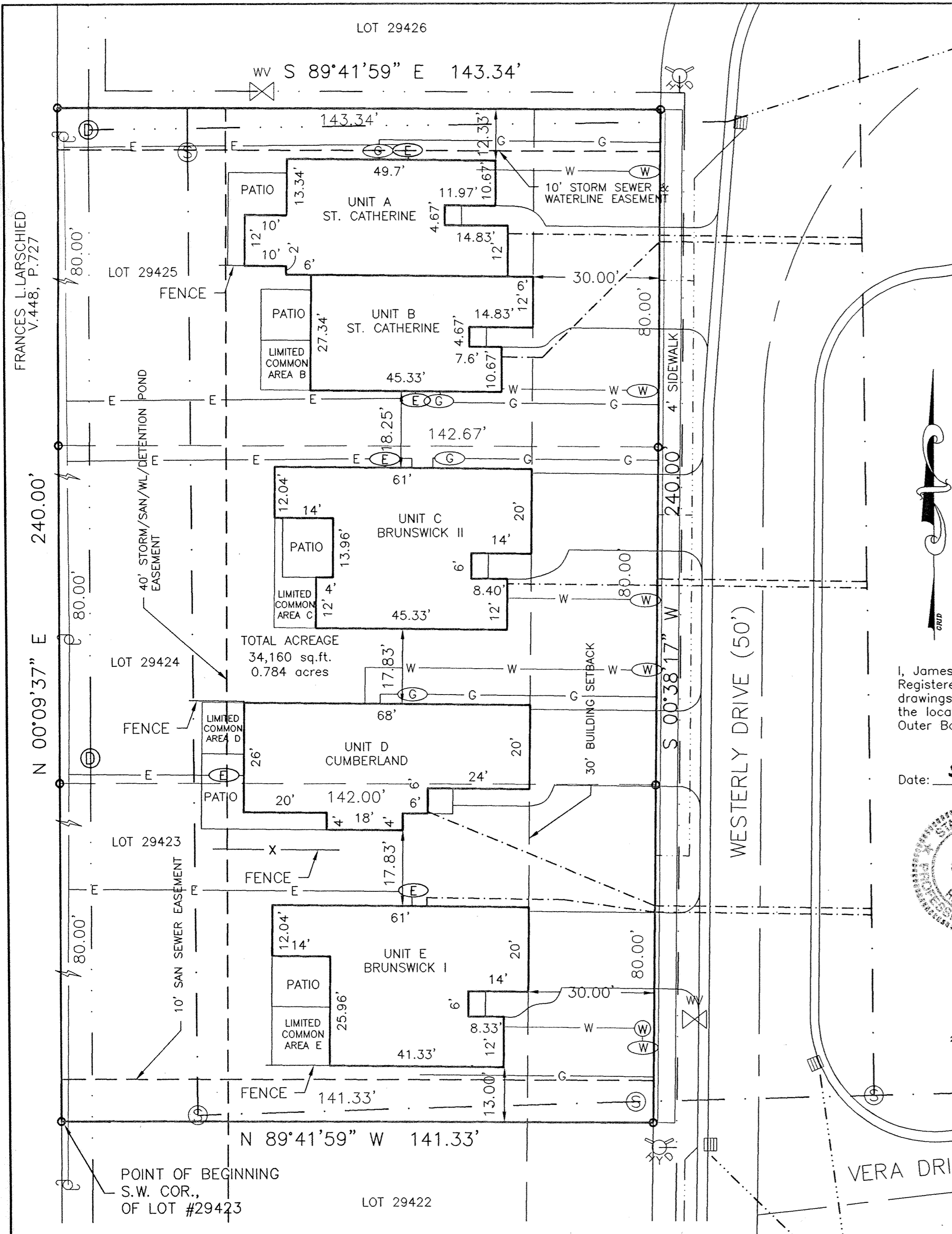
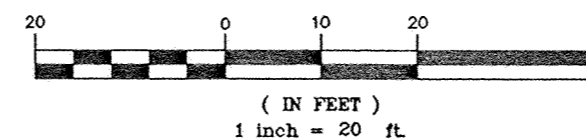
ALL OTHER PROVISIONS OF THE ORIGINALLY RECORDED PLAT REMAIN THE SAME.

SHEET 1 OF 6

LEGEND

- 5/8" X 30" IRON PIN FOUND AND CAPPED WITH A MARKER STAMPED 'SHELDON E & S / LIMA, OH'
- UTILITY POLE
- ⚡ INDICATES MAIN ELECTRIC LINES
- WV WATER VALVE
- ☀ FIRE HYDRANT
- ☐ CATCH BASIN
- W WATER VALVE & METER
- W WATER VALVE
- E ELECTRICAL METER
- G GAS METER
- D STORM MANHOLE
- S SAN MANHOLE
- E — ELECTRIC LINE
- S — SAN SEWER LATERAL
- W — WATERLINE
- G — GAS LINE
- S — STORM SEWER
- S — SAN SEWER
- W — MAIN WATERLINE

GRAPHIC SCALE



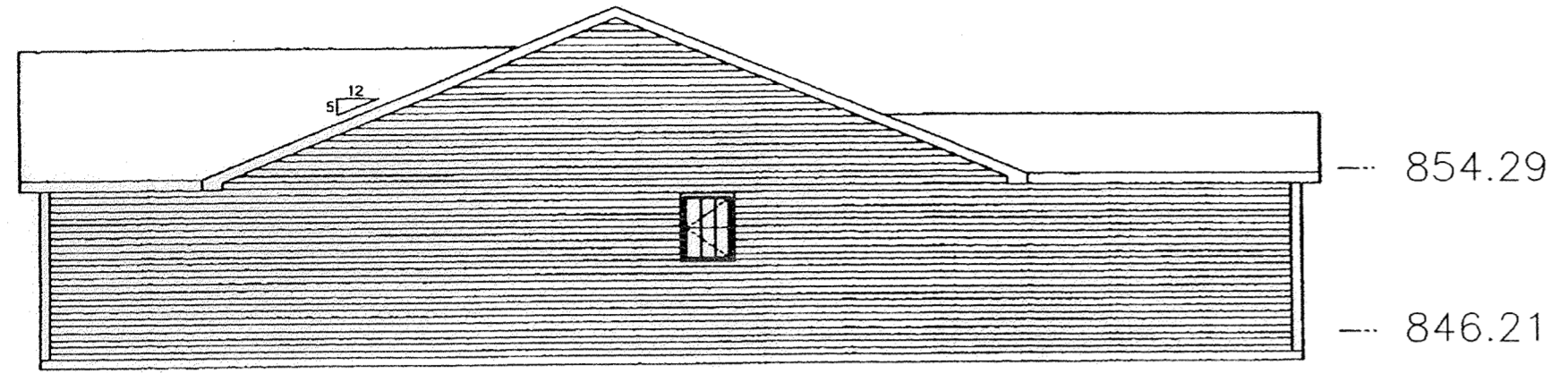
SHELDON ENGINEERING & SURVEYING, INC.
 LIMA, OHIO
 22201

NO.	DATE	DESCRIPTION	BY
1	12/13/01	DRAFT	RB
2	01/02/02	REVISED PL/SIGN	RB
3	05/22/02	REVISED BUILDING DIM./ PATIO	RB
4	04/29/04	REVISED UNIT C (ADDITION)	WSM

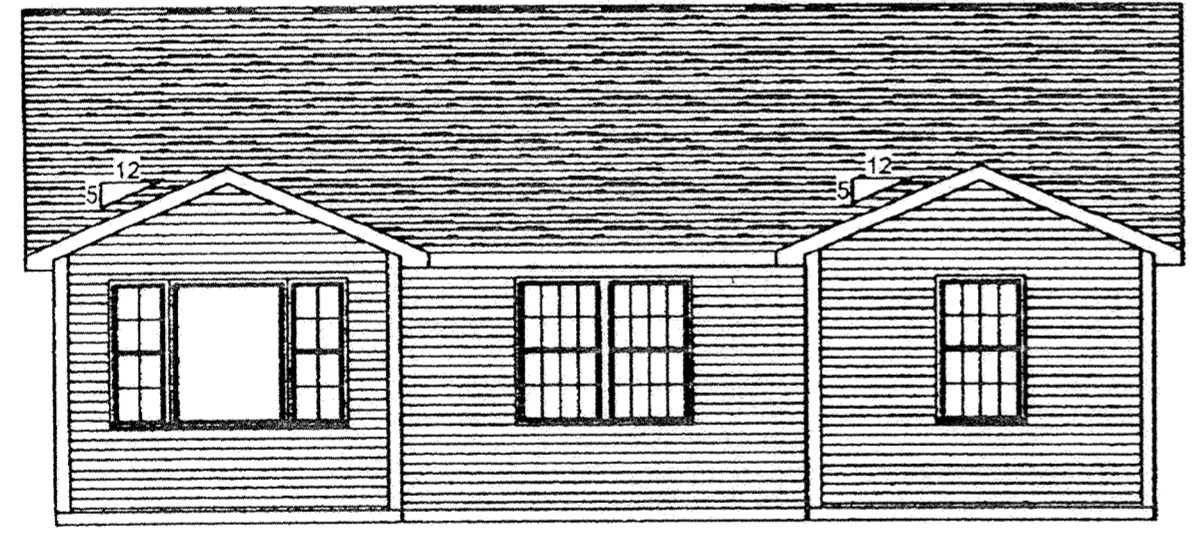
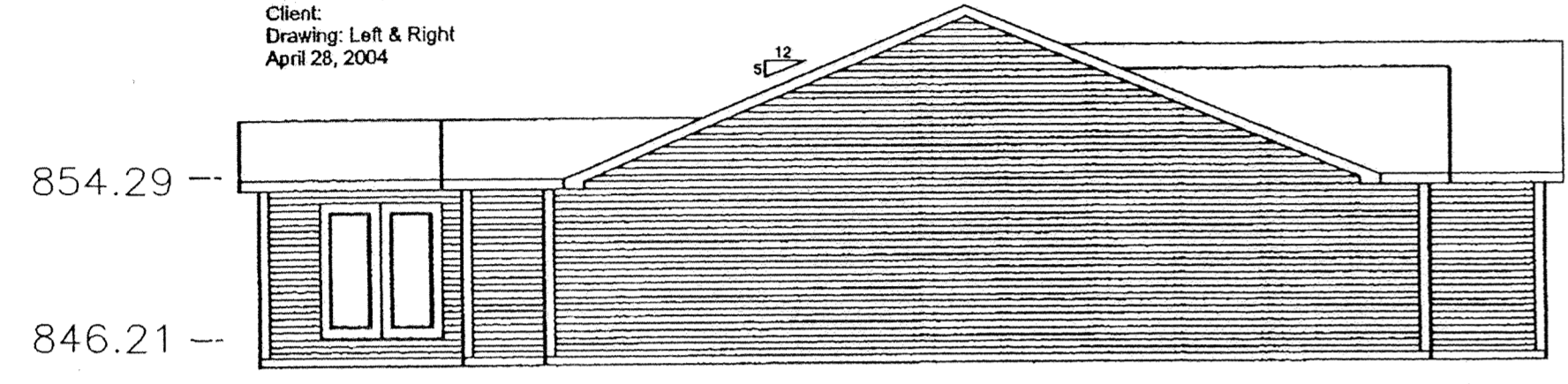
THIS PLAT REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED ON MARCH 17, 2004. REFERENCES: DEED RECORDS, TAX MAP & OFFICE RECORDS.

PREPARED BY:
 SHELDON ENGINEERING & SURVEYING, INC.
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E., P.S.

UNIT " C " - AMENDED FLOOR PLAN AND BUILDING ELEVATION PLAN

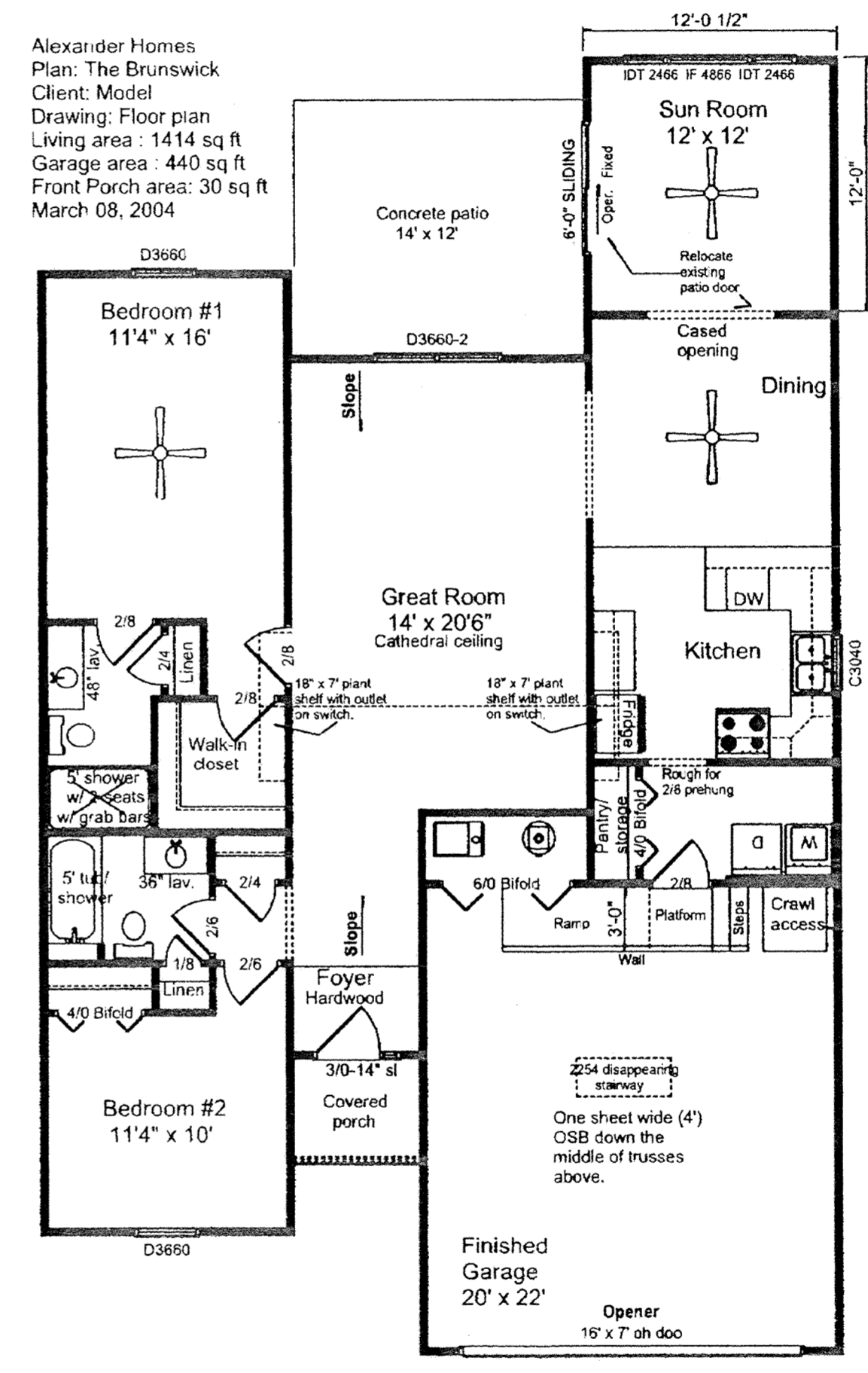


Alexander Homes
 Plan: The Brunswick
 Client: Model
 Drawing: Left & Right
 April 28, 2004



Alexander Homes
 Plan: The Brunswick
 Client: Model
 Drawing: Front & Rear
 March 08, 2004

Alexander Homes
 Plan: The Brunswick
 Client: Model
 Drawing: Floor plan
 Living area : 1414 sq ft
 Garage area : 440 sq ft
 Front Porch area: 30 sq ft
 March 08, 2004



SHEET 3 OF 6

SHELDON ENGINEERING & SURVEYING, INC.

LIMA, OHIO

REV	DATE	BY	NO.	22201

AMENDED PLAT OF VILLA COMMUNITY AT THE OUTER BANKS CONDOMINIUMS PHASE IV

PART OF LOT 29707 & PART OF LOT 29711
JEFF CIMINILLO SUBDIVISION REPLAT (P.B. 25, P.24)
IN THE S.W. 1/4 OF SECTION 34
T 3 S - R 6 E, AMERICAN TOWNSHIP
ALLEN COUNTY, OHIO

BBA BUILDERS, INC.
VOL. 886, P. 859

CERTIFICATION

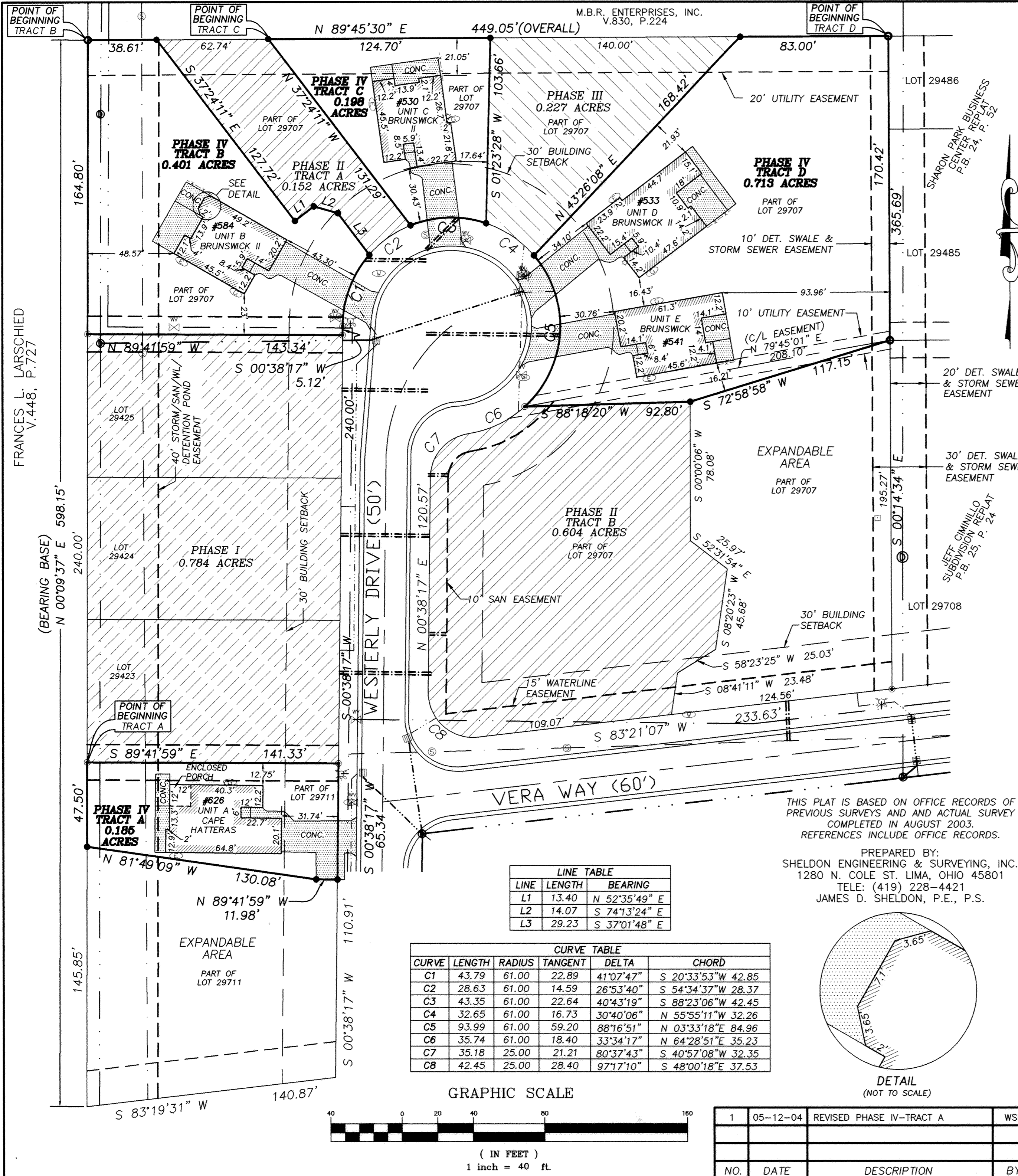
I, James D. Sheldon, Registered Engineer No. 24779, State of Ohio, and Registered Surveyor No. 4569, State of Ohio, do hereby certify that the drawings herein, consisting of sheets numbered 1 & 2, correctly represent the location, dimensions and configurations of Villa Community at the Outer Banks Condominiums Phase IV as they existed on the date shown.

Date: 24 May 04
James D. Sheldon, P.E., P.S.



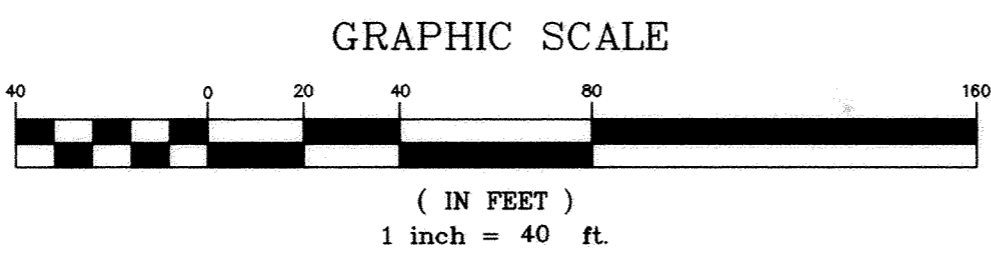
COUNTY RECORDER'S CERTIFICATION

NO. 200411733
FILED FOR RECORD IN THE ALLEN COUNTY, OHIO, RECORDER'S OFFICE THIS
10th DATE OF June, 2004, AT 4:07 O'CLOCK P.M.
AND RECORDED IN ALLEN COUNTY PLAT BOOK 26 ON PAGE 3
FEE: \$ 82.80
DECLARATION: D.V. 927 PAGE 95
BY: Colmud P. Keih ml
RECORDER OF ALLEN COUNTY, OHIO



LINE TABLE		
LINE	LENGTH	BEARING
L1	13.40	N 52°35'49" E
L2	14.07	S 74°13'24" E
L3	29.23	S 37°01'48" E

CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD
C1	43.79	61.00	22.89	41°07'47"	S 20°33'53"W 42.85
C2	28.63	61.00	14.59	26°53'40"	S 54°34'37"W 28.37
C3	43.35	61.00	22.64	40°43'19"	S 88°23'06"W 42.45
C4	32.65	61.00	16.73	30°40'06"	N 55°55'11"W 32.26
C5	93.99	61.00	59.20	88°16'51"	N 03°33'18"E 84.96
C6	35.74	61.00	18.40	33°34'17"	N 64°28'51"E 35.23
C7	35.18	25.00	21.21	80°37'43"	S 40°57'08"W 32.35
C8	42.45	25.00	28.40	97°17'10"	S 48°00'18"E 37.53



LEGEND

- 5/8" X 30" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- 5/8" IRON PIN CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH" FOUND
- CONCRETE MONUMENT FOUND
- ☆ 4" PVC CLEAN OUT
- ⊙ STORM MANHOLE
- ⊙ SANITARY MANHOLE
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT W/ VALVE
- ⊙ CATCH BASIN
- ⊙ WATER METER AND VALVE
- ⊙ ELECTRIC METER
- ⊙ GAS METER
- ⊙ TRANSFORMER
- ⊙ TELEPHONE PEDESTAL
- MAIN WATER LINE
- SANITARY SEWER LATERAL
- STORM SEWER
- SANITARY SEWER
- ▨ LIMITED COMMON AREA
- ▨ COMMON AREA
- ▨ PHASE I VILLA COMMUNITY AT THE OUTER BANKS
- ▨ PHASE II VILLA COMMUNITY AT THE OUTER BANKS
- ▨ PHASE III VILLA COMMUNITY AT THE OUTER BANKS
- ▨ BUILDING
- * --- PRIVACY FENCE (FUTURE IMPROVEMENT)

NOTE AS TO REVISION OF ORIGINAL PLAT
THE PLAT OF THE VILLA COMMUNITY AT THE OUTER BANKS CONDOMINIUMS PHASE IV ORIGINALLY RECORDED ON AUGUST 13, 2003 IN PLAT BOOK 25 AT PAGES 115-122 HAS BEEN REVISED AS FOLLOWS:

SHEETS 1 OF 8 AND 2 OF 8 OF THE ORIGINAL PLAT HAVE BEEN REVISED TO REFLECT A MODIFICATION TO TRACT A.
ALL OTHER PROVISIONS OF THE ORIGINALLY RECORDED PLAT REMAIN THE SAME.

SHEET 1 OF 8

SHELDON ENGINEERING & SURVEYING, INC.



LIMA, OHIO

08-11-2003	DATE	JOB NO.
WSM	DRAWN	22201D
JDS	CHECKED	
JDS	APPROVED	SCALE 1" = 40'

1	05-12-04	REVISED PHASE IV-TRACT A	WSM
NO.	DATE	DESCRIPTION	BY

**VILLA COMMUNITY
AT THE OUTER BANKS
CONDOMINIUMS PHASE IV
PART OF LOT 29707 & PART OF LOT 29711
JEFF CIMINILLO SUBDIVISION REPLAT (P.B. 25, P.24)
IN THE S.W. 1/4 OF SECTION 34
T 3 S - R 6 E, AMERICAN TOWNSHIP
ALLEN COUNTY, OHIO**

BBA BUILDERS, INC.
VOL. 886, P. 859

**DESCRIPTION
VILLA COMMUNITY AT THE OUTER BANKS PHASE IV
TRACT A
0.185 ACRES**

Being a Part of Lot 29711 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin found marking the northwest corner of said Lot 29711 -

Thence South 89°-41'-59" East on and along the north line of said Lot for a distance of 141.33 feet to a 5/8-inch iron pin found on the west line of Westerly Drive -

Thence South 00°-38'-17" West on and along said west line of Westerly Drive and the east line of said Lot for a distance of 65.34 feet to a 5/8-inch iron pin set -

Thence North 89°-41'-59" West for a distance of 11.98 feet to a 5/8-inch iron pin set -

Thence North 81°-49'-09" West for a distance of 130.08 feet to a 5/8-inch iron pin set on the west line of said Lot -

Thence North 00°-09'-37" East on and along said west line for a distance of 47.50 feet to the place of beginning.

Containing in all 8,068 square feet or 0.185 acres of land subject, however, to all legal easements and rights of way.

**DESCRIPTION
VILLA COMMUNITY AT THE OUTER BANKS PHASE IV
TRACT B
0.401 ACRES**

Being a Part of Lot 29707 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin in a concrete monument found marking the northwest corner of said Lot 29707 -

Thence North 89°-45'-30" East on and along the north line of said Lot for a distance of 38.61 feet to a 5/8-inch iron pin set -

Thence South 37°-24'-11" East for a distance of 127.72 feet to a 5/8-inch iron pin set -

Thence North 52°-35'-49" East for a distance of 13.40 feet to a 5/8-inch iron pin set -

Thence South 74°-13'-24" East for a distance of 14.07 feet to a 5/8-inch iron pin set -

Thence South 37°-01'-48" East for a distance of 29.23 feet to a 5/8-inch iron pin set on the northwesterly right of way of Westerly Drive -

Thence on and along said right of way of Westerly Drive the following two (2) courses:

1) With a curve to the left having a radius of 61.00 feet, an arc length of 43.79 feet and a chord bearing South 20°-33'-53" West for a distance of 42.85 feet to a 5/8-inch iron pin found -

2) South 00°-38'-17" West for a distance of 5.12 feet to a 5/8-inch iron pin found -

Thence North 89°-41'-59" West for a distance of 143.34 feet to a 5/8-inch iron pin found on the west line of said Lot -

Thence North 00°-09'-37" East on and along said west line for a distance of 164.80 feet to the place of beginning.

Containing in all 17,493 square feet or 0.401 acres of land subject, however, to all legal easements and rights of way.

**DESCRIPTION
VILLA COMMUNITY AT THE OUTER BANKS PHASE IV
TRACT C
0.198 ACRES**

Being a Part of Lot 29707 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

Commencing for reference at a 5/8-inch iron pin in a concrete monument found marking the northwest corner of said Lot 29707 -

Thence on and along the north line of said Lot the following two (2) courses:

1) North 89°-45'-30" East for a distance of 101.35 feet to a 5/8-inch iron pin set marking the **PRINCIPAL POINT OF BEGINNING** for the parcel to be described by this instrument -

2) North 89°-45'-30" East for a distance of 124.70 feet to a 5/8-inch iron pin set -

Thence South 01°-23'-28" West through said Lot for a distance of 103.66 feet to a 5/8-inch iron pin set on the northerly right of way of Westerly Drive -

Thence on and along said right of way with a curve to the left having a radius of 61.00 feet, an arc length of 43.35 feet and a chord bearing South 88°-23'-06" West for a distance of 42.45 feet to a 5/8-inch iron pin set -

Thence North 37°-24'-11" West through said Lot 29707 for a distance of 131.29 feet to the place of beginning.

Containing in all 8,612 square feet or 0.198 acres of land subject, however, to all legal easements and rights of way.

**DESCRIPTION
VILLA COMMUNITY AT THE OUTER BANKS PHASE IV
TRACT D
0.713 ACRES**

Being a Part of Lot 29707 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin in a concrete monument found marking the northeast corner of said Lot 29707 -

Thence South 00°-14'-34" East on and along the east line of said Lot for a distance of 170.42 feet to a 5/8-inch iron pin in a concrete monument found marking the northwest corner of Lot 29708 in said Subdivision -

Thence South 72°-58'-58" West for a distance of 117.15 feet to a 5/8-inch iron pin set -

Thence South 88°-18'-20" West for a distance of 92.80 feet to a 5/8-inch iron pin found on the easterly right of way of Westerly Drive -

Thence on and along said right of way with a curve to the left having a radius of 61.00 feet, an arc length of 93.99 feet and a chord bearing North 03°-33'-18" East for a distance of 84.96 feet to a 5/8-inch iron pin set -

Thence North 43°-26'-08" East through said Lot 29707 for a distance of 168.42 feet to a 5/8-inch iron pin set on the north line of said Lot -

Thence North 89°-45'-30" East on and along said north line for a distance of 83.00 feet to the place of beginning.

Containing in all 31,052 square feet or 0.713 acres of land subject, however, to all legal easements and rights of way.

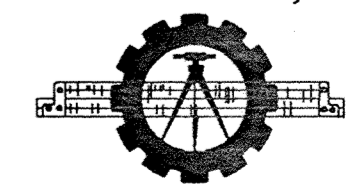
The foregoing descriptions are based on office records of previous surveys and a current field survey completed in August, 2003, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

NOTES: 1. Bearings are based on the west line of the Jeff Ciminillo Subdivision Replat as being North 00°-09'-37" East.
2. All iron pins found or set are 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.

REVIEWED BY:
m. Howbert
MICHAEL L. HOWBERT, P.E.
ALLEN COUNTY ENGINEER'S
DATE: 6/16/04

SHEET 2 OF 8

**SHELDON ENGINEERING
& SURVEYING, INC.**



LIMA, OHIO

DB-01-2003	DATE	JOB NO.	22201D
DRAWN	WSM	CHECKED	JDS
CHECKED	JDS	APPROVED	JDS
SCALE		NONE	

1	05-12-04	REVISED TRACT A DESCRIPTION ONLY	WSM
NO.	DATE	DESCRIPTION	BY

**PLAT OF VILLA COMMUNITY
AT THE OUTER BANKS
CONDOMINIUMS PHASE V
PART OF LOT 29711 IN JEFF CIMINILLO
SUBDIVISION REPLAT (P.B. 25, P.24)
IN THE S.W. 1/4 OF SECTION 34
T 3 S - R 6 E, AMERICAN TOWNSHIP
ALLEN COUNTY, OHIO**

**BBA BUILDERS, INC.
VOL. 886, P. 859**

**DESCRIPTION
VILLA COMMUNITY AT THE OUTER BANKS PHASE V
0.411 ACRES**

Being a Part of Lot 29711 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin in a concrete monument found on the west line of Westerly Drive marking the southeast corner of said Lot 29711 -
Thence South 83°-19'-34" West on and along the south line of said Lot for a distance of 140.87 feet to a 5/8-inch iron pin in a concrete monument found marking the southwest corner of said Lot -
Thence North 00°-09'-37" East on and along the west line of said Lot for a distance of 145.85 feet to a 5/8-inch iron pin set -
Thence South 81°-49'-09" East for a distance of 130.08 feet to a 5/8-inch iron pin set -
Thence South 89°-41'-59" East for a distance of 11.98 feet to a 5/8-inch iron pin set on the east line of said Lot and the west line of Westerly Drive -
Thence South 00°-38'-17" West on and along said east Lot line and the west line of said Westerly Drive for a distance of 110.91 feet to the place of beginning.

Containing in all 17,908 square feet or 0.411 acres of land subject, however, to all legal easements and rights of way.

The foregoing description is based on office records of previous surveys and a current field survey completed in May, 2004, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

- NOTES: 1. Bearings are based on the west line of the Jeff Ciminillo Subdivision Replat as being North 00°-09'-37" East.
2. All iron pins found or set are 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.

CERTIFICATION

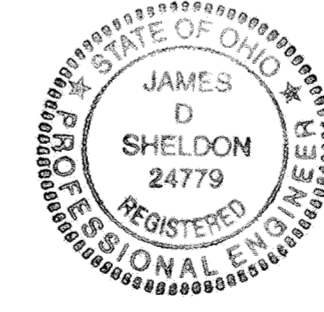
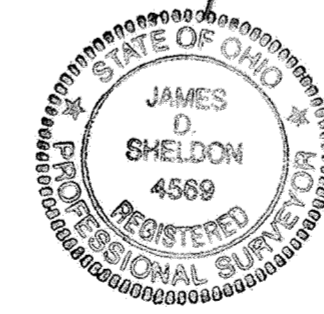
I, James D. Sheldon, Registered Engineer No. 24779, State of Ohio, and Registered Surveyor No. 4569, State of Ohio, do hereby certify that the drawings herein, consisting of sheets numbered 1 through 4, correctly represent the location, dimensions and configurations of Villa Community at the Outer Banks Condominiums Phase I as they existed on the date shown.

Date: 24 May 04

James D. Sheldon
James D. Sheldon, P.E., P.S.

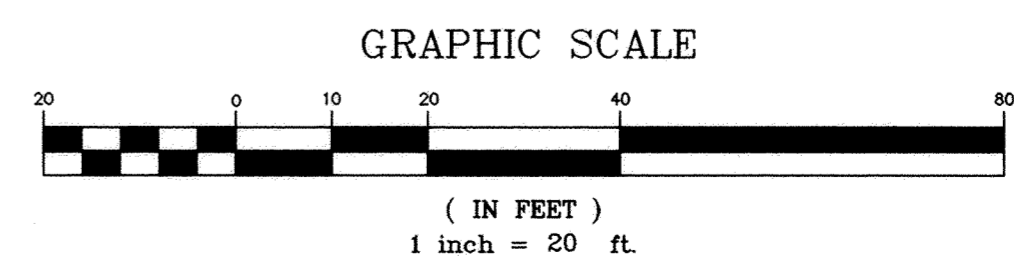
COUNTY RECORDER'S CERTIFICATION

NO. 200411735
FILED FOR RECORD IN THE ALLEN COUNTY, OHIO, RECORDER'S OFFICE THIS 10th DATE OF June, 2004.
AT 4:11 O'CLOCK P.M. AND RECORDED IN ALLEN COUNTY PLAT BOOK 26 ON PAGE 5.
FEE: \$ 165.60.
DECLARATION: D.V. 927 PAGE 103.
BY: Edward P. Kunk M.H.
RECORDER OF ALLEN COUNTY, OHIO



PREPARED BY:
SHELDON ENGINEERING & SURVEYING, INC.
1280 N. COLE ST. LIMA, OHIO 45801
TELE: (419) 228-4421
JAMES D. SHELDON, P.E., P.S.

THIS PLAT IS BASED ON OFFICE RECORDS OF PREVIOUS SURVEYS AND AN ACTUAL SURVEY COMPLETED IN MAY 2004.
REFERENCES INCLUDE OFFICE RECORDS.



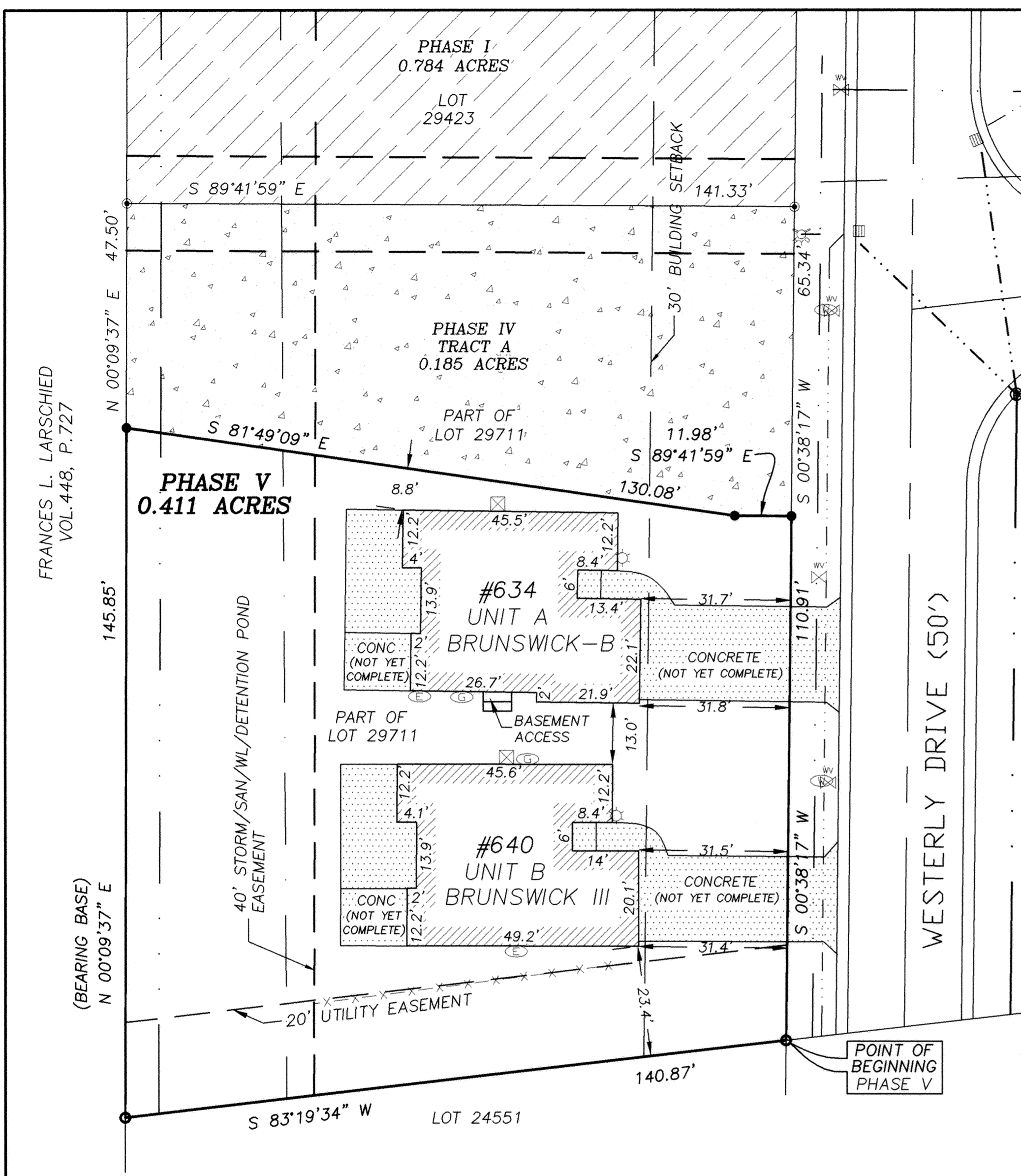
SHEET 1 OF 4

SHELDON ENGINEERING & SURVEYING, INC.



LIMA, OHIO

05-12-2004	DATE	JOB
DRAWN	WSM	NO. 22201E
CHECKED	JDS	
APPROVED	JDS	SCALE 1" = 20'

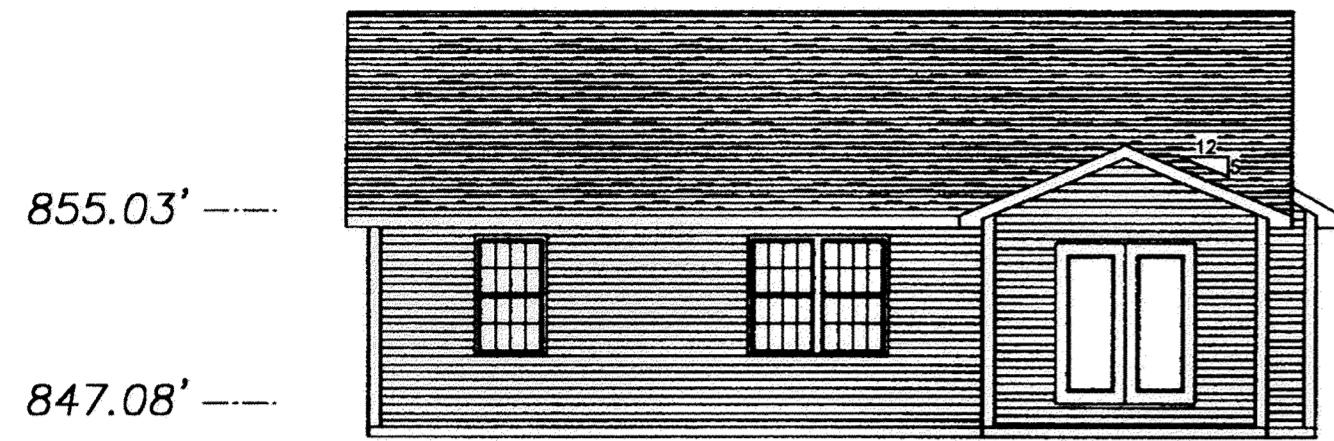


FRANCES L. LARSCHIED
VOL. 448, P. 727

LEGEND

- 5/8" X 30" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- 5/8" IRON PIN CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH" FOUND
- CONCRETE MONUMENT FOUND
- ⊙ 4" PVC CLEAN OUT
- ⊙ STORM MANHOLE
- ⊙ SANITARY MANHOLE
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT W/ VALVE
- ⊙ CATCH BASIN
- ⊙ WATER METER AND VALVE
- ⊙ ELECTRIC METER
- ⊙ GAS METER
- ⊙ AIR CONDITIONING UNIT
- — — — — MAIN WATER LINE
- · — · — · — SANITARY SEWER LATERAL
- · — · — · — STORM SEWER
- — — — — SANITARY SEWER
- x-x-x-x- PRIVACY FENCE
- [Stippled] LIMITED COMMON AREA
- [White] COMMON AREA
- [Diagonal Lines] PHASE I VILLA COMMUNITY AT THE OUTER BANKS
- [Diagonal Lines] PHASE II VILLA COMMUNITY AT THE OUTER BANKS
- [Diagonal Lines] PHASE IV VILLA COMMUNITY AT THE OUTER BANKS
- [Hatched] BUILDING

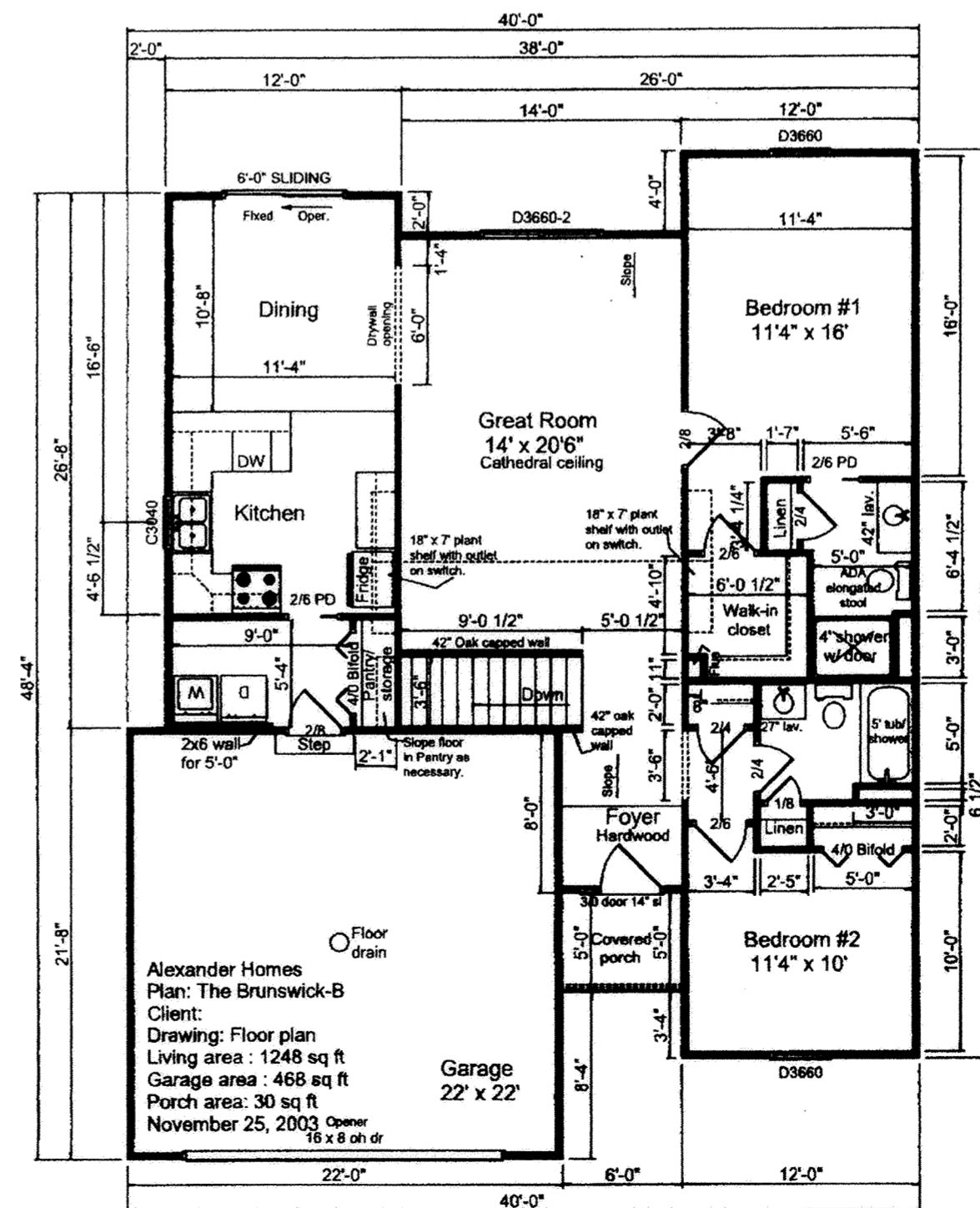
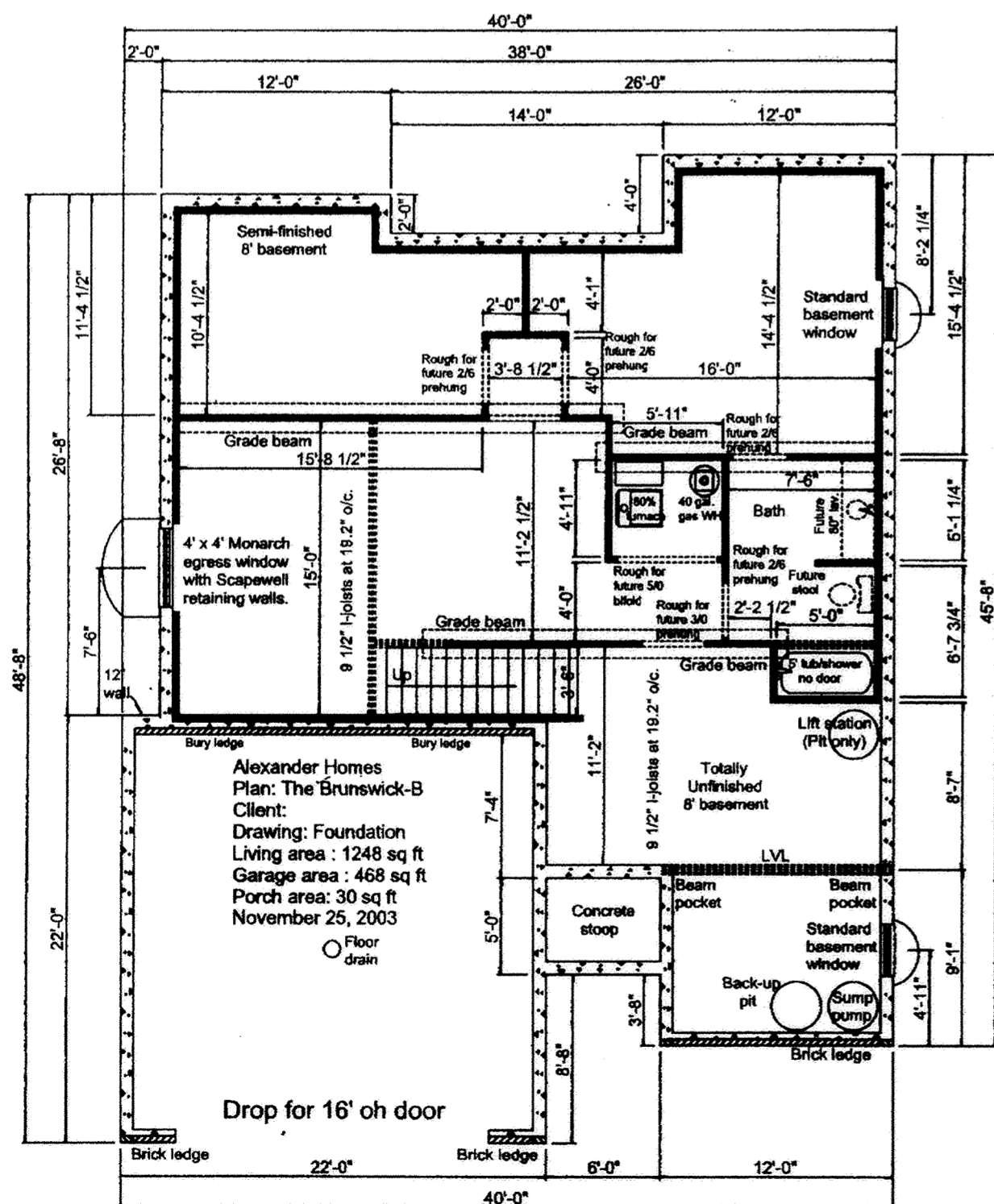
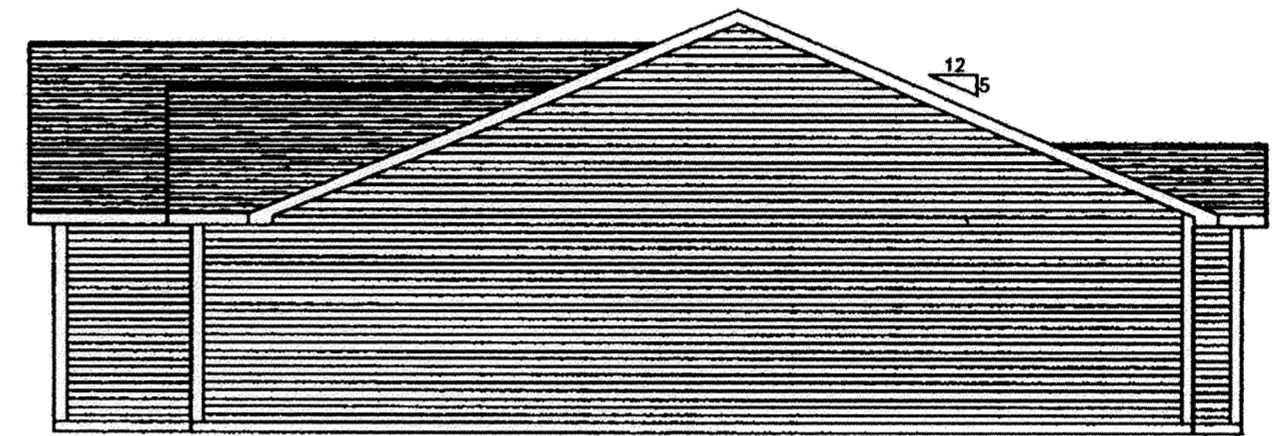
UNIT "A" - FLOOR PLAN AND BUILDING ELEVATIONS



Alexander Homes
Plan: The Brunswick-B
Client:
Drawing: Front & Rear
November 25, 2003



Alexander Homes
Plan: The Brunswick-B
Client:
Drawing: Left & Right
November 25, 2003



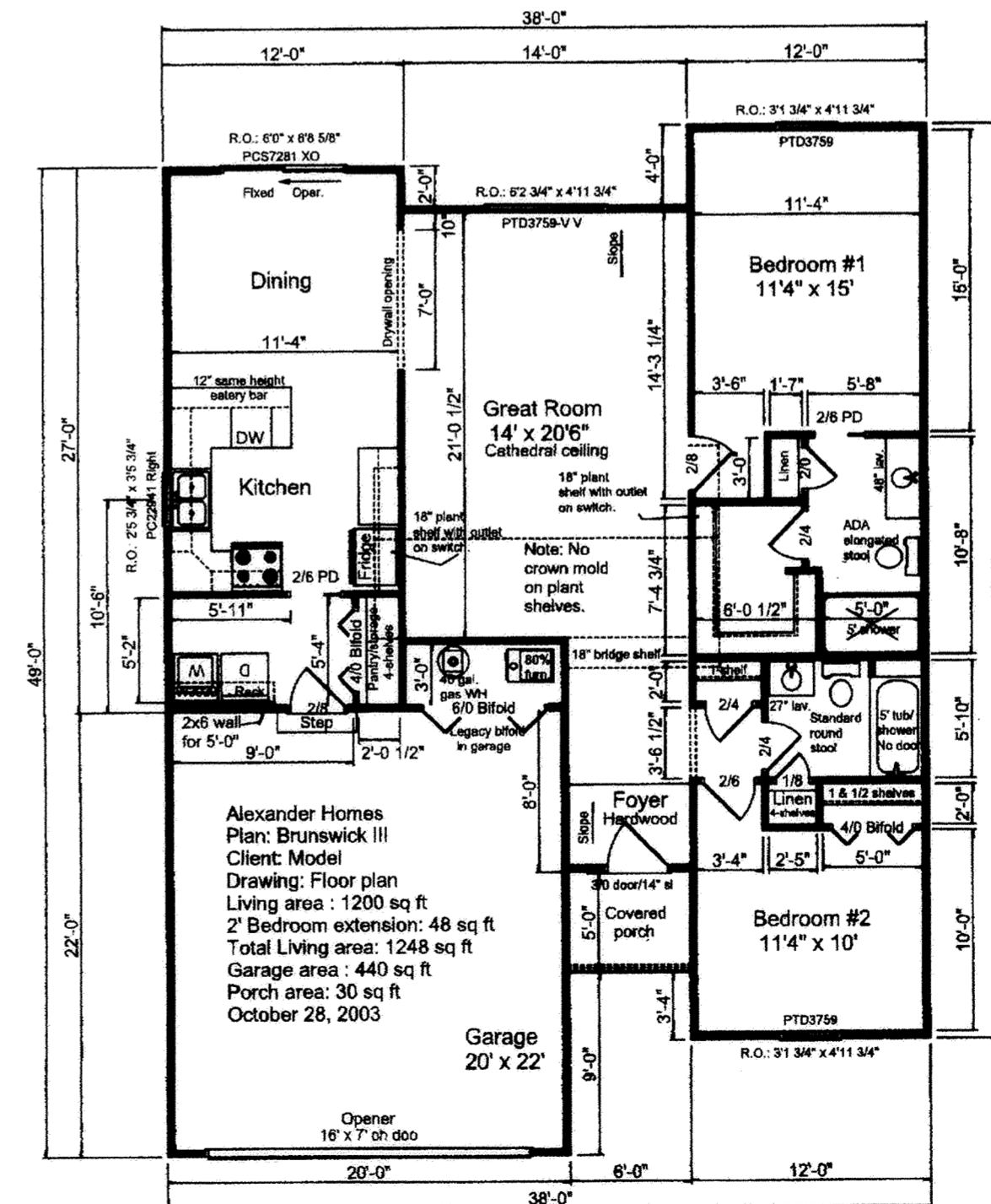
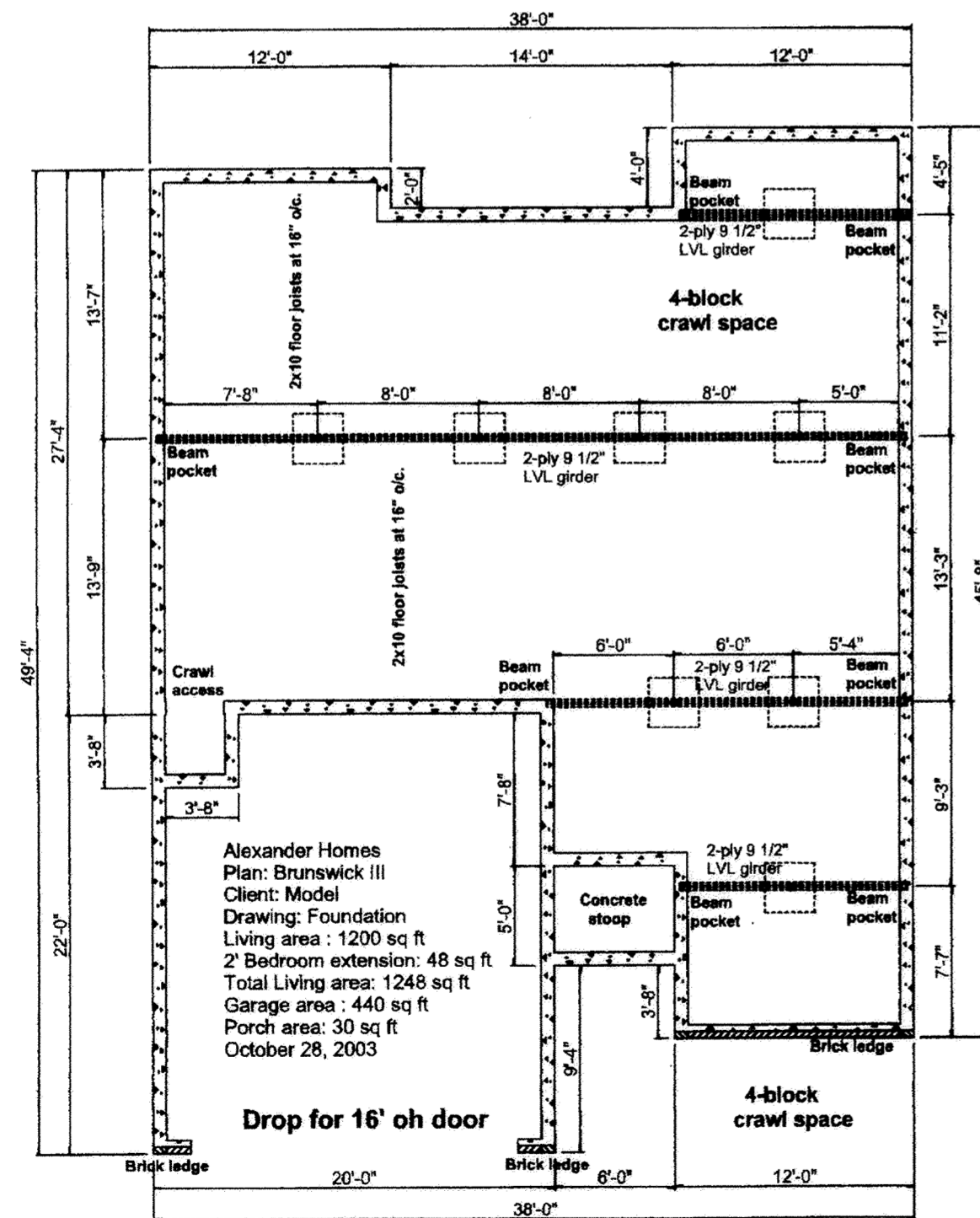
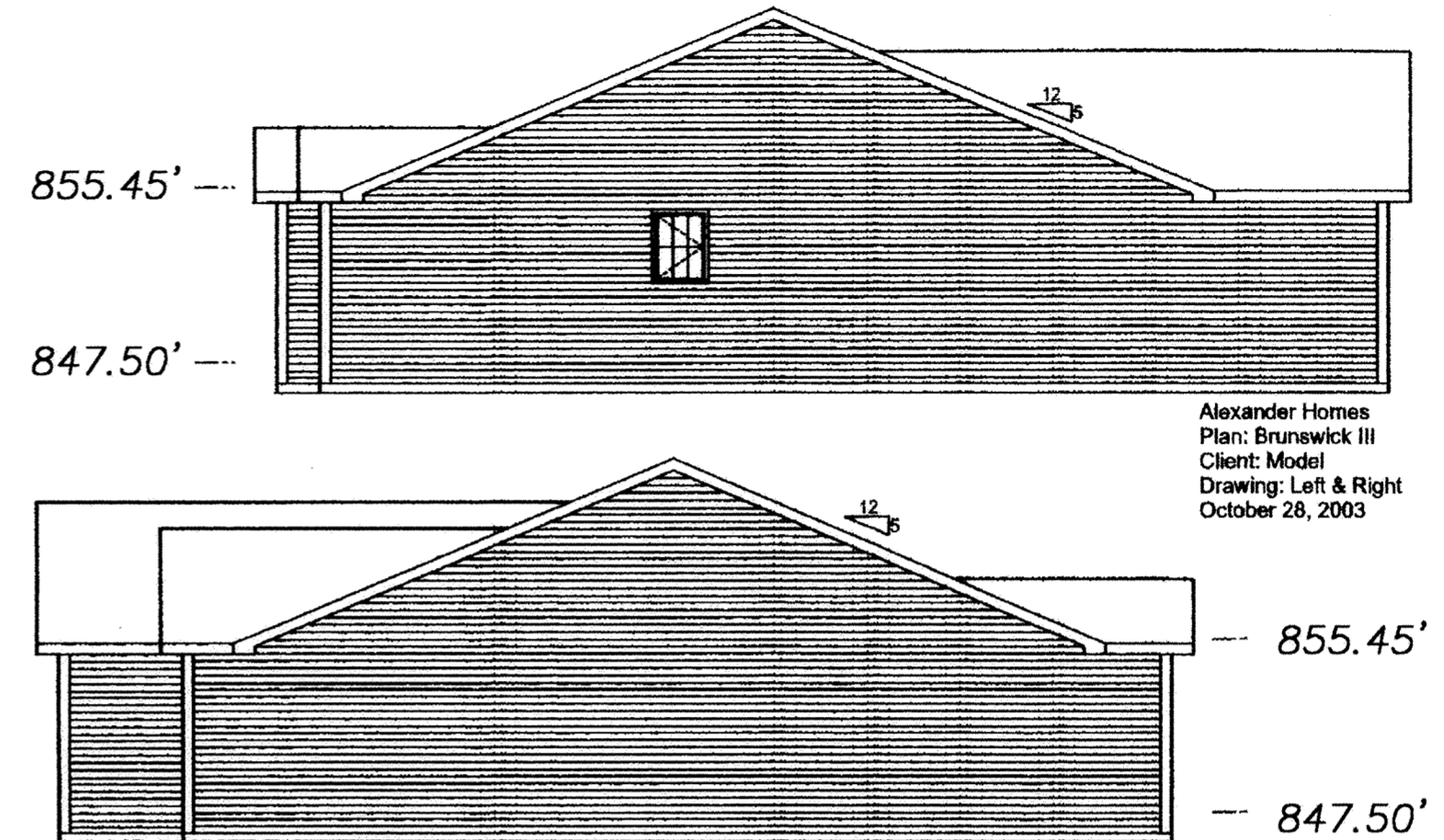
SHEET 2 OF 4

**SHELDON ENGINEERING
& SURVEYING, INC.**

LIMA, OHIO

05-12-2004	DATE	JOB NO.
WSM	DRAWN	22201E
JDS	CHECKED	
JDS	APPROVED	SCALE NONE

UNIT "B" - FLOOR PLAN AND BUILDING ELEVATIONS

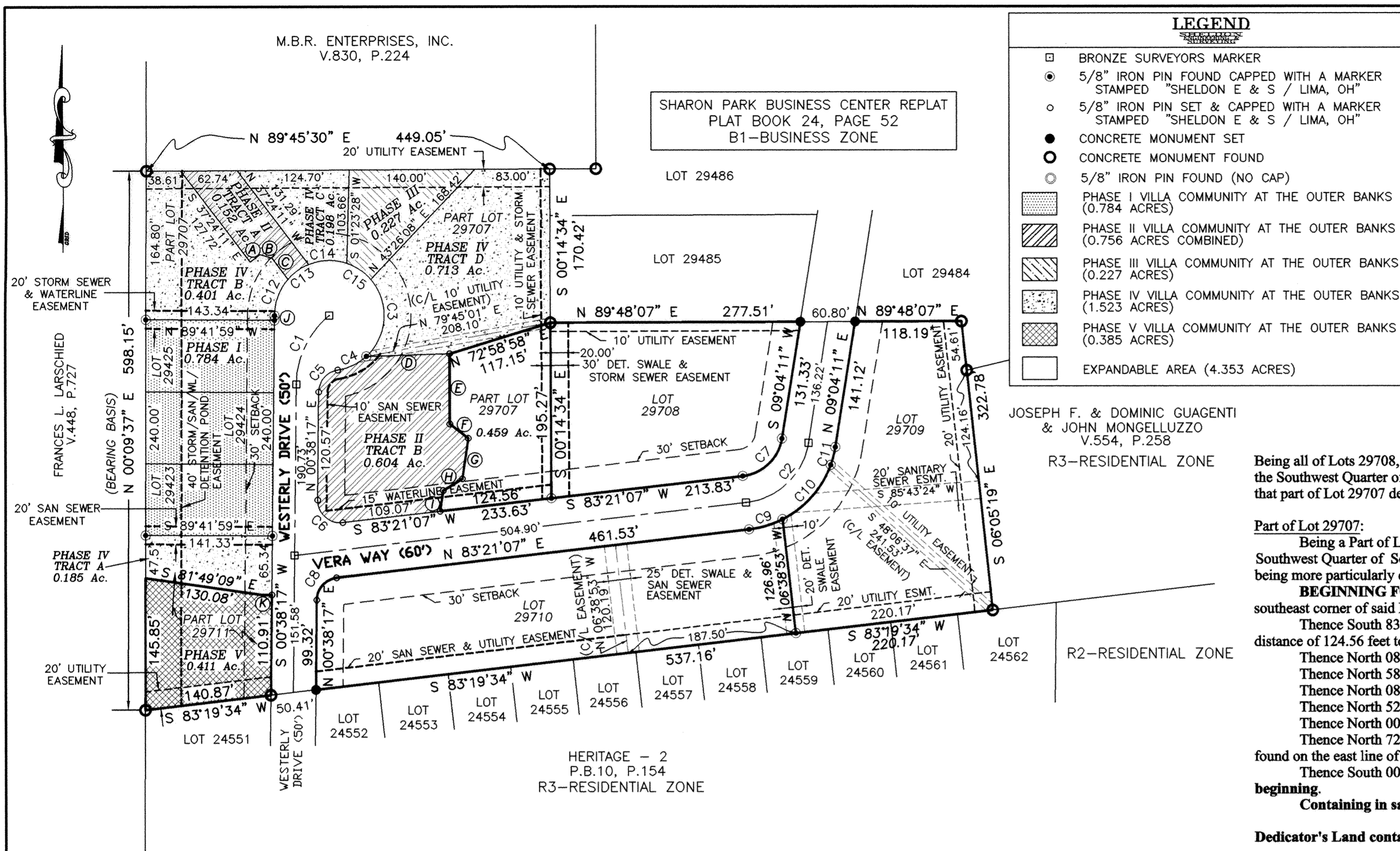


SHEET 3 OF 4
SHELDON ENGINEERING
& SURVEYING, INC.



LIMA, OHIO

05-12-2004	DATE	JOB NO.	22201E
WSM	DRAWN	JDS	CHECKED
JDS	APPROVED	SCALE	NONE



DEDICATOR'S LAND
VILLA COMMUNITY AT THE OUTER BANKS CONDOMINIUMS PHASE V
LOTS 29708, 29709, 29710 AND PART OF LOT 29707
JEFF CIMINILLO SUBDIVISION REPLAT (P.B. 25, P. 24)
IN THE S.W. 1/4 OF SECTION 34
T 3 S - R 6 E, AMERICAN TOWNSHIP
ALLEN COUNTY, OHIO
BBA BUILDERS, INC. (VOL. 886, P. 859)

REVIEWED BY:
m. Howls
 MICHAEL L. HOWERT, P.S.
 ALLEN COUNTY ENGINEERS
 DATE: 6/10/04

DEDICATOR'S LAND
VILLA COMMUNITY AT THE OUTER BANKS PHASE V
4.353 ACRES

Being all of Lots 29708, 29709 and 29710 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and that part of Lot 29707 described as follows:

Part of Lot 29707:
 Being a Part of Lot 29707 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:
BEGINNING FOR THE SAME at a 5/8-inch iron pin found on the north line of Vera Way marking the southeast corner of said Lot 29707 -
 Thence South 83°-21'-07" West on and along said north line of Vera Way and the south line of said Lot for a distance of 124.56 feet to a 5/8-inch iron pin set -
 Thence North 08°-41'-11" East for a distance of 23.48 feet to a 5/8-inch iron pin set -
 Thence North 58°-23'-25" East for a distance of 25.03 feet to a 5/8-inch iron pin set -
 Thence North 08°-20'-23" East for a distance of 45.68 feet to a 5/8-inch iron pin set -
 Thence North 52°-31'-54" West for a distance of 25.97 feet to a 5/8-inch iron pin set -
 Thence North 00°-00'-06" East for a distance of 78.08 feet to a 5/8-inch iron pin set -
 Thence North 72°-58'-58" East for a distance of 117.15 feet to a 5/8-inch iron pin in a concrete monument found on the east line of said Lot 29707 -
 Thence South 00°-14'-34" East on and along said east line for a distance of 195.27 feet to the **place of beginning.**
Containing in said Part Lot 19,992 square feet or 0.459 acres of land.

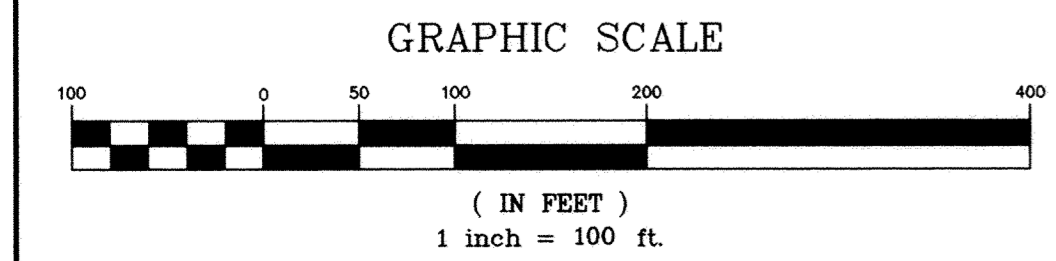
Dedicator's Land contains in all a total of 4.353 acres subject, however, to all legal easements and rights of way.

The foregoing description is based on office records of previous surveys and a current field survey completed in May, 2004 under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

NOTES: 1. Bearings are based on the west line of the Jeff Ciminillo Subdivision Replat as being North 00°-09'-37" East.
 2. All iron pins found or set are 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.

(A) N 52°35'49" E 13.40' (B) N 74°13'24" W 14.07' (C) N 37°01'48" W 29.23' (D) N 88°18'20" E 92.80' (E) N 00°00'06" E 78.08'
 (F) N 52°31'54" W 25.97' (G) N 08°20'23" E 45.68' (H) N 58°23'25" E 25.03' (I) N 08°41'11" E 23.48' (J) S 00°38'17" W 5.12' (K) S 89°41'59" E 11.98'

CURVE TABLE							
STREET	CURVE	LENGTH	RADIUS	TANGENT	BEARING	CHORD	DELTA
WESTERLY DR.	C1	87.36	99.36	46.73	N 25°49'40" E	84.57	50°22'46"
	C2	84.57	80.00	46.72	N 39°21'21" E	80.69	60°34'20"
VERA WAY	C3	93.99	61.00	59.20	S 03°33'18" E	84.96	88°16'51"
	C4	35.74	61.00	18.40	N 64°28'51" E	35.23	33°34'17"
	C5	35.18	25.00	21.21	N 40°57'08" E	32.35	80°37'43"
	C6	42.45	25.00	28.40	N 48°00'18" W	37.53	97°17'10"
	C7	64.82	50.00	37.87	S 46°12'39" W	60.38	74°16'56"
	C8	36.09	25.00	22.01	N 41°59'42" E	33.04	82°42'50"
	C9	39.06	110.00	19.74	N 73°10'49" E	38.85	20°20'37"
	C10	82.95	110.00	43.56	N 41°24'23" E	80.99	43°12'15"
	C11	20.61	110.00	10.33	N 14°26'13" E	20.58	10°44'05"
	C12	43.79	61.00	22.89	N 20°33'53" E	42.85	41°07'47"
	C13	28.63	61.00	14.59	S 54°34'37" W	28.37	26°53'40"
	C14	43.35	61.00	22.64	S 88°23'06" W	42.45	40°43'19"
	C15	32.65	61.00	16.73	N 55°55'11" E	32.26	30°40'06"



PREPARED BY:
 SHELDON ENGINEERING & SURVEYING
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E. & P.S.

OWNER'S DEDICATION AND ACKNOWLEDGMENT
 THE UNDERSIGNED, BEING THE OWNER OF THE LAND PLATTED HEREIN, DOES HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT.

BBA BUILDERS, INC.
 BY: *R. Michael Alexander*
 R. MICHAEL ALEXANDER, PRESIDENT

Charlotte G. Bellman
 WITNESS

ACKNOWLEDGMENT
 STATE OF OHIO SS:
 COUNTY OF ALLEN
 BE IT REMEMBERED THAT ON THIS 10th DAY OF June, 2004
 PERSONALLY CAME THE SAID R. Michael Alexander, pres.
 TO ME KNOWN, WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE THEIR VOLUNTARY ACT AND DEED.

Date 24 May 04

James D. Sheldon
 James D. Sheldon, P.E., P.S.
 Registered Surveyor #4569

STATE OF OHIO REGISTERED PROFESSIONAL SURVEYOR
 JAMES D. SHELDON
 4569

STATE OF OHIO REGISTERED PROFESSIONAL ENGINEER
 JAMES D. SHELDON
 24779

SHEET 4 OF 4

SHELDON ENGINEERING & SURVEYING, INC.

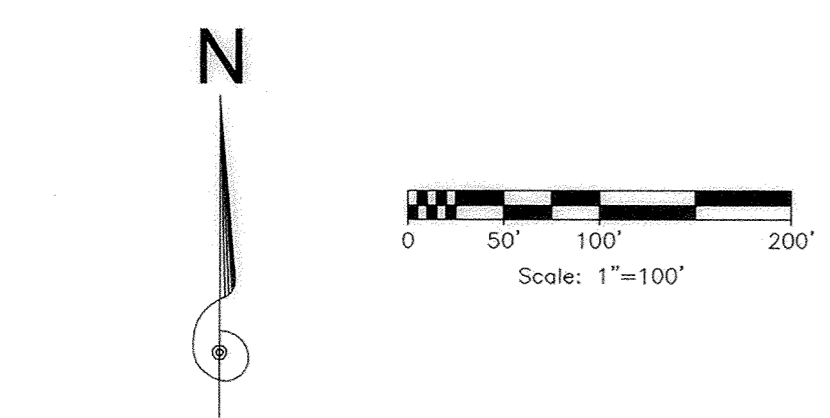
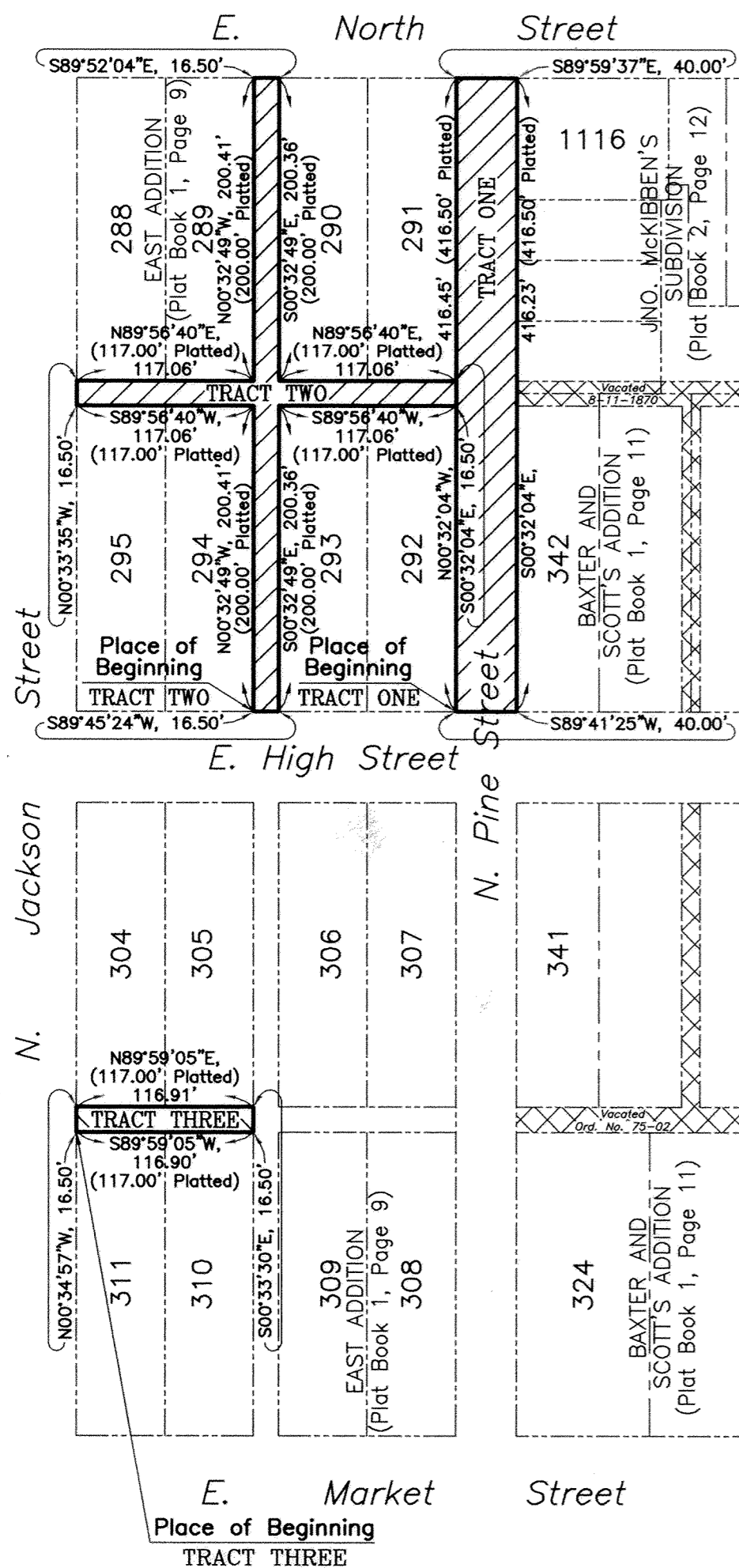
LIMA, OHIO

05-12-2004	DATE	JOB NO.	22201E
DRAWN	WSM	NO.	
CHECKED	JDS	SCALE	1" = 100'
APPROVED	JDS		

VACATION OF RIGHT-OF-WAY A PUBLIC STREET AND VARIOUS PUBLIC ALLEYS IN EAST ADDITION (PLAT BOOK 1, PAGE 9) CITY OF LIMA, ALLEN COUNTY, OHIO

Authorized and approved by City of Lima Ordinance

No. 95-04, passed May 17, 2004.



DESCRIPTION TRACT ONE

Being N. Pine Street from the north right-of-way line of E. High Street to the south right-of-way line of E. North Street, as platted in East Addition (Plat Book 1, Page 9), and more particularly described as follows:

BEGINNING at the southeast corner of Lot 292 in East Addition, also being the northwest corner of the intersection of N. Pine Street and E. High Street;

thence N00°32'04"W with the west right-of-way line of N. Pine Street, 416.45 feet (platted distance is 416.50 feet) to the northeast corner of Lot 291 in East Addition, also being the southwest corner of the intersection of N. Pine Street and E. North Street;

thence S89°59'37"E with the south right-of-way line of E. North Street crossing N. Pine Street, 40.00 feet to the northwest corner of Lot 1116 in Jno. McKibben's Subdivision (Plat Book 2, Page 12), also being the southeast corner of the intersection of N. Pine Street and E. North Street;

thence S00°32'04"E with the east right-of-way line of N. Pine Street, 416.23 feet (platted distance is 416.50 feet) to the southwest corner of Lot 342 in Baxter and Scott's Addition (Plat Book 1, Page 11), also being the northeast corner of the intersection of N. Pine Street and E. High Street;

thence S89°41'25"W with the north right-of-way line of E. High Street crossing N. Pine Street, 40.00 feet to the southeast corner of Lot 292 in East Addition, being the PLACE OF BEGINNING.

Containing 0.382 acres, more or less.

DESCRIPTION TRACT TWO

Being a 16.5 foot east-west public alley referred to as Mulberry Alley and a 16.50 foot north-south public alley referred to as Pleasant Alley, located north of E. High Street between N. Jackson Street and N. Pine Street, as platted in East Addition to the City of Lima, Allen County, Ohio, recorded in Plat Book 1, Page 9, and more particularly described as follows:

BEGINNING at the southeast corner of Lot 294 in said East Addition;

thence N00°32'49"W with the east line of Lot 294, 200.41 feet (platted distance is 200.00 feet) to the northeast corner of said Lot 294;

thence S89°56'40"W with the north line of Lots 294 and 295, 117.06 feet (platted distance is 117.00 feet) to the northwest corner of said Lot 295;

thence N00°33'35"W with the east right-of-way line of N. Jackson Street, 16.50 feet to the southwest corner of Lot 288;

thence N89°56'40"E with the south line of Lots 288 and 289, 117.06 feet (platted distance is 117.00 feet) to the southeast corner of said Lot 289;

thence N00°32'49"W with the east line of Lot 289, 200.41 feet (platted distance is 200.00 feet) to the northeast corner of said Lot 289;

thence S89°52'04"E with the south right-of-way line of E. North Street, 16.50 feet to the northwest corner of Lot 290;

thence S00°32'49"E with the west line of Lot 290, 200.36 feet (platted distance is 200.00 feet) to the southwest corner of said Lot 290;

thence N89°56'40"E with the south line of Lots 290 and 291, 117.06 feet (platted distance is 117.00 feet) to the southeast corner of said Lot 291;

thence S00°32'04"E with the west right-of-way line of N. Pine Street, 16.50 feet to the northeast corner of Lot 292;

thence S89°56'40"W with the north line of Lots 292 and 293, 117.06 feet (platted distance is 117.00 feet) to the northwest corner of Lot 293;

thence S00°32'49"E with the west line of Lot 293, 200.36 feet (platted distance is 200.00 feet) to the southwest corner of said Lot 293;

thence S89°45'24"W with the north right-of-way line of E. High Street, 16.50 feet to the southeast corner of Lot 294, being the PLACE OF BEGINNING.

Containing 0.247 acres, more or less.

DESCRIPTION TRACT THREE

Being part of a 16.5 foot east-west public alley referred to as Sugar Alley, located north of E. Market Street between N. Jackson Street and N. Pine Street, as platted in East Addition to the City of Lima, Allen County, Ohio, recorded in Plat Book 1, Page 9, and more particularly described as follows:

BEGINNING at the northwest corner of Lot 311 in said East Addition;

thence N00°34'57"W with the east right-of-way line of N. Jackson Street, 16.50 feet to the southwest corner of Lot 304;

thence N89°59'05"E with the south line of Lots 304 and 305, 116.91 feet (platted distance is 117.00 feet) to the southeast corner of said Lot 305;

thence S00°33'30"E 16.50 feet to the northeast corner of Lot 310;

thence S89°59'05"W with the north line of Lots 310 and 311, 116.90 feet (platted distance is 117.00 feet) to the northwest corner of said Lot 311, being the PLACE OF BEGINNING.

Containing 0.044 acres, more or less.

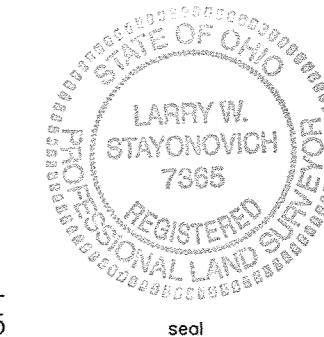
All tracts are subject to all easements of record.

All bearings are based on an assumed bearing of N00°32'04"W for the east right-of-way line of N. Pine Street.

These descriptions were prepared by Larry W. Stayonovich, Ohio Surveyor #7365-City of Lima, Ohio, and are based on a survey done for Lima City Schools by Kohli and Kaliher Associates, Inc.

Date 2-10-04 Larry W. Stayonovich
Larry W. Stayonovich, P.S. #7365

REVIEWED BY:
Michael L. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 2/11/04



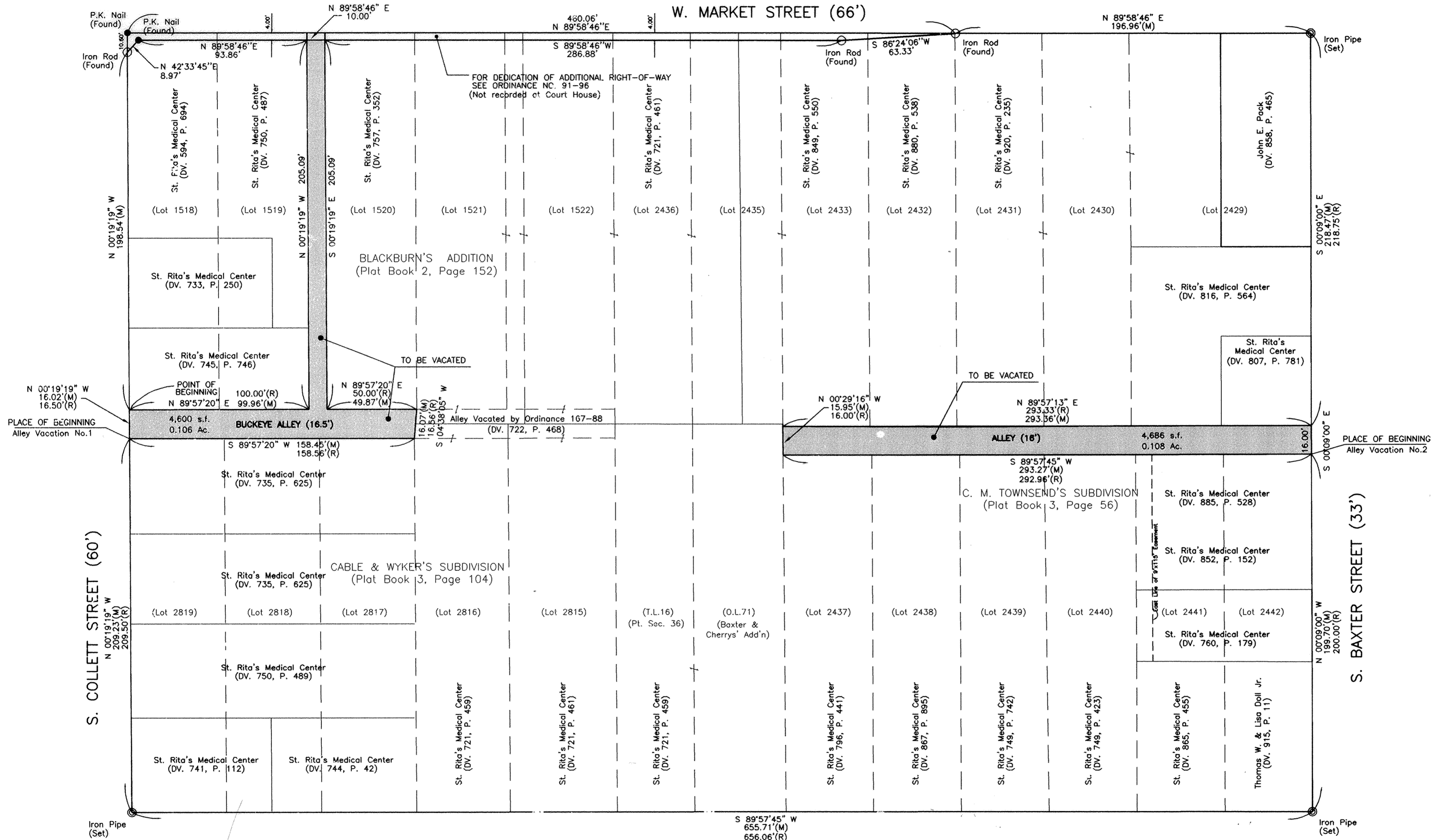
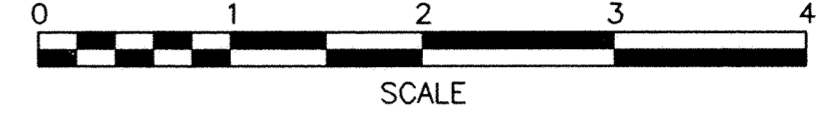
200412649
Filed & Recorded
June 23, 2004 at 9:40 AM
Plat BK 26 pg 9
Edward P. Kirk
Allen Co. Recorder
Fee \$41.40
see Deed Vol 927 pg 575

LEGEND

- ⊙ 3/4" Diameter by 30" Long Iron Pipe (set) with "K&K/Lima" Plug
- P.K. Nail (found)
- 5/8" dia. Iron Rod (found)
- (M) Measured Distance
- (R) Record Distance

VACATION PLAT

Alleys East of S. Collett Street Between W. Market and W. Spring Streets City of Lima, Allen County, Ohio



W. SPRING STREET (66')

2004 12651
 June 23, 2004
 Filed - Recorded at 9:42 AM
 Plat Book 26 Pg 10
 Edward P. Kirk
 Allen Co. Recorder
 Fee 82.80
 See Deed Vol 927 Pg 579

VACATION PLAT

Alleys East of S. Collett Street Between W. Market and W. Spring Streets City of Lima, Allen County, Ohio

DESCRIPTION

ALLEY VACATION No. 1
BUCKEYE ALLEY

Being a 16.5 foot wide alley (Buckeye Alley) platted between Lot Numbers 1518, 1519, and 1520 in Blackburn's Addition (Plat Book 2, Page 152) on the North and Lot Numbers 2817, 2818, and 2819 in Cable & Wyker's Subdivision (Plat Book 3, Page 104) on the South and a 10 foot wide alley platted between Lot Numbers 1519 and 1520 in said Blackburn's Addition, all in the City of Lima, Allen County, Ohio and being more particularly described as follows:

Commencing at an iron pipe (set) at the Southwest corner of said Lot Number 2819, also being the intersection of the North line of West Spring Street and the East line of South Collett Street;

thence N 0°19'19"W, 209.23 feet (measured distance) (209.50 feet record distance), with said East line of South Collett Street, to the Northwest corner of said Lot Number 2819, said point being the PLACE OF BEGINNING;

thence continuing N 0°19'19"W, 16.02 feet (measured distance) (16.50 feet record distance), with said East line of South Collett Street, to the Southwest corner of said Lot Number 1518;

thence N 89°57'20"E, 99.96 feet (measured distance) (100.00 feet record distance), with the South line of said Lot Numbers 1518 and 1519, to the Southeast corner of Lot Number 1519;

thence N 0°19'19"W, 205.09 feet, with the East line of said Lot Number 1519, to the South line of a 4.00 foot wide strip off the North side of Lot Numbers 1518 thru 1522 dedicated as additional right-of-way to West Market Street (City of Lima Ordinance No. 91-96);

thence N 89°58'46"E, 10.00 feet, with the South line of said 4.00 wide strip of additional right-of-way, to the West line of said Lot Number 1520;

thence S 0°19'19"E, 205.09 feet, with said West line, to the Southwest corner of said Lot Number 1520;

thence N 89°57'20"E, 49.87 feet (measured distance) (50.00 feet record distance), with the South line of said Lot Number 1520, to the Southeast corner of Lot Number 1520;

thence S 4°38'05"W, 16.07 feet (measured distance) (16.56 feet record distance) to the Northeast corner of said Lot Number 2817;

thence S 89°57'20"W, 158.45 feet (measured distance) (158.56 feet record distance), with the North line of said Lot Numbers 2817, 2818, and 2819, to the PLACE OF BEGINNING, containing 0.106 acre more or less and subject to all other legal easements and restrictions of record.

This description is based on surveying work performed under the supervision of James A. Frederick of Kohli & Kaliher Associates, Inc. in January 2004. The basis of bearing is the North right-of-way line of West Spring Street being S 89°57'45"W in the block between South Collett Street and South Baxter Street. Iron pipes called for herein are 3/4-inch diameter by 30-inch long with an orange plastic "K&K/LIMA" plug.

DESCRIPTION

ALLEY VACATION No. 2

Being a 16.0 foot wide alley platted between Lot Numbers 2429, 2430, 2431, 2432, and 2433 on the North and Lot Numbers 2437, 2438, 2439, 2440, 2441, and 2442 on the South in C. M. Townsend's Subdivision (Plat Book 3, Page 56) in the City of Lima, Allen County, Ohio and being more particularly described as follows:

Commencing at an iron pipe (set) at the Southeast corner of said Lot Number 2442, also being the intersection of the North line of West Spring Street and the West line of South Baxter Street;

thence N 0°09'00"W, 199.70 feet (measured distance) (200.00 feet record distance), with said West line of South Baxter Street, to the Northeast corner of said Lot Number 2442, said point being the PLACE OF BEGINNING;

thence S 89°57'45"W, 293.27 feet (measured distance) (292.96 feet record distance), with the North line of said Lot Numbers 2437, 2438, 2439, 2440, 2441, and 2442, to the Northwest corner of said Lot Number 2437;

thence N 0°29'16"W, 15.95 feet (measured distance) (16.00 feet record distance) to the Southwest corner of said Lot Number 2433;

thence N 89°57'13"E, 293.36 feet (measured distance) (293.33 feet record distance), with the South line of said Lot Numbers 2429, 2430, 2431, 2432, and 2433, to the Southeast corner of said Lot Number 2429 and the West line of South Baxter Street;

thence S 0°09'00"E, 16.00 feet, with said West line of South Baxter Street, to the PLACE OF BEGINNING, containing 0.108 acre more or less and subject to all other legal easements and restrictions of record.

This description is based on surveying work performed under the supervision of James A. Frederick of Kohli & Kaliher Associates, Inc. in January 2004. The basis of bearing is the North right-of-way line of West Spring Street being S 89°57'45"W in the block between South Collett Street and South Baxter Street. Iron pipes called for herein are 3/4-inch diameter by 30-inch long with an orange plastic "K&K/LIMA" plug.

2-4-2004
Date

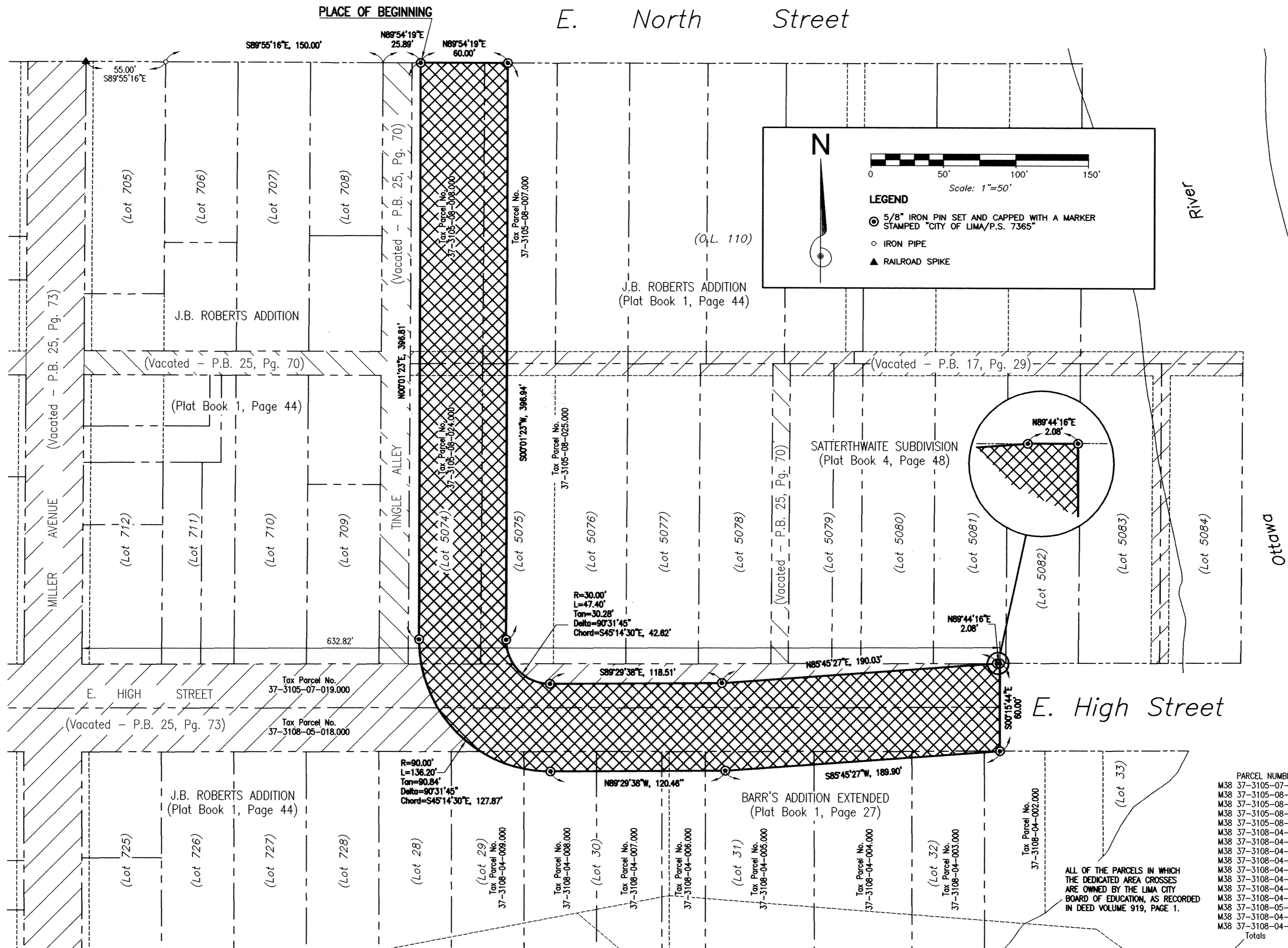
James A. Frederick
James A. Frederick
Ohio Registered Surveyor No. 6622



DEDICATION OF RIGHT-OF-WAY EAST HIGH STREET

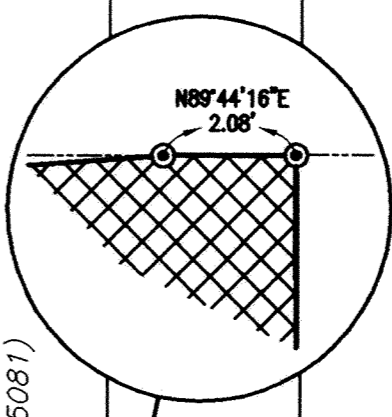
CITY OF LIMA, ALLEN COUNTY, OHIO

Pt. O.L. 110, J.B. Roberts Add., Pt. Lots 5074 & 5075, Satterthwaite Sub.,
Pt. Lots 29 thru 32, Barr's Add. Extended & Pt. of Vacated E. High St.



LEGEND

- ⊙ 5/8" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "CITY OF LIMA/P.S. 7365"
- IRON PIPE
- ▲ RAILROAD SPIKE



PARCEL NUMBER	SQ. FT.	ACRES
M38 37-3105-07-019.000	8736.78	0.201
M38 37-3105-08-007.000	3365.24	0.077
M38 37-3105-08-008.000	9039.21	0.207
M38 37-3105-08-024.000	8870.40	0.204
M38 37-3105-08-025.000	3551.10	0.082
M38 37-3108-04-002.000	2.07	0.000
M38 37-3108-04-003.000	113.79	0.003
M38 37-3108-04-004.000	428.68	0.010
M38 37-3108-04-005.000	844.87	0.019
M38 37-3108-04-006.000	398.71	0.009
M38 37-3108-04-007.000	605.25	0.014
M38 37-3108-04-008.000	676.07	0.015
M38 37-3108-04-009.000	245.84	0.006
M38 37-3108-05-018.000	11251.99	0.258
M38 37-3108-04-003.000	113.79	0.003
M38 37-3108-04-004.000	428.68	0.010
Totals	48130.00	1.105

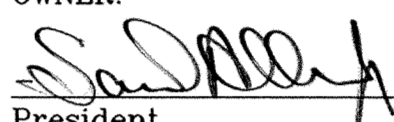
ALL OF THE PARCELS IN WHICH THE DEDICATED AREA CROSSES ARE OWNED BY THE LIMA CITY BOARD OF EDUCATION, AS RECORDED IN DEED VOLUME 919, PAGE 1.

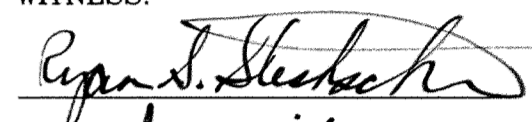
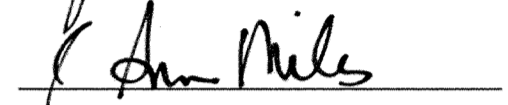
DEDICATION OF RIGHT-OF-WAY EAST HIGH STREET

CITY OF LIMA, ALLEN COUNTY, OHIO
Pt. O.L. 110, J.B. Roberts Add., Pt. Lots 5074 & 5075, Satterthwaite Sub.,
Pt. Lots 29 thru 32, Barr's Add. Extended & Pt. of Vacated E. High St.

DEDICATION

Lima City Board of Education, the owner of the land contained in the foregoing plat hereby dedicates the land described herein to the use and benefit of the public forever.

OWNER:

President
Lima City Board of Education

WITNESS:



COUNTY AUDITOR

This plat filed for transfer this 23rd day of June, 2004.

FEE: Ben E. Duiperbroek
Auditor, Allen County, Ohio
No fee KH

COUNTY RECORDER

Filed for record this 23rd day of June, 2004, at 9:44 O'Clock
A.M. in the office of the Allen County Recorder and recorded in
Plat Book 26 on Page 12.

2004/2 653

See Book Vol 927 pg 584

Edward T. Kue
Recorder, Allen County, Ohio

DESCRIPTION

Being a tract of land, 60 feet in width, through land owned by the Lima City Board of Education, as recorded in Deed Volume 919, Page 1, being part of Outlot 110 in J.B. Roberts Addition (Plat Book 1, Page 44), part of Lots 5074 and 5075 in Satterthwaite Subdivision (Plat Book 4, Page 48), part of Lots 29, 30, 31, and 32 (Barr's Addition Extended), and part of a vacated portion of E. High Street (Plat Book 25, Page 73), located in the northeast quarter of Section 31, Township-3-South, Range-7-East, Bath Township, all within the corporate limits of the City of Lima, Allen County, Ohio and more particularly described as follows:

Commencing at an iron pipe of record at the northeast corner of Lot 705 in J.B. Roberts Addition (Plat Book 1, Page 44); thence S89°55'16"E with the north line of Lots 706, 707, and 708, also being the south right-of-way line of E. North St., 150.00 feet to the northeast corner of said Lot 708, said corner also being the southwest corner of E. North St. and vacated Tingle Alley, said vacated alley recorded in Plat Book 25, Page 70; thence N89°45'19"E with the north line of said vacated Tingle Alley and continuing with the south right-of-way line of E. North St., 25.89 feet to an iron pin set, being the PLACE OF BEGINNING.

thence continuing N89°54'19"E, with the south right-of-way line of E. North St., 60.00 feet to an iron pin set;

thence S00°01'23"W, 396.94 feet to an iron pin set;

thence with a curve to the left having a radius of 30.00 feet, a central angle of 90°31'45", an arc length of 47.40 feet with a chord bearing S45°14'30"E and chord length of 42.62 feet, to an iron pin set;

thence S89°29'38"E, 118.51 feet to an iron pin set;

thence N85°45'27"E, 190.03 feet to an iron pin set on the south line of Lot 5081 in Satterthwaite Subdivision (Plat Book 4, Page 48), also being on the north right-of-way line of a portion of E. High St. vacated by Ordinance 75-02 and recorded in Plat Book 25, Page 73;

thence N89°44'16"E with the south line of Lot 5081 and north right-of-way line of vacated E. High St., 2.08 feet to an iron pin set, said point being 632.82 feet from the northeast corner of E. High St. and Miller Ave., said point also being the northeast corner of the area of E. High St. vacated by Ordinance 75-02, as recorded in Plat Book 25, Page 73;

thence S00°15'44"E with the east line of said vacated E. High St., 60.00 feet to an iron pin set on the north line of Lot 32 in Barr's Addition Extended, as recorded in Plat Book 1, Page 27, said north line also being the south right-of-way line of E. High St.;

thence S85°45'27"W, 189.90 feet to an iron pin set;

thence N89°29'38"W, 120.46 feet to an iron pin set;

thence with a curve to the right, having a radius of 90.00 feet, a central angle of 90°31'45", an arc length of 136.20 feet with a chord bearing N45°14'30"W and a chord length of 127.87 feet, to an iron pin set;

thence N00°01'23"E, 396.81 feet to an iron pin set on the south right-of-way line of E. North St., being the PLACE OF BEGINNING.

The above tract of land contains 1.105 acres, more or less, subject to all easements of record.

The total acreage of 1.105 acres comes from the following parcels:

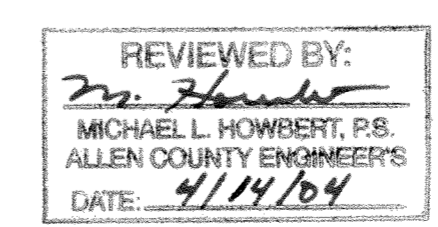
M38 37-3105-07-019.000	8736.78 S.F.	0.201 acres
M38 37-3105-08-007.000	3365.24 S.F.	0.077 acres
M38 37-3105-08-008.000	9039.21 S.F.	0.207 acres
M38 37-3105-08-024.000	8870.40 S.F.	0.204 acres
M38 37-3105-08-025.000	3551.10 S.F.	0.082 acres
M38 37-3108-04-002.000	2.07 S.F.	0.000 acres
M38 37-3108-04-003.000	113.79 S.F.	0.003 acres
M38 37-3108-04-004.000	428.68 S.F.	0.010 acres
M38 37-3108-04-005.000	844.87 S.F.	0.019 acres
M38 37-3108-04-006.000	398.71 S.F.	0.009 acres
M38 37-3108-04-007.000	605.25 S.F.	0.014 acres
M38 37-3108-04-008.000	676.07 S.F.	0.015 acres
M38 37-3108-04-009.000	245.84 S.F.	0.006 acres
M38 37-3108-05-018.000	11251.99 S.F.	0.258 acres

All bearings are based on an assumed bearing of S89°55'16"E for the south right-of-way line of E. North Street between Miller Avenue and Tingle Alley.

This description was prepared by Larry Stayonovich, Ohio Surveyor #7365, City of Lima, Ohio and is based on a survey done for the Lima City Schools by Kohli and Kaliher Associates, Inc. All iron pins set are 5/8" X 30" rebar, capped with a yellow marker stamped "City of Lima/P.S.7365".

4-12-04
Date


Larry W. Stayonovich, P.S. #7365



ACKNOWLEDGEMENT

County of Allen, State of Ohio:
Before me, a Notary Public in and for said County and State, did personally appear the aboved signed owners who acknowledged the signing of this document to be their free act and deed. In testimony thereof, I affix my hand and seal

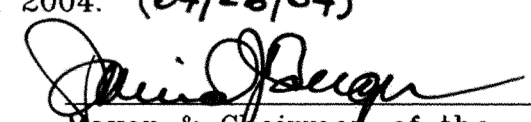
this 21 day of April, 2004.

Laura M. Van Meter
Notary Public in and for Allen County, Ohio

My Commission Expires: June 4, 2006

APPROVAL OF CITY PLANNING COMMISSION

This plat having been approved by the City Planning Commission of the City of Lima, Ohio, I the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, hereby, on behalf of said City Planning Commission approve and accept this plat, this 28th day of March, 2004. (04/28/04)

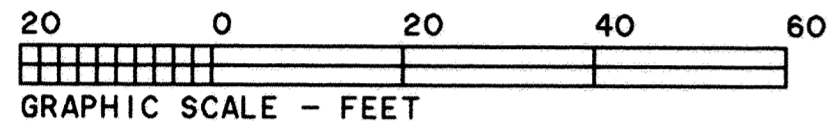

Mayor & Chairman of the
City Planning Commission

Authorized and approved by City of Lima Ordinance No. 92-04,
passed May 17, 2004.

BROOKHAVEN CONDOMINIUM NO. 39

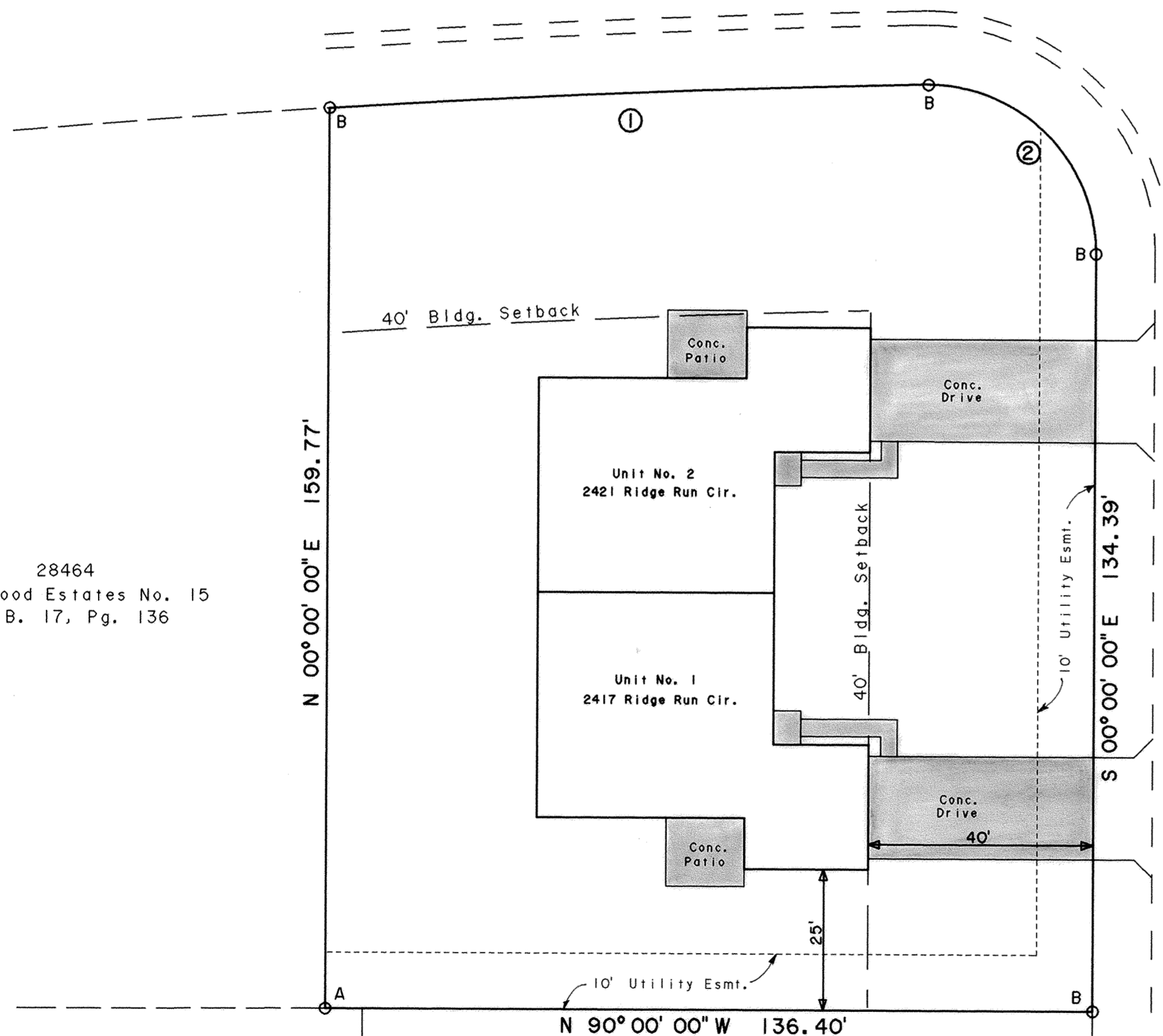
LOT NO. 28463

EDGEWOOD ESTATES NO. 15



GRAPHIC SCALE - FEET

Sheridan Dr. (50' R/W)



28464
Edgewood Estates No. 15
P.B. 17, Pg. 136

Wilshire Place Ltd.
Parcel No.: 36-2305-01-024
D.B. 632, Pg. 761

28802
Edgewood Estates No. 16
P.B. 18, Pg. 178

A - Found Iron Pin
B - Found #5 Rebar

■ - Limited Common Area

BROOKHAVEN CONDOMINIUM NO. 39 consists of Lot No. 28463 in Edgewood Estates No. 15 as recorded in Plat Book 17, Page 136 in the Allen County Recorder's Office, Allen County, Ohio.

This set of drawings attached hereto consisting of a Plat Plan of **BROOKHAVEN CONDOMINIUM NO. 39**, one page of floor plan, one page of elevation views of the buildings and one page showing the survey of the dedicator's land, show insofar as graphically possible (1) the particulars of the buildings in the condominiums, including but not limited to the layout, location designation and dimensions of each of the units therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities. The undersigned being a Professional Surveyor and Professional Engineer hereby certify that said drawings show the building as constructed, as graphically possible.

Charles R. Follrod
Professional Surveyor No. 7145
Charles R. Follrod, P.S.
R & A Engineers Inc.

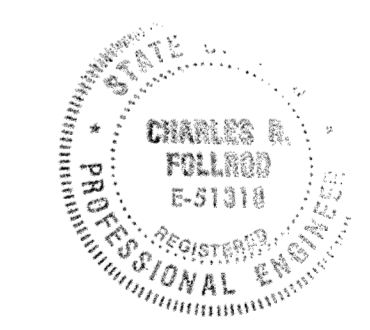
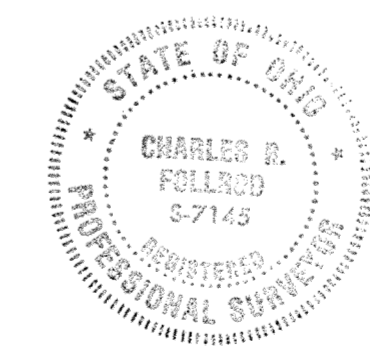
Charles R. Follrod
Professional Engineer No. 51318
Charles R. Follrod, P.E.
R & A Engineers Inc.

No. 200412794
Filed for record this 24th day of June, 2004 at 11:51 o'clock A.M. in the office of the Allen County Recorder and recorded in Plat Book 26 on Page 14
See Deed Vol 927 pg 672

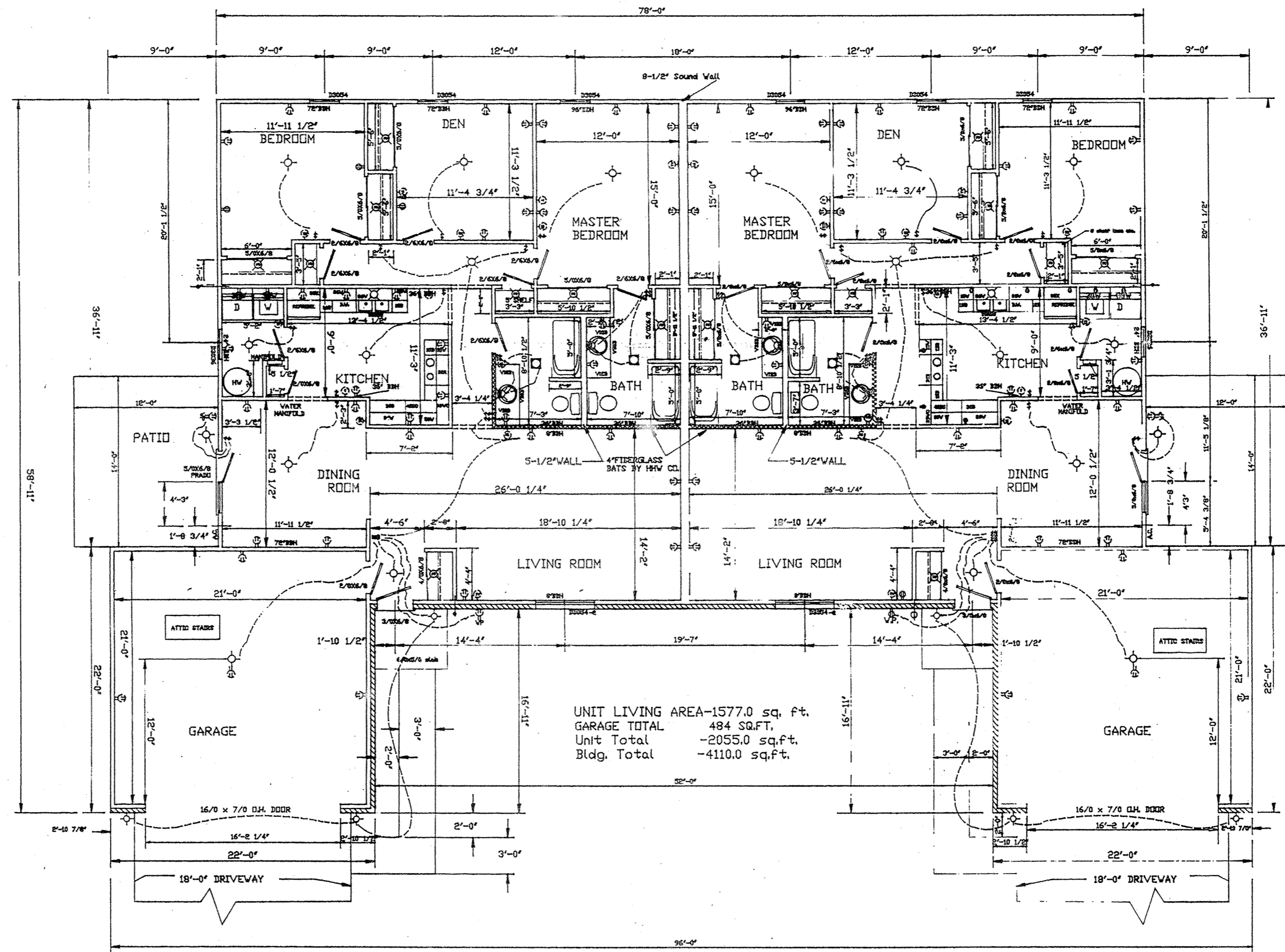
Fee: 165.60

Edward P. Kutz
RECORDER, Allen County, Ohio

For DECLARATIONS see Deed Volume 927 Page 672

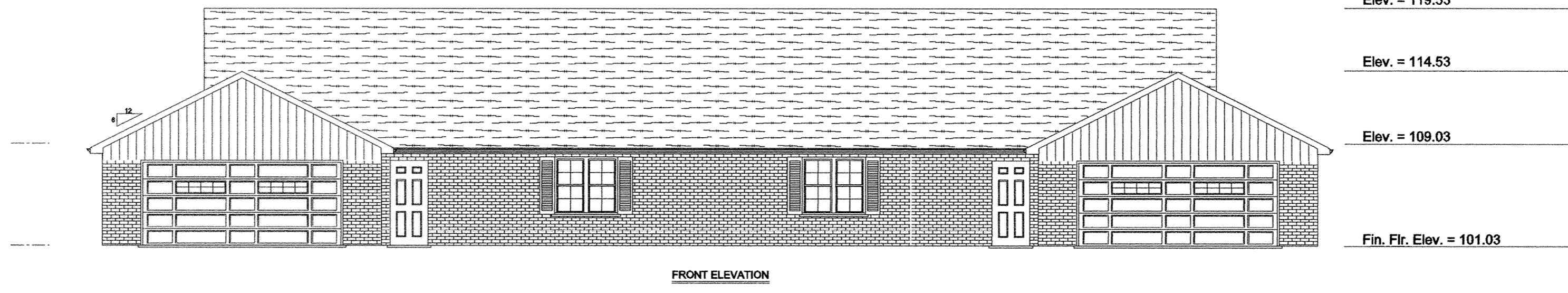


CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	2495.25'	106.51'	2° 26' 44"	106.50'	N 87° 30' 51" E
C-2	30.00'	47.12'	90° 00' 00"	42.43'	S 45° 00' 03" E

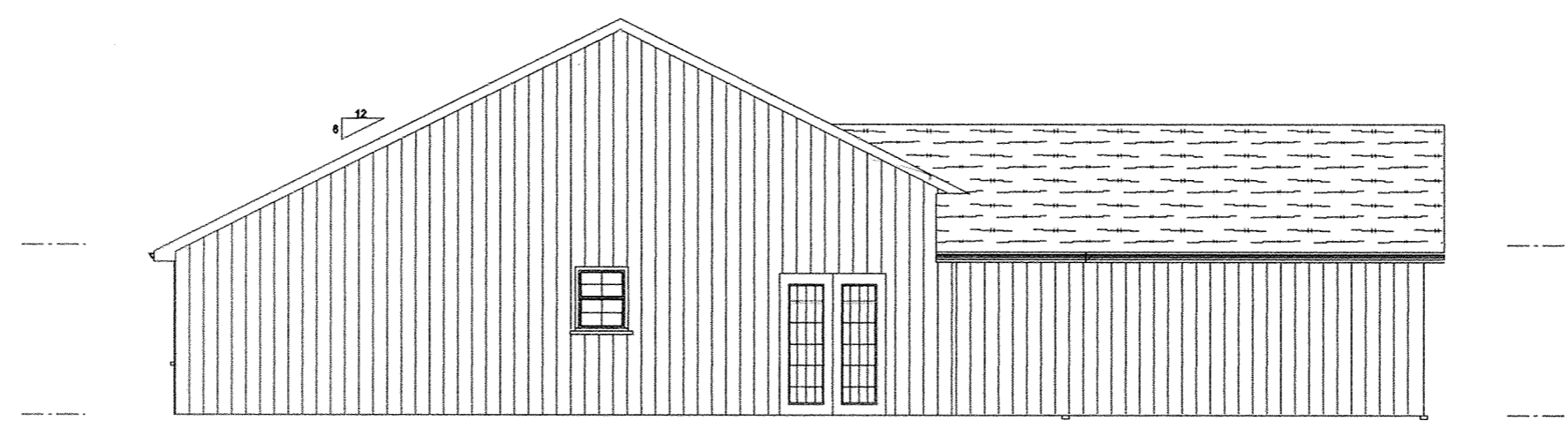


Unit No. 1
2417 Ridge Run Cir.

Unit No. 2
2421 Ridge Run Cir.

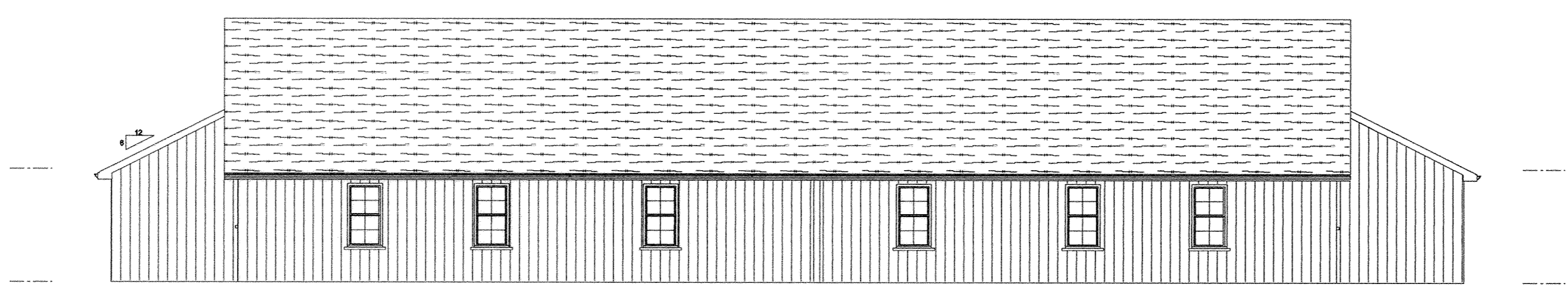


FRONT ELEVATION

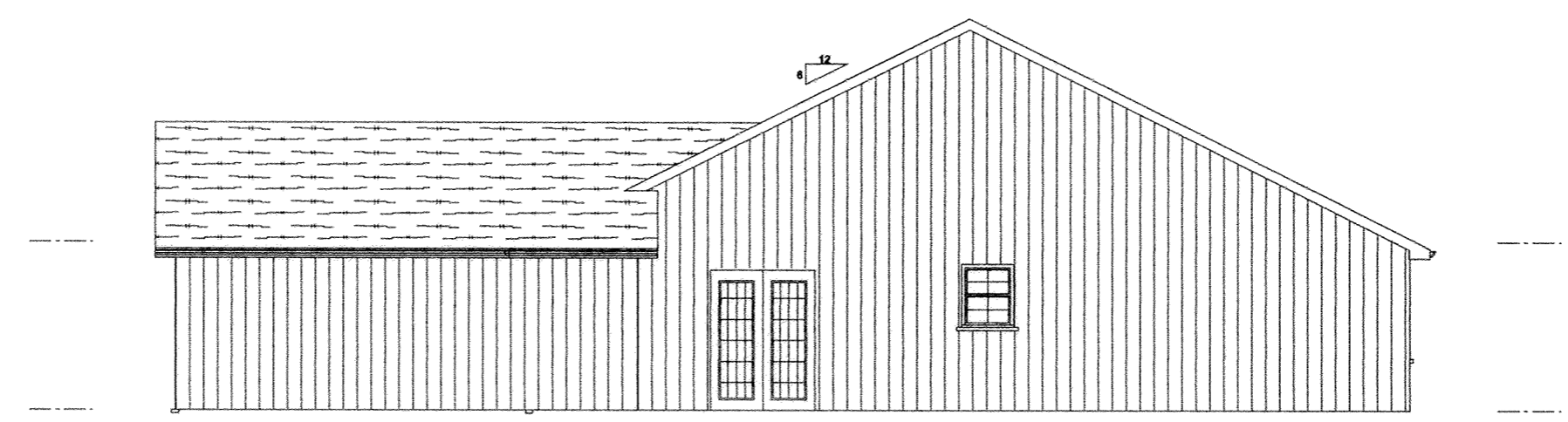


LEFT ELEVATION

B.M. - Top of Steamer Nozzle on Fire Hydrant Located at the Intersection of Sheridan Dr. and Ridge Run Cir. Elev. = 100.00



REAR ELEVATION



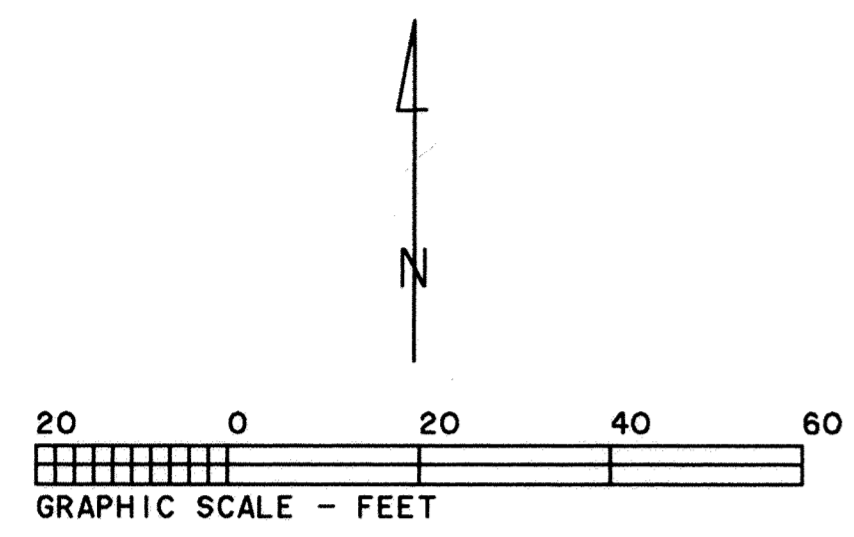
RIGHT ELEVATION

2417 - 2421 Ridge Run Cir.

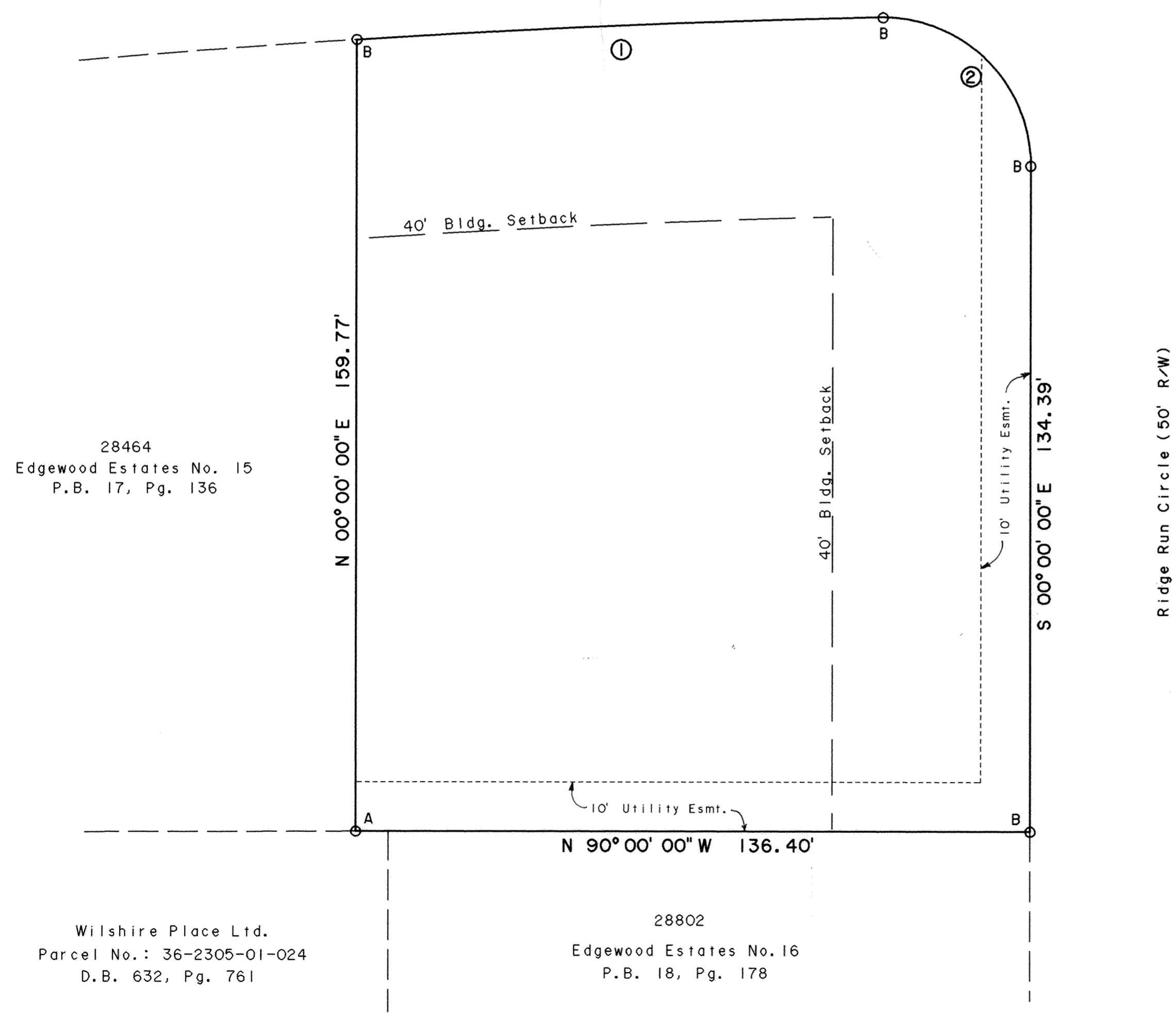
SCALE: 1/8" = 1'-0"

BROOKHAVEN CONDOMINIUM NO. 39

SURVEY OF DEDICATOR'S LAND



Sheridan Dr. (50' R/W)



28464
Edgewood Estates No. 15
P.B. 17, Pg. 136

Wilshire Place Ltd.
Parcel No.: 36-2305-01-024
D.B. 632, Pg. 761

28802
Edgewood Estates No. 16
P.B. 18, Pg. 178

A - Found Iron Pin
B - Found #5 Rebar

DESCRIPTION

Being all of Lot No. 28463 in Edgewood Estates No. 15 in the NE 1/4 of Section 23, T3S, R6E, American Township, Allen County, Ohio as shown on the recorded plat in Plat Book 17, Page 136 in the Allen County Recorder's Office.

REVIEWED BY:
M. Howbert
MICHAEL L. HOWBERT, P.E.
ALLEN COUNTY ENGINEERS
DATE: 4/22/04

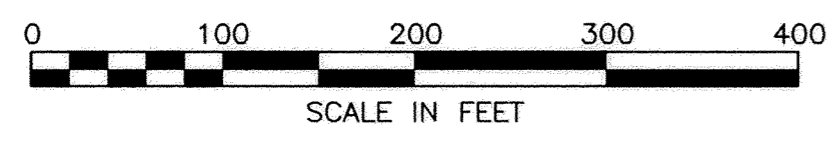
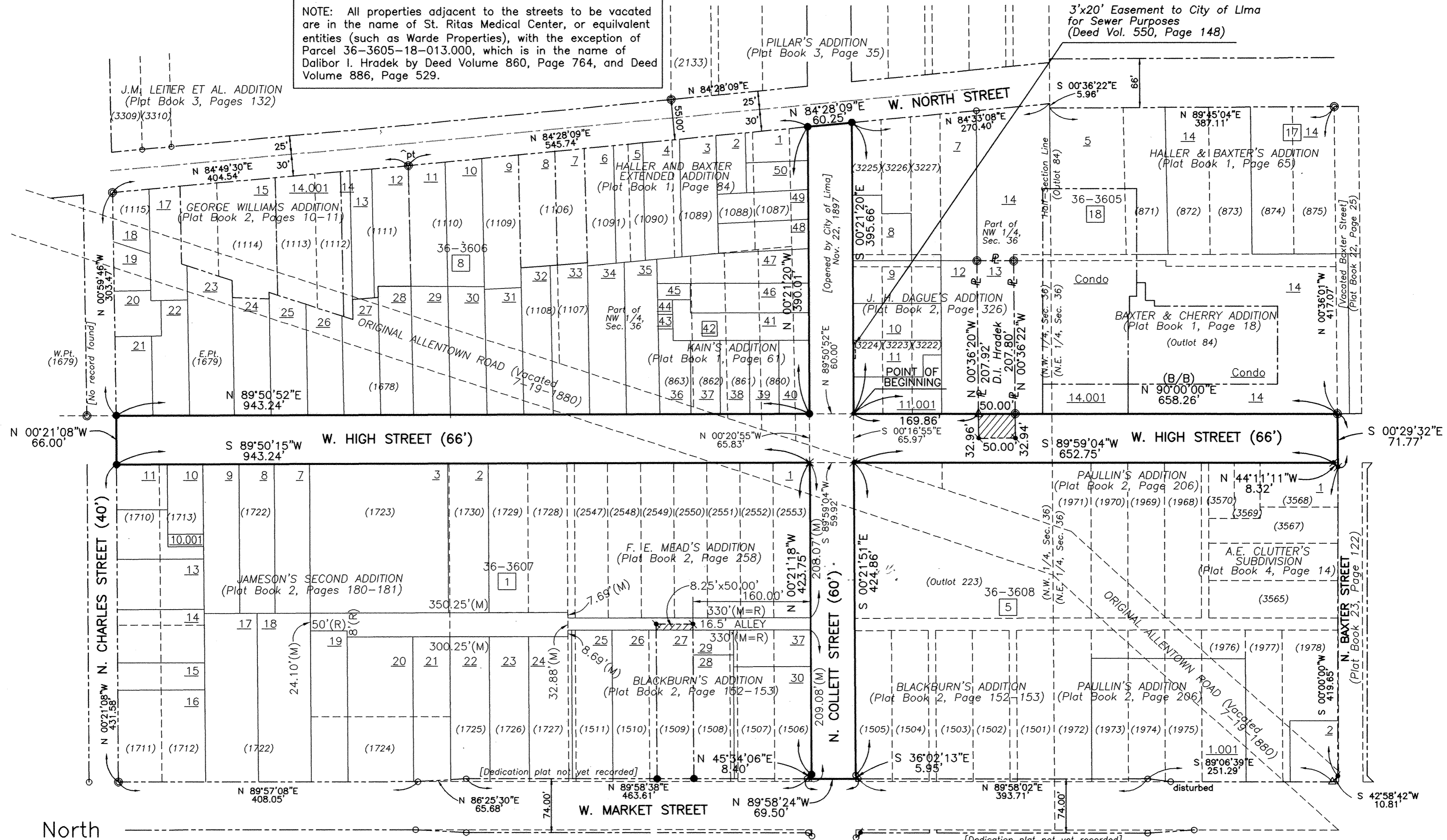
CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	2495.25'	106.51'	2°26'44"	106.50'	N 87°30'51"E
C-2	30.00'	47.12'	90°00'00"	42.43'	S 45°00'03"E

STREET VACATION PLAT

High Street between Charles Street and Baxter Street
 Collett Street between Market Street and North Street
 Part of both NW 1/4 and NE 1/4, Section 36, T-3-S, R-6-E
 City of Lima, Allen County, Ohio

NOTE: All properties adjacent to the streets to be vacated are in the name of St. Ritas Medical Center, or equivalent entities (such as Warde Properties), with the exception of Parcel 36-3605-18-013.000, which is in the name of Dalibor I. Hradek by Deed Volume 860, Page 764, and Deed Volume 886, Page 529.

3'x20' Easement to City of Lima for Sewer Purposes (Deed Vol. 550, Page 148)



- LEGEND**
- × Chiseled Cross (found)
 - Iron Pipe (found)
 - Iron Rod (found)
 - ✦ Magnail (set)
 - ▲ P.K. Nail (found)
 - △ Railroad Spike (found)
 - 3/4" dia. x 30" long Iron Pipe (set) w/orange plastic "K&K/LIMA" plug
- (B/B)=Basis of bearings

AREA TO BE VACATED IS 3.647 ACRES

NOTE: OF THIS 3.647 ACRES, 3.609 ACRES WILL BECOME PART OF THE LANDS OF THE ST. RITAS MEDICAL CENTER (MULTIPLE TAX PARCEL NUMBERS AS SHOWN), AND 0.038 ACRES WILL BECOME PART OF THE LANDS OF DALIBOR I. HRADEK.

As of July 15, 2004, monuments have been recovered or set at all block corners or angle points as shown. If, within sixty days of the recording of this plat, the property now in the name of Dalibor I. Hradek is still in that name, monuments will be set at the corners of that property as shown.

L-1197

STREET VACATION PLAT

High Street between Charles Street and Baxter Street Collett Street between Market Street and North Street

Part of both NW 1/4 and NE 1/4, Section 36, T-3-S, R-6-E City of Lima, Allen County, Ohio

DESCRIPTION OF STREETS TO BE VACATED

Being all of High Street between the east line of Charles Street and the extended west line of Baxter Street, plus all of Collett Street between the north line of Market Street and the south line of North Street, situated in or adjacent to platted subdivisions (referenced below) in both the northwest quarter and the northeast quarter of Section 36, Township-3-South, Range-6-East (formerly American Township), in the City of Lima, Allen County, Ohio, more particularly described as follows:

BEGINNING at a P.K. nail (found in a concrete wall) at the intersection of the east line of Collett Street and the north line of High Street, which point is also the southwest corner of Lot 3224 of J.H. Dague's Addition (Plat Book 2, Page 326);

thence easterly with said north line of High Street (part of which was apparently dedicated as part of said Dague's Addition) at N 90°00'00"E, 658.26 feet to a 3/4-inch diameter iron pipe (found) at the intersection with the west line of vacated Baxter Street (Plat Book 22, Page 25);

thence southerly through the right-of-way of High Street at S 00°29'32"E, 71.77 feet to a P.K. nail (found in concrete sidewalk) at an angle point in the dedicated west line of Baxter Street (Plat Book 23, Page 122);

thence northwesterly with said dedicated west line of Baxter Street at N 44°11'11"W, 8.32 feet to a P.K. nail (found in concrete sidewalk) in the south line of High Street;

thence westerly with the south line of High Street (part of which was apparently dedicated as part of Paullin's Addition [Plat Book 2, Page 206]) at S 89°59'04"W, 652.75 feet to a P.K. nail (found in concrete sidewalk) at the intersection with the east line of Collett Street;

thence southerly with the east line of Collett Street, part of which is the west line of Lot 1505 of Blackburn's Addition (Plat Book 2, Pages 152-153), at S 00°21'51"E, 424.86 feet to a 5/8-inch diameter iron rod (found) at an angle point in said east line (see dedication plat for Market Street improvement prepared by City of Lima, but not yet recorded);

thence southeasterly with the east line of Collett Street at S 36°02'13"E, 5.95 feet to a 5/8-inch diameter iron rod (found) in the dedicated north line of Market Street (said plat not yet recorded);

thence westerly with said dedicated north line of Market Street at N 89°58'24"W, 69.50 feet to a 5/8-inch diameter iron rod (found) in the dedicated west line of Collett Street (said plat not yet recorded);

thence northeasterly with said dedicated west line of Collett Street at N 45°34'06"E, 8.40 feet to an iron pipe (set) at an angle point in the dedicated west line of Collett Street (said plat not yet recorded);

thence northerly with the west line of Collett Street, which line is both the east line of Lot 1506 of said Blackburn's Addition and the east line of Lot 2553 of F.E. Mead's Addition (Plat Book 2, Page 258), at N 00°21'18"W, 423.75 feet to a chiseled cross (found in brick walkway) at the northeast corner of said Lot 2553;

thence westerly with the south line of High Street, which line is both the north line of said Mead's Addition and the north lines of Lots 1728, 1729, 1730, 1723, 1722, 1713, and 1710 of Jameson's Second Addition (Plat Book 2, Pages 180-181), at S 89°50'15"W, 943.24 feet to an iron pipe (set) at the northwest corner of said Lot 1710;

thence northerly through the right-of-way of High Street and with an extension of the west line of said Lot 1710, which line is also an extension of the east line of Charles Street, at N 00°21'08"W, 66.00 feet to an iron pipe (set) at the intersection with the south line of Lot 1679 of said Jameson's Second Addition (no dedication was found for Charles Street north of High Street);

thence easterly with the south lines of Lots 1679 and 1678 of said Jameson's Second Addition, and their extensions, at N 89°50'52"E, 943.24 feet to an iron pipe (set) at the intersection with the west line of Collett Street (apparently dedicated as part of said Dague's Addition);

thence northerly with the west line of Collett Street, which line is 60.00 feet westerly from and parallel with (measured at right angles) the west lines of Lots 3224 and 3225 of said Dague's Addition, at N 00°21'20"W, 390.01 feet to an iron pipe (set) at the intersection with the south line of North Street;

thence easterly through the right-of-way of Collett Street and with the south line of North Street, which line is 55.00 feet southerly from and parallel with (measured at right angles) the south line of Pillar's Addition (Plat Book 3, Page 35), at N 84°28'09"E, 60.25 feet to an iron pipe (set) at the northwest corner of Lot 3225 of said Dague's Addition;

thence southerly with the east line of Collett Street, which line is the west line of both Lots 3224 and 3225 of said Dague's Addition, at S 00°21'20"E, 395.66 feet to the POINT OF BEGINNING.

The area to be vacated is 3.647 acres.

This description is based on surveying work performed by Kohli & Kaliher Associates, Inc., through March 8, 2004, under the supervision of Michael G. Buettner, Ohio Registered Surveyor No. 6881. Bearings are based on an assumed cardinal direction for the north line of High Street between Collett Street and Baxter Street.

COUNTY AUDITOR

I hereby certify that the land described by this plat was transferred on July 28, 2004

Ben E. Diepenbrock SMS
Allen County Auditor

COUNTY RECORDER 200415011

I hereby certify that this plat was filed for recording on July 28, 2004 and that it was recorded on 11:17 AM in Vol. 26, Page 18, plat records of Allen County, Ohio.

Fee \$ 82.80
Edward P. Kirda
Allen County Recorder MH

see deed vol 929 Pg 126

Michael G. Buettner
Michael G. Buettner
Ohio Registered Surveyor No. 6881



APPROVAL BY THE PLANNING COMMISSION

I hereby certify that this plat was approved by the Planning Commission on _____
This approval becomes void unless the plat is filed for recording within ninety (90) days of this approval.

Chairman, City Planning Commission

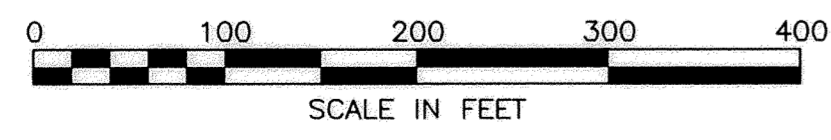
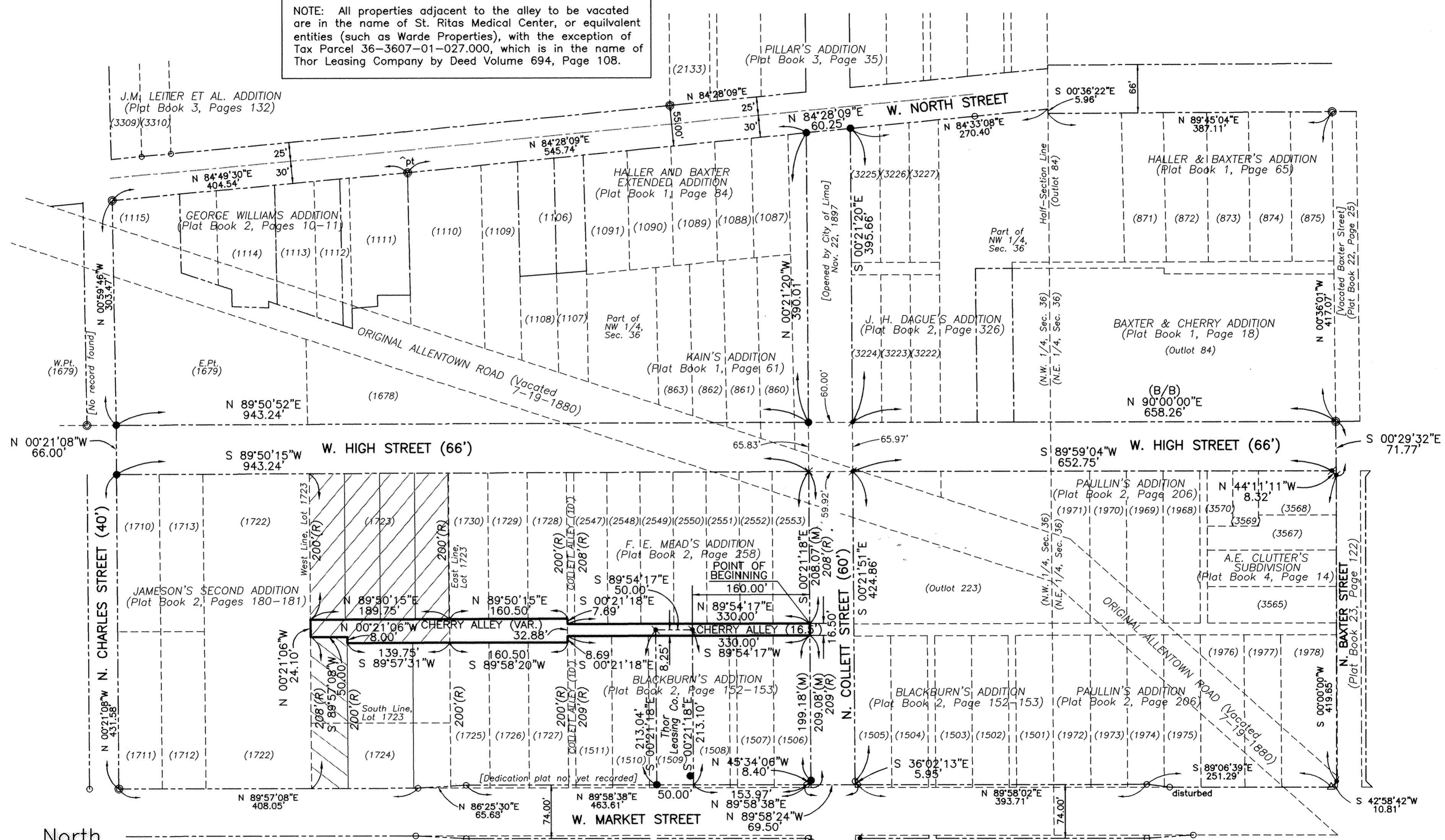
ALLEY VACATION PLAT

Cherry Alley west of Collett Street

Part of NW 1/4, Section 36, T-3-S, R-6-E

City of Lima, Allen County, Ohio

NOTE: All properties adjacent to the alley to be vacated are in the name of St. Ritas Medical Center, or equivalent entities (such as Warde Properties), with the exception of Tax Parcel 36-3607-01-027.000, which is in the name of Thor Leasing Company by Deed Volume 694, Page 108.



- LEGEND**
- ⊗ Chiseled Cross (found)
 - ⊙ Iron Pipe (found)
 - Iron Rod (found)
 - ⌘ Magnail (set)
 - ⌘ P.K. Nail (found)
 - △ Railroad Spike (found)
 - 3/4" dia. x 30" long Iron Pipe (set) w/orange plastic "K&K/LIMA" plug
- (B/B)=Basis of bearings

Lands granted in 1887 from George Jameson Henry H. Simons (Deed Volume 52, Page 373)

Lands granted in 1894 to Theo D. Robb (Deed Volume 69, Page 81)

AREA TO BE VACATED IS 0.377 ACRES

NOTE: OF THIS 0.377 ACRES, 0.368 ACRES WILL BECOME PART OF THE LANDS OF THE ST. RITAS MEDICAL CENTER (MULTIPLE TAX PARCEL NUMBERS AS SHOWN), AND 0.009 ACRES WILL BECOME PART OF THE LANDS OF THOR LEASING COMPANY.

As of July 15, 2004, monuments have been recovered or set at all block corners or angle points as shown. If, within sixty days of the recording of this plat, the property now in the name of Thor Leasing Company is still in that name, monuments will be set at the corners of that property as shown.

L-1198

Allen County Tax Parcel Number

ALLEY VACATION PLAT

Cherry Alley west of Collett Street

Part of NW 1/4, Section 36, T-3-S, R-6-E

City of Lima, Allen County, Ohio

DESCRIPTION OF ALLEY TO BE VACATED

Being all parts of Cherry Alley west of Collett Street (north of and roughly parallel with Market Street; south of and roughly parallel with High Street), situated in or adjacent to platted subdivisions (referenced below) in the northwest quarter of Section 36, Township-3-South, Range-6-East (formerly American Township), in the City of Lima, Allen County, Ohio, more particularly described as follows:

Commencing at a chiseled cross (found in brick walkway) at the intersection of the west line of Collett Street and the south line of High Street, which point is also the northeast corner of Lot 2553 of F.E. Mead's Addition (Plat Book 2, Page 258);

thence southerly with the east line of said Lot 2553 (same as west line of Collett Street) at S 00°21'18"E, 208.07 feet (record distance is 208 feet) to the southeast corner of said Lot 2553, which point is the POINT OF BEGINNING;

thence continuing southerly with said west line of Collett Street at S 00°21'18"E, 16.50 feet to the northeast corner of Lot 1506 of Blackburn's Addition (Plat Book 2, Pages 152-153);

thence westerly with the north lines of Lots 1506, 1507, 1508, 1509, 1510, and 1511 of said Blackburn's Addition (south line of said alley to be vacated) at S 89°54'17"W, 330.00 feet to a point in the west line of a 10-foot alley labeled as Collett Alley on said plat of Blackburn's Addition;

thence southerly with said west line of Collett Alley, which line is also the east line of Lot 1727 of Jameson's Second Addition (Plat Book 2, Pages 180-181) at S 00°21'18"E, 8.69 feet to the northeast corner of Lot 1727 of said Jameson's Second Addition;

thence westerly with the north lines of Lots 1727, 1726, and 1725 of said Jameson's Second Addition at S 89°58'20"W, 160.50 feet to the northwest corner of said Lot 1725;

thence westerly into Lot 1723 of said Jameson's Second Addition at S 89°57'31"W, 139.75 feet to a point in the east line of a 50-foot by 208-foot parcel originally granted in 1887 from George Jameson to Henry H. Simons (Deed Volume 52, Page 373);

thence northerly with the east line of said 50-foot by 208-foot parcel at N 00°21'06"W, 8.00 feet to the northeast corner of said 50-foot by 208-foot parcel;

thence westerly with the north line of said 50-foot by 208-foot parcel at S 89°57'08"W, 50.00 feet to the northwest corner of said 50-foot by 208-foot parcel, which point is in the west line of said Lot 1723 of Jameson's Second Addition;

thence northerly with said west line of Lot 1723 at N 00°21'06"W, 24.10 feet to a point that by record is 200 feet southerly from the south line of High Street;

thence easterly through Lot 1723 of said Jameson's Second Addition and with the north line of said alley to be vacated, which line by record is 200 feet southerly from and parallel with the south line of High Street, at N 89°50'15"E, 189.75 feet to the southwest corner of Lot 1730 of said Jameson's Second Addition;

thence easterly with the south lines of Lots 1730, 1729, and 1728 of said Jameson's Second Addition at N 89°50'15"E, 160.50 feet to the southeast corner of said Lot 1728, which point is in the west line of said Collett Alley;

thence southerly with said west line of Collett Alley at S 00°21'18"E, 7.69 feet;

thence easterly with the north line of said alley to be vacated, and with the south lines of Lots 2547, 2548, 2549, 2550, 2551, 2552, and 2553, at N 89°54'17"E, 330.00 feet to the POINT OF BEGINNING.

The area to be vacated is 0.377 acres.

It is understood that the portion of the herein described Cherry Alley which is west of Collett Alley was not dedicated as part of any recorded plat, and apparently comprises a remnant from lands last granted in 1894 to Theo D. Robb (Deed Volume 69, Page 81).

This description is based on surveying work performed by Kohli & Kaliher Associates, Inc., through March 15, 2004, under the supervision of Michael G. Buettner, Ohio Registered Surveyor No. 6881. Bearings are based on an assumed cardinal direction for the north line of High Street between Collett Street and Baxter Street.

Michael G. Buettner
 Michael G. Buettner
 Ohio Registered Surveyor No. 6881



COUNTY AUDITOR

I hereby certify that the land described by this plat was transferred on July 28, 2004

Ben E. Diepenbrock MS
 Allen County Auditor

APPROVAL BY THE PLANNING COMMISSION

I hereby certify that this plat was approved by the Planning Commission on _____
 This approval becomes void unless the plat is filed for recording within ninety (90) days of this approval.

 Chairman, City Planning Commission

COUNTY RECORDER 200415012

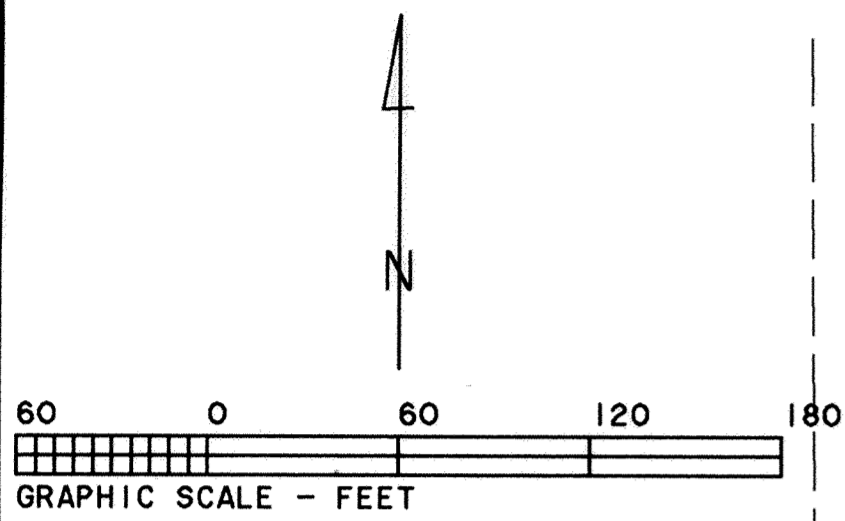
I hereby certify that this plat was filed for recording on July 28, 2004, and that it was recorded on 11:18 AM in Vol. 26, Page 20, plat records of Allen County, Ohio.

Fee \$ 82.80
Edward P. Ruiz
 Allen County Recorder MH

See Deed vol 929 Pg 126

SPRINGBROOK GREENS CONDOMINIUMS NO. 11

Part of the NW 1/4 of Section 7, T3S, R7E, Bath Twp., Allen Co., Oh.



R. J. Stone Development Group, Inc.
D.B. 875 Pg. 350

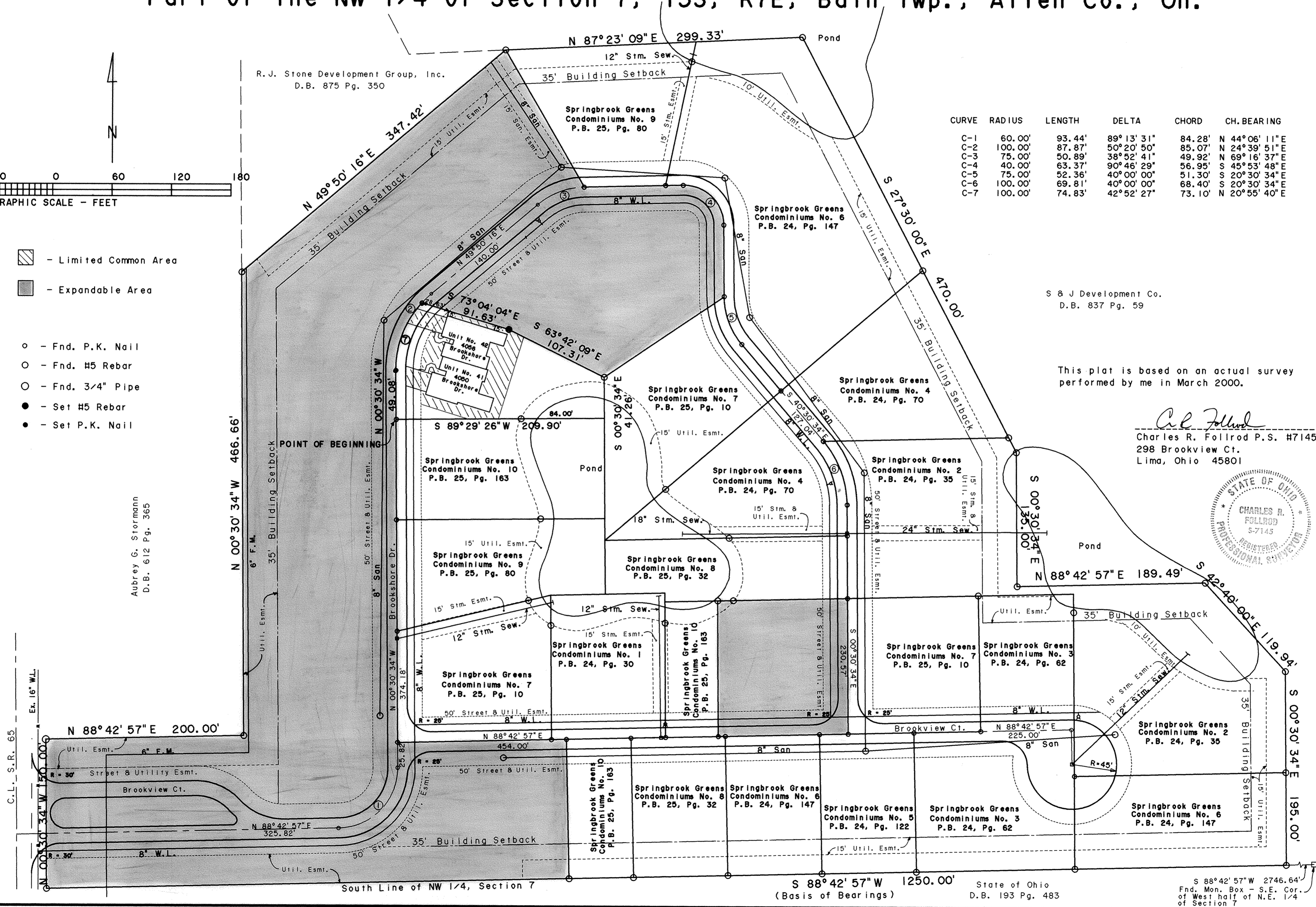
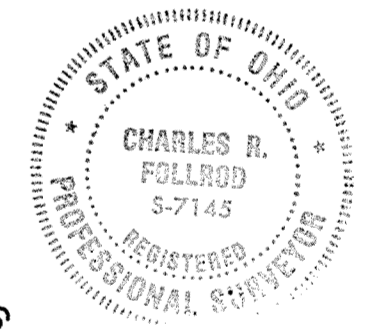
CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	60.00'	93.44'	89° 13' 31"	84.28'	N 44° 06' 11" E
C-2	100.00'	87.87'	50° 20' 50"	85.07'	N 24° 39' 51" E
C-3	75.00'	50.89'	38° 52' 41"	49.92'	N 69° 16' 37" E
C-4	40.00'	63.37'	90° 46' 29"	56.95'	S 45° 53' 48" E
C-5	75.00'	52.36'	40° 00' 00"	51.30'	S 20° 30' 34" E
C-6	100.00'	69.81'	40° 00' 00"	68.40'	S 20° 30' 34" E
C-7	100.00'	74.83'	42° 52' 27"	73.10'	N 20° 55' 40" E

- Limited Common Area
- Expandable Area
- Fnd. P.K. Nail
- Fnd. #5 Rebar
- Fnd. 3/4" Pipe
- Set #5 Rebar
- Set P.K. Nail

S & J Development Co.
D.B. 837 Pg. 59

This plat is based on an actual survey performed by me in March 2000.

Charles R. Follrod
 Charles R. Follrod P.S. #7145
 298 Brookview Ct.
 Lima, Ohio 45801



S 88° 42' 57" W 1250.00'
(Basis of Bearings)

State of Ohio
D.B. 193 Pg. 483

S 88° 42' 57" W 2746.64'
Fnd. Mon. Box - S.E. Cor.
of West half of N.E. 1/4
of Section 7

SPRINGBROOK GREENS CONDOMINIUMS NO. 11

DESCRIPTION
(Private Street & Utility Easement - Brookview Ct./Brookshore Dr.)

(Private Street & Utility Easement - Brookview Ct.)

SPRINGBROOK GREENS CONDOMINIUMS NO. 11, consists of a part of the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio.

This set of drawings attached hereto consisting of a Plat Plan of SPRINGBROOK GREENS CONDOMINIUMS NO. 11, one page of descriptions, two pages of floor plans, one page of elevation views of the buildings and one page showing the survey of the dedicator's land, show insofar as graphically possible (1) the particulars of the buildings in the condominiums, including but not limited to the layout, location designation and dimensions of each of the units therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities and the expandable area. The undersigned being a Professional Surveyor and Professional Engineer hereby certify that said drawings show the building as constructed, as graphically possible.

Charles R. Follrod
Professional Surveyor No. 7145
Charles R. Follrod, P.S.
R & A Engineers Inc.

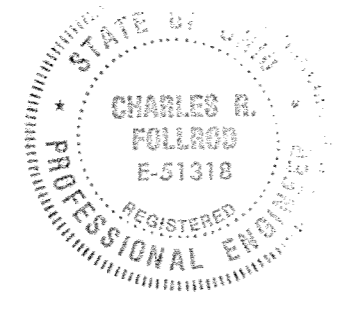
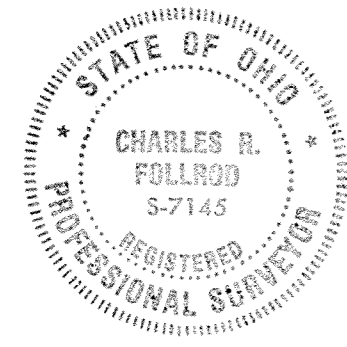
Charles R. Follrod
Professional Engineer No. 51318
Charles R. Follrod, P.E.
R & A Engineers Inc.

No. 200416472
Filed for record this 19th day of August, 2004 at 11:07 o'clock
A.M. in the office of the Allen County Recorder and recorded in Plat Book 26 on Page 22.

Fee: 248.40

Edward P. Kaitz
RECORDER, Allen County, Ohio *by MH*

For DECLARATIONS see Deed Volume 930 Page 4



DESCRIPTION
(Springbrook Greens Condominiums No. 11)

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Beginning at a found P.K. nail at the Northwest corner of Springbrook Greens Condominiums No. 10 (Parcel No. 3) as recorded in P.B. 25, Pg. 163 in the Allen County Recorder's Office and being the POINT OF BEGINNING, thence the following courses:

- N00°30'34"W, 49.08' to a set P.K. nail;
- Northeasterly on a curve to the right an arc distance of 74.83', said curve having a radius of 100.00', a delta angle of 42°52'27", and an L.C. of N20°55'40"E, 73.10' to a set P.K. nail;
- S73°04'04"E, 91.63' to a set #5 rebar;
- S63°42'09"E, 107.31' to a found #5 rebar;
- S00°30'34"E with the west line of Springbrook Greens Condominiums No. 7 (Parcel No. 1), 41.26' to a point;
- S89°29'26"W with the north line of said Springbrook Greens Condominiums No. 10 (Parcel No. 3), 209.90' to the POINT OF BEGINNING, passing over a found #5 rebar at 84.00'.

The above described parcel contains 0.410 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Prior Deedholder: R.J. Stone Development Group, Inc. (D.B. 870 Pg. 624)

Parcel No.: 37-0702-01-019.001

REVIEWED BY:
Michael L. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEERS
DATE: 8/19/04

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3996.64' to a found #5 rebar on the right-of-way line of S.R. 65, thence N00°30'34"W with said right-of-way, 30.00' to the POINT OF BEGINNING, thence the following courses:

- N00°30'34"W with said right-of-way, 90.01';
- N88°42'57"E, 150.50';
- Southeasterly on a curve to the right an arc distance of 63.08', said curve having a radius of 75.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 61.24';
- Southeasterly on a curve to the left an arc distance of 37.85', said curve having a radius of 45.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 36.74';
- N88°42'57"E, 55.00';
- Northeasterly on a curve to the left an arc distance of 54.50', said curve having a radius of 35.00', a delta angle of 89°13'31", and an L.C. of N44°06'12"E, 49.16';
- N00°30'34"W, 400.00';
- Northeasterly on a curve to the right an arc distance of 109.84', said curve having a radius of 125.00', a delta angle of 50°20'50", and an L.C. of N24°39'51"E, 106.34';
- N49°50'16"E, 140.00';
- Northeasterly on a curve to the right an arc distance of 67.86', said curve having a radius of 100.00', a delta angle of 38°52'41", and an L.C. of N69°16'37"E, 66.56';
- N88°42'57"E, 100.00';
- Southeasterly on a curve to the right an arc distance of 102.98', said curve having a radius of 65.00', a delta angle of 90°46'29", and an L.C. of S45°53'49"E, 92.54';
- S00°30'34"E, 72.60';
- Southeasterly on a curve to the left an arc distance of 34.91', said curve having a radius of 50.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 34.20';
- S40°30'34"E, 127.04';
- Southeasterly on a curve to the right an arc distance of 87.27', said curve having a radius of 125.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 85.51';
- S00°30'34"E, 205.23';
- S88°42'57"W, 50.00';
- N00°30'34"W, 205.90';
- N40°30'34"W, 127.04';
- Northeasterly on a curve to the right an arc distance of 69.81', said curve having a radius of 100.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 68.40';
- N00°30'34"W, 72.60';
- Northeasterly on a curve to the left an arc distance of 23.76', said curve having a radius of 15.00', a delta angle of 90°46'29", and an L.C. of N45°53'48"W, 21.36';
- S88°42'57"W, 100.00';
- Southwesterly on a curve to the left an arc distance of 33.93', said curve having a radius of 50.00', a delta angle of 38°52'41", and an L.C. of S69°16'36"W, 33.28';
- S49°50'16"W, 140.00';
- Southwesterly on a curve to the left an arc distance of 65.90', said curve having a radius of 75.00', a delta angle of 50°20'50", and an L.C. of S24°39'51"W, 63.80';
- S00°30'34"E, 400.00';
- Southwesterly on a curve to the right an arc distance of 132.37', said curve having a radius of 85.00', a delta angle of 89°13'31", and an L.C. of S44°06'12"W, 119.39';
- S88°42'57"W, 296.16' to the POINT OF BEGINNING.

The above described easement contains 2.202 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3616.62' to a point, thence N00°30'34"W, 115.01' to the POINT OF BEGINNING, thence the following courses:

- N00°30'34"W, 50.00';
- N88°42'57"E, 653.66';
- Southwesterly on a curve to the right an arc distance of 292.79', said curve having a radius of 60.00', a delta angle of 279°35'39" and an L.C. of S48°30'46"W, 77.46';
- S88°42'57"W, 595.17' to the POINT OF BEGINNING.

The above described easement contains 0.959 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Total Private Street & Utility Easement = 3.161 acres

DESCRIPTION
(Springbrook Greens Condominiums No. 11 Dedicator's Land)

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

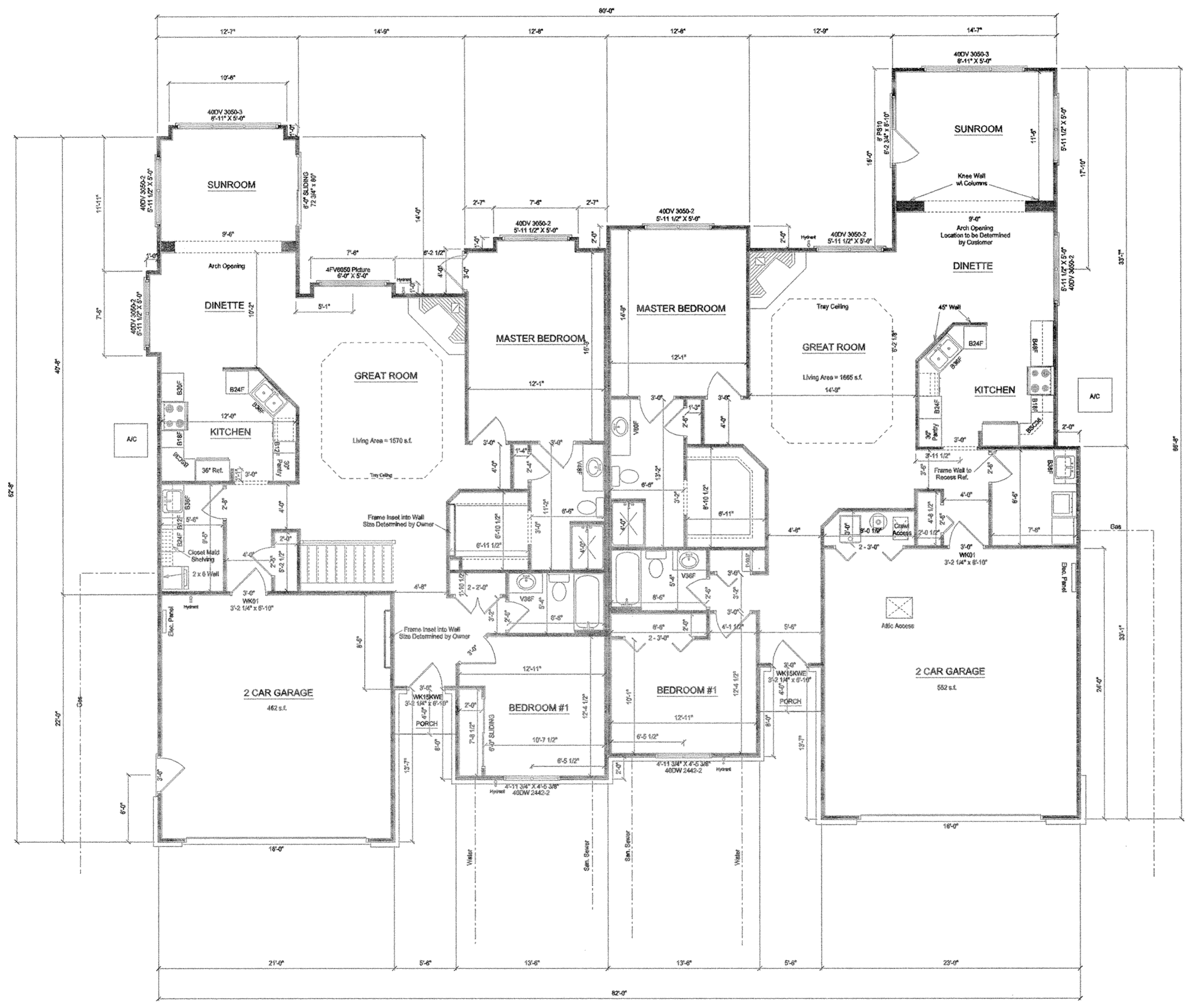
Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 2746.64' to a found #5 rebar and being the POINT OF BEGINNING, thence the following courses:

- S88°42'57"W with the south line of the NW 1/4 of Section 7, 1250.00' to a found #5 rebar on the right-of-way line of S.R. 65, passing over a found #5 rebar at 1200.00' also on the right-of-way line of S.R. 65;
- N00°30'34"W with the right-of-way line of S.R. 65, 150.00' to a found 1/2" pipe;
- N88°42'57"E, 200.00' to a found #5 rebar;
- N00°30'34"W, 466.66' to a found #5 rebar;
- N49°50'16"E, 347.42' to a found #5 rebar;
- N87°23'09"E, 299.33' to a found #5 rebar;
- S27°30'00"E, 470.00' to a found #5 rebar;
- S00°30'34"E, 135.00' to a found #5 rebar;
- N88°42'57"E, 189.49' to a found #5 rebar;
- S42°40'00"E, 119.94' to a found #5 rebar;
- S00°30'34"E, 195.00' to the POINT OF BEGINNING.

The above described parcel contains 15.673 acres more or less, subject to all legal highways and easements of record.

- SAVE AND EXCEPT**
- (Springbrook Greens Condominiums No. 1 - Acreage = 0.383 ac.) (For Description - See P.B. 24, Pg. 30)
 - (Springbrook Greens Condominiums No. 2 - Acreage = 1.502 ac.) (For Description - See P.B. 24, Pg. 35)
 - (Springbrook Greens Condominiums No. 3 - Acreage = 0.814 ac.) (For Description - See P.B. 24, Pg. 62)
 - (Springbrook Greens Condominiums No. 4 - Acreage = 0.965 ac.) (For Description - See P.B. 24, Pg. 70)
 - (Springbrook Greens Condominiums No. 5 - Acreage = 0.305 ac.) (For Description - See P.B. 24, Pg. 122)
 - (Springbrook Greens Condominiums No. 6 - Acreage = 1.972 ac.) (For Description - See P.B. 24, Pg. 147)
 - (Springbrook Greens Condominiums No. 7 - Acreage = 1.377 ac.) (For Description - See P.B. 25, Pg. 10)
 - (Springbrook Greens Condominiums No. 8 - Acreage = 0.646 ac.) (For Description - See P.B. 25, Pg. 32)
 - (Springbrook Greens Condominiums No. 9 - Acreage = 0.880 ac.) (For Description - See P.B. 25, Pg. 80)
 - (Springbrook Greens Condominiums No. 10 - Acreage = 0.862 ac.) (For Description - See P.B. 25, Pg. 163)

The total dedicator's land contains 5.967 acres more or less subject to all legal highways and easements of record.

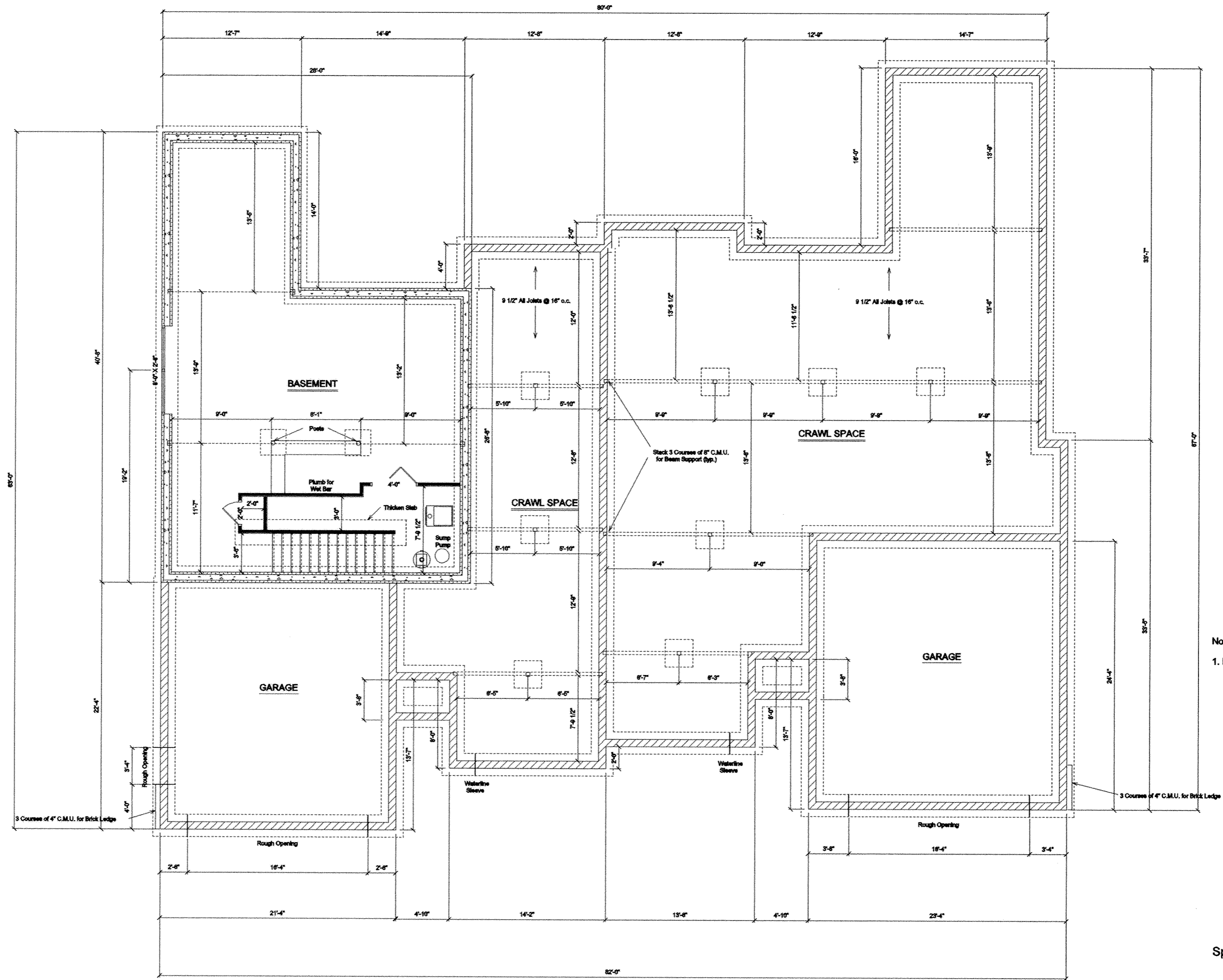


Unit No. 42
4056 Brookshore Dr.

Unit No. 41
4050 Brookshore Dr.

- Notes:
1. The framer is to install cabinet blocking.
 2. The framer shall install sheathing in the attic above garage.
 3. 2x6 walls shall be constructed adjacent to the washer and dryer.

Springbrook Greens Condominiums
Job 950/951
SCALE: 1/8" = 1'-0"
2-17-04
Revised 4/21/04

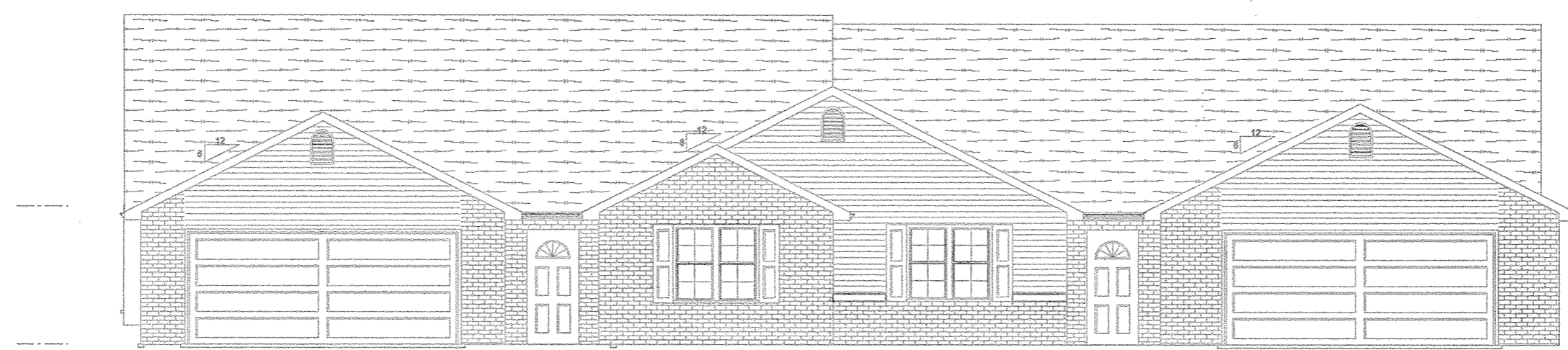


Unit No. 42
4056 Brookshore Dr.

Unit No. 41
4050 Brookshore Dr.

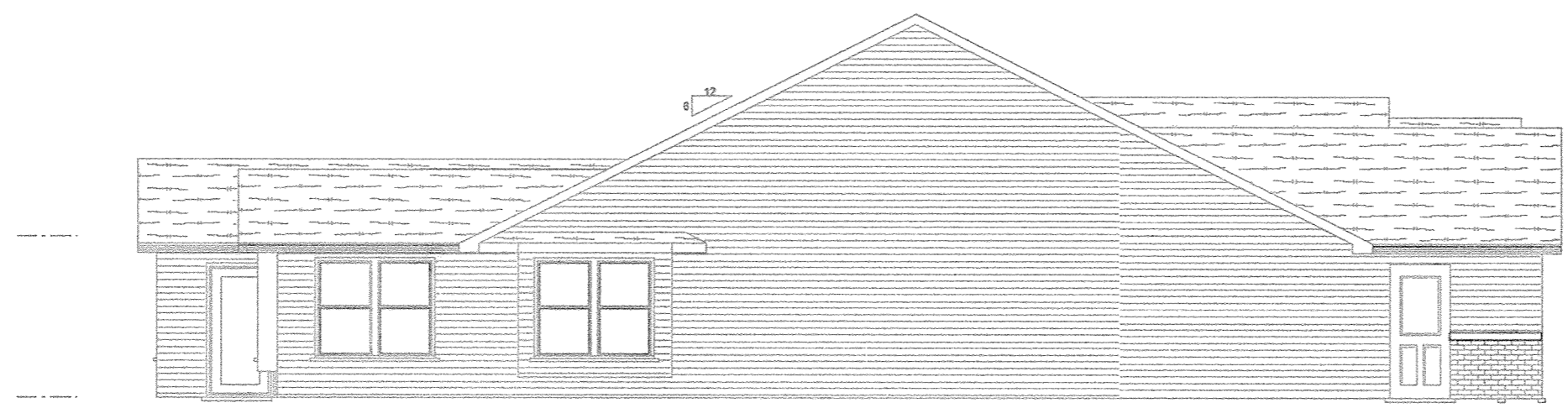
Notes:
1. Provide 2" waterline sleeves under footer.

Springbrook Greens Condominiums
Job 950 & 951
SCALE: 1/8" = 1'-0"
3-11-04
Revised 3/29/04



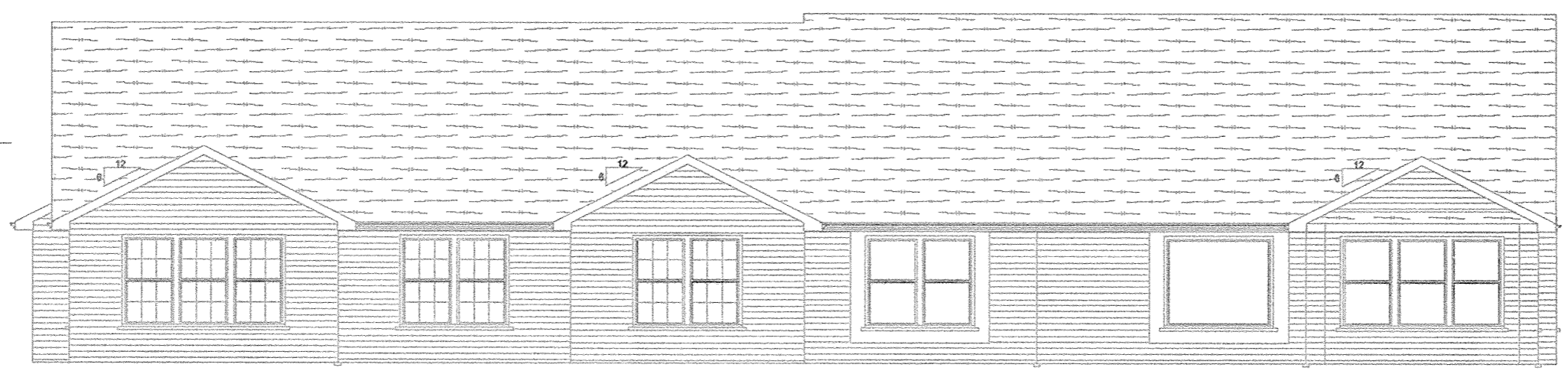
FRONT ELEVATION

Elev. = 117.43
 Elev. = 113.41
 Elev. = 107.66
 Fin. Flr. Elev. = 99.66



LEFT ELEVATION

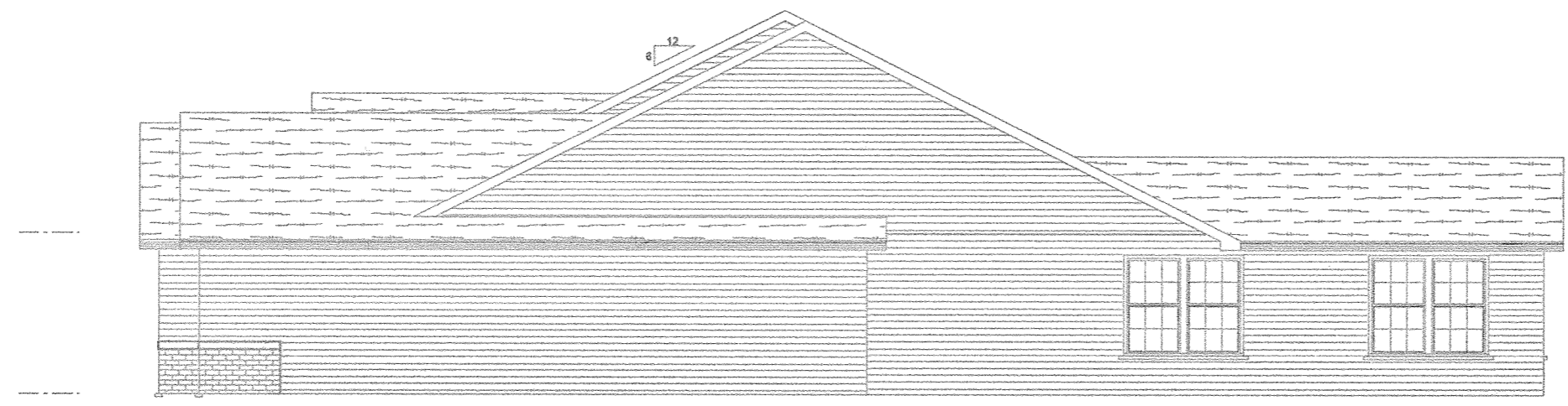
B.M. Elev. - Top of Steamer Nozzle on Fire Hydrant Located
 in Front of 4032 Brookshore Dr. Elev. = 100.00



REAR ELEVATION

Elev. = 111.31

Elev. = 110.80



RIGHT ELEVATION

4056 - 4050 Brookshore Dr.

SPRINGBROOK GREENS CONDOMINIUMS NO. 11

Survey of Dedicator's Land

R. J. Stone Development Group, Inc.
D.B. 875 Pg. 350

Springbrook Greens
Condominiums No. 9
P.B. 25, Pg 80

Springbrook Greens
Condominiums No. 6
P.B. 24, Pg. 147

For Dedicator's Land and Street &
Utility Easement Description -
See Sheet No. 2

Springbrook Greens
Condominiums No. 11
(For Descrip.
See Sht. 2)

Springbrook Greens
Condominiums No. 7
P.B. 25 Pg. 10

Springbrook Greens
Condominiums No. 10
P.B. 25, Pg. 163

Springbrook Greens
Condominiums No. 4
P.B. 24, Pg. 70

Springbrook Greens
Condominiums No. 2
P.B. 24, Pg. 35

Springbrook Greens
Condominiums No. 9
P.B. 25, Pg 80

Springbrook Greens
Condominiums No. 8
P.B. 25, Pg. 32

Springbrook Greens
Condominiums No. 7
P.B. 25 Pg. 10

Springbrook Greens
Condominiums No. 1
P.B. 24, Pg. 30

Springbrook
Greens
Condominiums
No. 10
P.B. 25,
Pg. 163

Springbrook Greens
Condominiums No. 7
P.B. 25 Pg. 10

Springbrook Greens
Condominiums No. 2
P.B. 24, Pg. 35

N 88° 42' 57" E 200.00'

N 88° 42' 57" E 150.50'

N 88° 42' 57" E 55.00'

S 88° 42' 57" W 595.17'

N 88° 42' 57" E 653.66'

Springbrook Greens
Condominiums No. 3
P.B. 24 Pg. 62

Springbrook Greens
Condominiums No. 6
P.B. 24, Pg. 147

Street & Utility Esmt.

Brookview Ct.

Brookview Ct.

50' Street & Util. Esmt.

50' Street & Util. Esmt.

50' Street & Util. Esmt.

50' Street & Util. Esmt.

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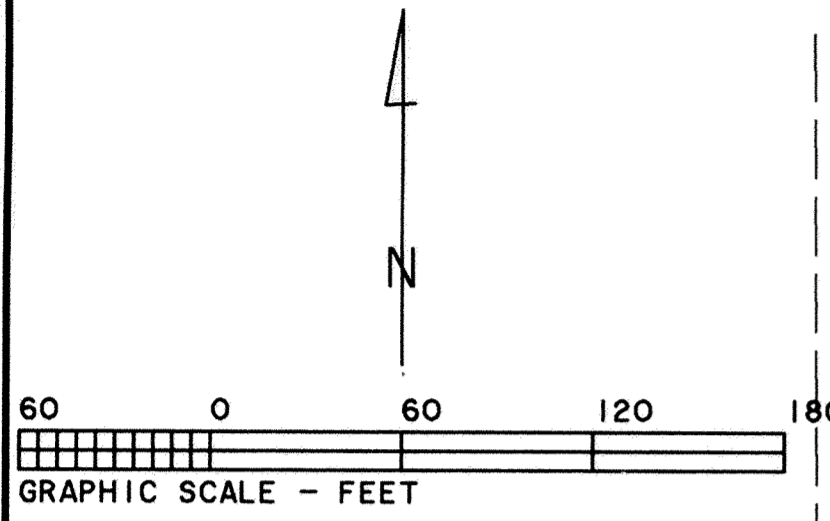
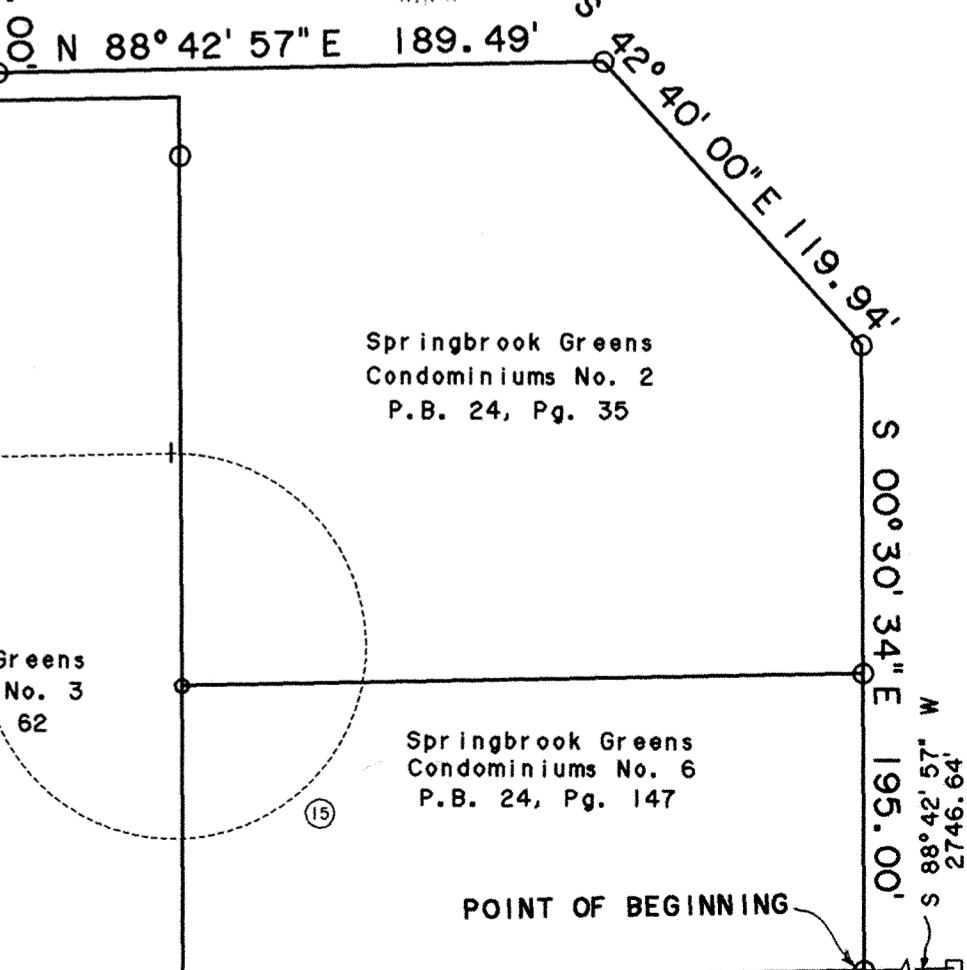
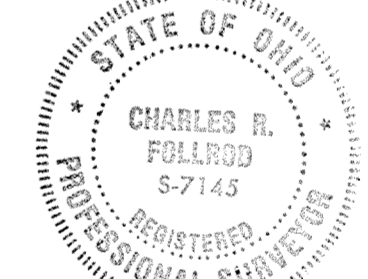
50' Street & Util. Esmt.

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	75.00'	63.08'	48° 11' 23"	61.24'	S 67° 11' 22" E
C-2	45.00'	37.85'	48° 11' 23"	36.74'	S 67° 11' 22" E
C-3	35.00'	54.50'	89° 13' 31"	49.16'	N 44° 06' 12" E
C-4	125.00'	109.84'	50° 20' 50"	106.34'	N 24° 39' 51" E
C-5	100.00'	67.86'	38° 52' 41"	66.56'	N 69° 16' 37" E
C-6	65.00'	102.98'	90° 46' 29"	92.54'	S 45° 53' 49" E
C-7	50.00'	34.91'	40° 00' 00"	34.20'	S 20° 30' 34" E
C-8	125.00'	87.27'	40° 00' 00"	85.51'	S 20° 30' 34" E
C-9	75.00'	52.36'	40° 00' 00"	51.30'	N 20° 30' 34" W
C-10	100.00'	69.81'	40° 00' 00"	68.40'	N 20° 30' 34" W
C-11	15.00'	23.76'	90° 46' 29"	21.36'	N 45° 53' 48" W
C-12	50.00'	33.93'	38° 52' 41"	33.28'	S 69° 16' 36" W
C-13	75.00'	65.90'	50° 20' 50"	63.80'	S 24° 39' 51" W
C-14	85.00'	132.37'	89° 13' 31"	119.39'	S 44° 06' 12" W
C-15	60.00'	292.79'	279° 35' 39"	77.46'	S 48° 30' 46" W

S & J Development Co.
D.B. 837 Pg. 59

This plat is based on an actual survey performed by me in March 2000.

Charles R. Follrod
Charles R. Follrod P.S. #7145
298 Brookview Ct.
Lima, Ohio 45801



- o - Fnd. P.K. Nail
- o - Fnd. #5 Rebar
- o - Fnd. 3/4" Pipe
- - Set #5 Rebar
- - Set P.K. Nail

Aubrey G. Stormann
D.B. 612 Pg. 365

South Line of NW 1/4, Section 7

S 88° 42' 57" W 1250.00'
(Basis of Bearings)

State of Ohio
D.B. 193 Pg. 483

Fnd. Mon. Box - S.E. Cor.
of West half of N.E. 1/4
of Section 7

NEW LIMA HOMES SUBDIVISION IN THE N.E. 1/4 OF SECTION 7 T4S-R7E, CITY OF LIMA PERRY TOWNSHIP ALLEN COUNTY, OHIO

NEW LIMA HOMES, LLC. (V.918, P.674)
TAX PARCELS:
47-0705-03-034.000
47-0705-03-035.000

DESCRIPTION
5.975 ACRES

Being a parcel of land situated in the Northeast Quarter of Section 7, Township 4 South, Range 7 East, Perry Township, now in the City of Lima, Allen County, Ohio, acquired by New Lima Homes, LLC in Warranty Deed recorded in Volume 918, Page 674, of the Allen County, Ohio, deed records and being more particularly described as follows:

BEGINNING FOR THE SAME at a 1/2-inch iron pipe found marking the southeast corner of Lot 23755 in Greenfield Heights Subdivision #3 (Plat Book 10, Page 56) -

Thence on and along the boundary of said Greenfield Heights Subdivision #3 and of Greenfield Heights Subdivision #2 (Plat Book 10, Page 53) the following three (3) courses:

- 1) North 00°-48'-55" East for a distance of 200.00 feet to a concrete monument set, passing a 5/8-inch iron pin set at 110.00 feet -
- 2) North 89°-27'-05" West for a distance of 565.00 feet to a concrete monument set -
- 3) North 00°-51'-30" East for a distance of 209.56 feet to a concrete monument set on the south line of Fishel's Second Subdivision (Plat Book 7, Page 142) -

Thence on and along the boundary of said Fishel's Second Subdivision the following four (4) courses:

- 1) South 89°-18'-45" East for a distance of 150.00 feet to a concrete monument set, passing a 5/8-inch iron pin set at 100.00 feet -
- 2) North 00°-51'-30" East for a distance of 20.00 feet to a one and one-half inch iron pipe found -
- 3) South 89°-18'-45" East for a distance of 459.45 feet to a concrete monument set -
- 4) South 47°-36'-13" East for a distance of 84.17 feet to a concrete monument set -

Thence South 89°-20'-52" East for a distance of 40.31 feet to a concrete monument set -

Thence South 00°-44'-09" West for a distance of 682.62 feet to a concrete monument set -

Thence North 89°-25'-33" West for a distance of 231.69 feet to a concrete monument set at the southeast corner of Lot 23831 in Greenfield Heights Subdivision #4 (Plat Book 10, Page 86) -

Thence on and along the boundary of said Greenfield Heights Subdivisions #4 and #3 the following four (4) courses:

- 1) North 02°-31'-57" East for a distance of 75.00 feet to a concrete monument set -
- 2) North 89°-25'-33" West for a distance of 13.73 feet to a concrete monument set -
- 3) North 00°-38'-43" East for a distance of 235.00 feet to a concrete monument set, passing a 5/8-inch iron pin found at 50.00 feet and a 6" concrete monument with embedded 1/4" iron pin found at 175.00 feet -
- 4) South 89°-52'-35" East for a distance of 95.03 feet to the place of beginning.

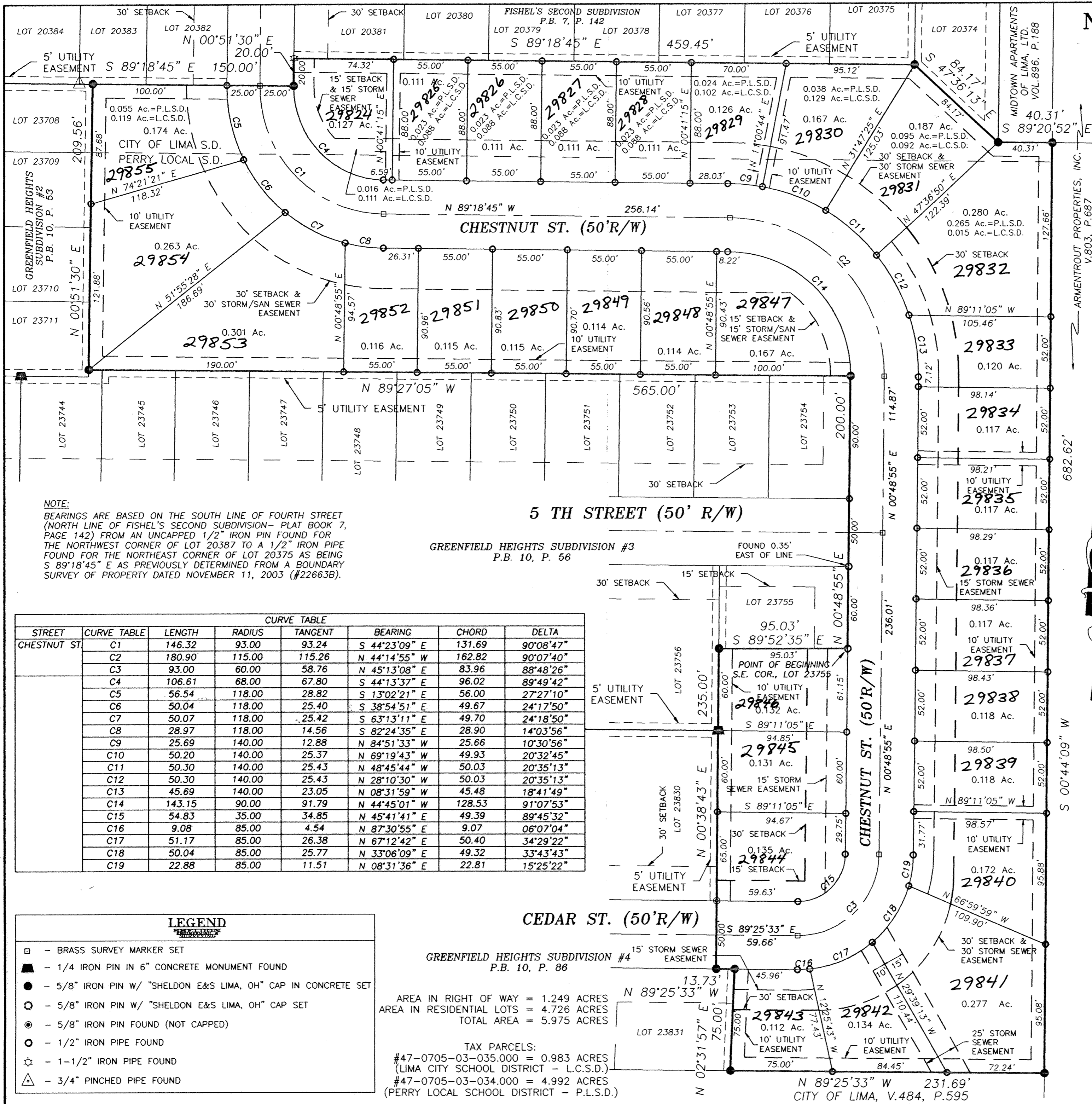
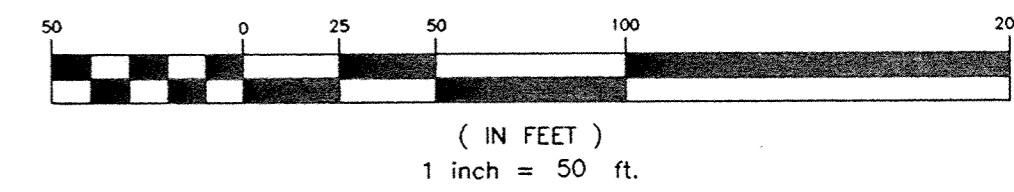
Containing in all 5.975 acres of land subject, however, to all legal easements and rights of way.

- NOTES: 1) Bearings are based on the south line of Fourth Street (north line of Fishel's Second Subdivision, Plat Book 7, Page 142) as being South 89°-18'-45" East (platted as North 89°-52' East).
2) All concrete monuments set contain an embedded 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" survey cap.
3) All iron pins set are 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" survey cap.

PREPARED BY:
SHELDON ENGINEERING & SURVEYING
1280 N. COLE ST., LIMA, OHIO 45801
TEL: (419) 228-4421
JAMES D. SHELDON, P.E. & P.S.
REG. SURVEYOR # 4569
REG. ENGINEER # 24779

NEW LIMA HOMES, LLC.
4334 GLENDALE-MILFORD ROAD
CINCINNATI, OH 45242-3706
TEL (513) 588-1625
FAX (513) 588-1615

GRAPHIC SCALE



NOTE:
BEARINGS ARE BASED ON THE SOUTH LINE OF FOURTH STREET (NORTH LINE OF FISHEL'S SECOND SUBDIVISION- PLAT BOOK 7, PAGE 142) FROM AN UNCAPPED 1/2" IRON PIN FOUND FOR THE NORTHWEST CORNER OF LOT 20387 TO A 1/2" IRON PIPE FOUND FOR THE NORTHEAST CORNER OF LOT 20375 AS BEING S 89°18'45" E AS PREVIOUSLY DETERMINED FROM A BOUNDARY SURVEY OF PROPERTY DATED NOVEMBER 11, 2003 (#22663B).

CURVE TABLE						
STREET	CURVE TABLE	LENGTH	RADIUS	TANGENT	BEARING	CHORD
CHESTNUT ST	C1	146.32	93.00	93.24	S 44°23'09" E	131.69
	C2	180.90	115.00	115.26	N 44°14'55" W	162.82
	C3	93.00	60.00	58.76	N 45°13'08" W	83.96
	C4	106.61	68.00	67.80	S 44°13'37" E	96.02
	C5	56.54	118.00	28.82	S 13°02'21" E	56.00
	C6	50.04	118.00	25.40	S 38°54'51" E	49.67
	C7	50.07	118.00	25.42	S 63°13'11" E	49.70
	C8	28.97	118.00	14.56	S 82°24'35" E	28.90
	C9	25.69	140.00	12.88	N 84°51'33" W	25.66
	C10	50.20	140.00	25.37	N 69°19'43" W	49.93
	C11	50.30	140.00	25.43	N 48°45'44" W	50.03
	C12	50.30	140.00	25.43	N 28°10'30" W	50.03
	C13	45.69	140.00	23.05	N 08°31'59" W	45.48
	C14	143.15	90.00	91.79	N 44°45'01" W	128.53
	C15	54.83	35.00	34.85	N 45°41'41" E	49.39
	C16	9.08	85.00	4.54	N 87°30'55" E	9.07
	C17	51.17	85.00	26.38	N 67°12'42" E	50.40
	C18	50.04	85.00	25.77	N 33°06'09" E	49.32
	C19	22.88	85.00	11.51	N 08°31'36" E	22.81

LEGEND

- - BRASS SURVEY MARKER SET
- - 1/4 IRON PIN IN 6" CONCRETE MONUMENT FOUND
- - 5/8" IRON PIN W/ "SHELDON E&S LIMA, OH" CAP IN CONCRETE SET
- - 5/8" IRON PIN W/ "SHELDON E&S LIMA, OH" CAP SET
- ⊙ - 5/8" IRON PIN FOUND (NOT CAPPED)
- - 1/2" IRON PIPE FOUND
- ☆ - 1-1/2" IRON PIPE FOUND
- △ - 3/4" PINCHED PIPE FOUND

AREA IN RIGHT OF WAY = 1.249 ACRES
AREA IN RESIDENTIAL LOTS = 4.726 ACRES
TOTAL AREA = 5.975 ACRES

TAX PARCELS:
#47-0705-03-035.000 = 0.983 ACRES
(LIMA CITY SCHOOL DISTRICT - L.C.S.D.)
#47-0705-03-034.000 = 4.992 ACRES
(PERRY LOCAL SCHOOL DISTRICT - P.L.S.D.)

OWNERS' DEDICATION AND ACKNOWLEDGMENT

I, THE UNDERSIGNED, BEING THE DEVELOPER OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT, AND DEDICATE THE STREETS AS SHOWN THEREON, COMPRISING A TOTAL OF 1.249 ACRES, TO THE PUBLIC USE FOREVER.

EASEMENTS SHOWN ON THIS PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, OR REMOVAL OF WATER, STORM SEWER, OPEN DITCH, SANITARY SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER UTILITY LINES OR SERVICES AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER. ALL EXISTING LEASES ARE VOIDED.

Rosy N...
WITNESS

Dennis Larocco
DENNIS LAROCCO, EXECUTIVE DIRECTOR
HHWP COMMUNITY ACTION COMMISSION,
MANAGING MEMBER OF NEW LIMA HOMES, LLC

Sharon B...
WITNESS

Angela Crawford
WITNESS

NOTARY PUBLIC

STATE OF OHIO
ss:
ALLEN COUNTY

BE IT REMEMBERED THAT ON THIS 27th DAY OF August, 2004, PERSONALLY CAME THE SAID Dennis Larocco, TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE THEIR VOLUNTARY ACT AND DEED.

Billie Niese
Notary Public, State of Ohio
My Commission Expires Sept. 13, 2005

Billie Niese
NOTARY PUBLIC IN AND FOR ALLEN COUNTY, OHIO

MY COMMISSION EXPIRES: 9/13/2005

APPROVAL BY THE CITY PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE PLANNING COMMISSION ON _____ THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THE DATE OF THIS APPROVAL.

8/26/04
DATE

David D. Bergin
MAYOR OF THE CITY LIMA, OHIO
AND CHAIRMAN OF CITY PLANNING COMMISSION

ALLEN COUNTY COMBINED HEALTH DISTRICT

I HEREBY CERTIFY THAT THIS PLAT MEETS THE REQUIREMENTS OF THE ALLEN COUNTY COMBINED HEALTH DISTRICT.

8/26/04
DATE

Bill Kelly
DIRECTOR, ALLEN COUNTY
COMBINED HEALTH DISTRICT

NOTE: MAINTENANCE AND OR THE REPLACEMENT OF THE STORM DETENTION PIPES AND LOT DRAINS AS SHOWN ON THE CONSTRUCTION DRAWINGS FOR THIS SUBDIVISION ARE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS. INDIVIDUAL LOT OWNERS MAY NOT ALTER OR REMOVE THESE STORM DETENTION PIPES AND LOT DRAINS WITHOUT WRITTEN AUTHORIZATION BY THE CITY ENGINEER.

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS FILED FOR TRANSFER ON August 27, 2004.
FEE: \$ 16.00 KH

Ben E. Dupinbrock
ALLEN COUNTY AUDITOR KH

COUNTY RECORDER 200417088

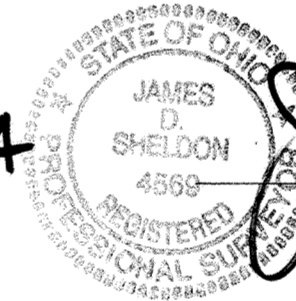
I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON Aug 27, 2004 AND THAT IT WAS RECORDED ON Aug 27, 2004 IN VOL. 26, PAGE 28, PLAT RECORDS OF ALLEN COUNTY, OHIO. FEE: \$ 124.20 Time: 11:31 AM

Edward P. Kurik
ALLEN COUNTY RECORDER by MH

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY COMPLETED BY ME OR UNDER MY SUPERVISION IN APRIL, 2004 AND THAT ALL MARKERS ARE CORRECTLY SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE WITHIN SIX (6) MONTHS FROM THE DATE OF RECORDING.

26 AUG 04
DATE



James D. Sheldon
JAMES D. SHELDON, P.E., P.S.
OHIO REGISTERED SURVEYOR #4569

**PLAT OF A SURVEY OF
DEDICATORS' LAND
NEW LIMA HOMES SUBDIVISION
IN THE N.E. 1/4 OF SECTION 7
T4S-R7E, CITY OF LIMA
PERRY TOWNSHIP
ALLEN COUNTY, OHIO**

NEW LIMA HOMES, LLC. (V.918, P.674)
TAX PARCELS:
47-0705-03-034.000
47-0705-03-035.000

DEDICATOR'S LAND
5.975 ACRES

Being a parcel of land situated in the Northeast Quarter of Section 7, Township 4 South, Range 7 East, Perry Township, now in the City of Lima, Allen County, Ohio, acquired by New Lima Homes, LLC in Warranty Deed recorded in Volume 918, Page 674, of the Allen County, Ohio, deed records and being more particularly described as follows:

BEGINNING FOR THE SAME at a 1/2-inch iron pipe found marking the southeast corner of Lot 23755 in Greenfield Heights Subdivision #3 (Plat Book 10, Page 56) -

Thence on and along the boundary of said Greenfield Heights Subdivision #3 and of Greenfield Heights Subdivision #2 (Plat Book 10, Page 53) the following three (3) courses:

- 1) North 00°-48'-55" East for a distance of 200.00 feet to a concrete monument set, passing a 5/8-inch iron pin set at 110.00 feet -
- 2) North 89°-27'-05" West for a distance of 565.00 feet to a concrete monument set -
- 3) North 00°-51'-30" East for a distance of 209.56 feet to a concrete monument set on the south line of Fishel's Second Subdivision (Plat Book 7, Page 142) -

Thence on and along the boundary of said Fishel's Second Subdivision the following four (4) courses:

- 1) South 89°-18'-45" East for a distance of 150.00 feet to a concrete monument set, passing a 5/8-inch iron pin set at 100.00 feet -
- 2) North 00°-51'-30" East for a distance of 20.00 feet to a one and one-half inch iron pipe found -
- 3) South 89°-18'-45" East for a distance of 459.45 feet to a concrete monument set -
- 4) South 47°-36'-13" East for a distance of 84.17 feet to a concrete monument set -

Thence South 89°-20'-52" East for a distance of 40.31 feet to a concrete monument set -

Thence South 00°-44'-09" West for a distance of 682.62 feet to a concrete monument set -

Thence North 89°-25'-33" West for a distance of 231.69 feet to a concrete monument set at the southeast corner of Lot 23831 in Greenfield Heights Subdivision #4 (Plat Book 10, Page 86) -

Thence on and along the boundary of said Greenfield Heights Subdivisions #4 and #3 the following four (4) courses:

- 1) North 02°-31'-57" East for a distance of 75.00 feet to a concrete monument set -
- 2) North 89°-25'-33" West for a distance of 13.73 feet to a concrete monument set -
- 3) North 00°-38'-43" East for a distance of 235.00 feet to a concrete monument set, passing a 5/8-inch iron pin found at 50.00 feet and a 6" concrete monument with embedded 1/4" iron pin found at 175.00 feet -
- 4) South 89°-52'-35" East for a distance of 95.03 feet to the place of beginning.

Containing in all 5.975 acres of land subject, however, to all legal easements and rights of way.

- NOTES: 1) Bearings are based on the south line of Fourth Street (north line of Fishel's Second Subdivision, Plat Book 7, Page 142) as being South 89°-18'-45" East (platted as North 89°-52' East).
2) All concrete monuments set contain an embedded 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" survey cap.
3) All iron pins set are 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" survey cap.

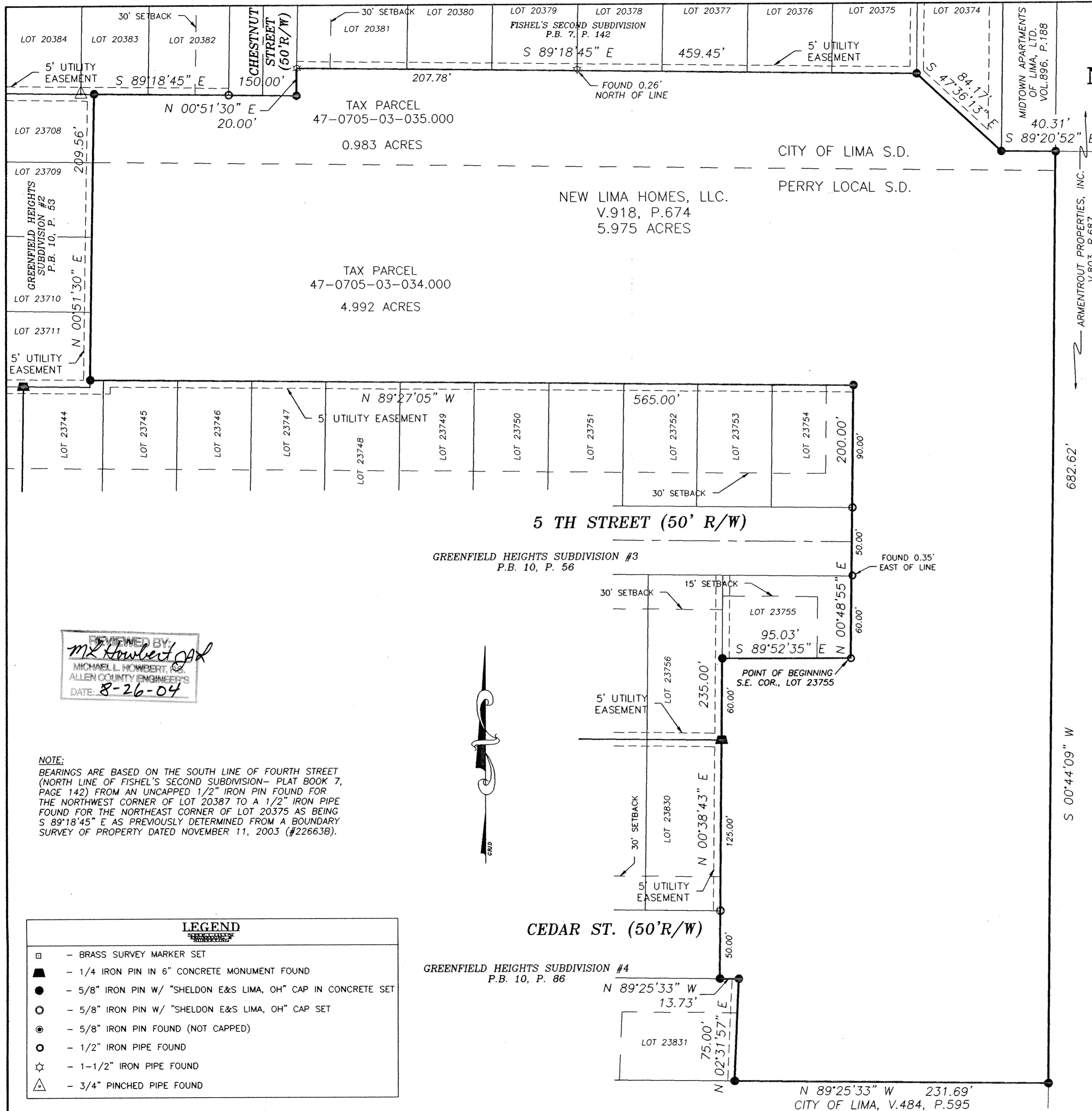
PREPARED BY:
SHELDON ENGINEERING & SURVEYING
1280 N. COLE ST. LIMA, OHIO 45801
TELE: (419) 228-4421
JAMES D. SHELDON, P.E. & P.S.
REG. SURVEYOR # 4569
REG. ENGINEER # 24779

NEW LIMA HOMES, LLC.
4334 GLENDALE-MILFORD ROAD
CINCINNATI, OH 45242-3706
TEL (513) 588-1625
FAX (513) 588-1615

GRAPHIC SCALE



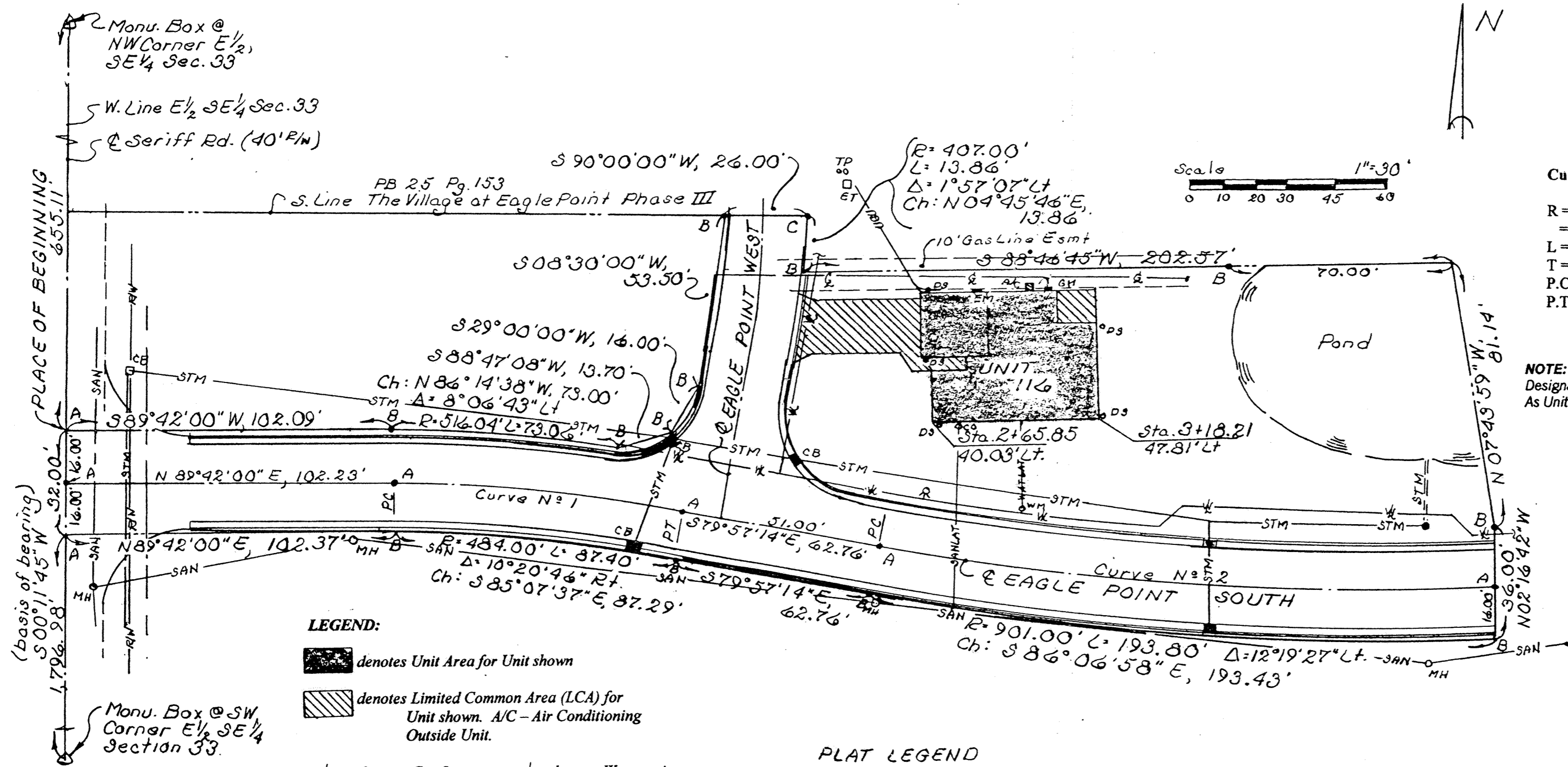
(IN FEET)
1 inch = 50 ft.



REVIEWED BY:
Michael Howard
MICHAEL L. HOWARD, S.
ALLEN COUNTY ENGINEER'S
DATE: 8-26-04

NOTE:
BEARINGS ARE BASED ON THE SOUTH LINE OF FOURTH STREET (NORTH LINE OF FISHEL'S SECOND SUBDIVISION- PLAT BOOK 7, PAGE 142) FROM AN UNCAPPED 1/2" IRON PIN FOUND FOR THE NORTHWEST CORNER OF LOT 20387 TO A 1/2" IRON PIPE FOUND FOR THE NORTHEAST CORNER OF LOT 20375 AS BEING S 89°18'45" E AS PREVIOUSLY DETERMINED FROM A BOUNDARY SURVEY OF PROPERTY DATED NOVEMBER 11, 2003 (#22663B).

LEGEND	
□	- BRASS SURVEY MARKER SET
▲	- 1/4 IRON PIN IN 6" CONCRETE MONUMENT FOUND
●	- 5/8" IRON PIN W/ "SHELDON E&S LIMA, OH" CAP IN CONCRETE SET
○	- 5/8" IRON PIN W/ "SHELDON E&S LIMA, OH" CAP SET
⊙	- 5/8" IRON PIN FOUND (NOT CAPPED)
○	- 1/2" IRON PIPE FOUND
☆	- 1-1/2" IRON PIPE FOUND
△	- 3/4" PINCHED PIPE FOUND



EAGLE POINT SOUTH CURVE DATA

Curve No. 1	Curve No. 2
R = 500.04'	R = 885.00'
= 10°20'46"	= 12°19'27"
L = 90.29'	L = 190.36'
T = 45.27'	T = 95.55'
P.C. Sta. 1+02.23	P.C. Sta. 2+55.28
P.T. Sta. 1+92.52	P.T. Sta. 4+45.64

NOTE: Common area shall be all area within the Designated boundary area for Phase IV not designated As Unit Area or Limited Common Area.

LIMITED COMMONS AREAS
The Concrete porch within the east side of the Condominium building is the size as detailed on the First Floor Plan (sheet 2 of 3). The concrete drives at the west end of the unit is 16.6 feet by 37.5 feet and the concrete walks including porch area are average 5 feet by 17 feet.

- LEGEND:**
- denotes Unit Area for Unit shown
 - denotes Limited Common Area (LCA) for Unit shown. A/C - Air Conditioning Outside Unit.
 - denotes Gas Lines
 - denotes Watermain
 - SAN - denotes Sanitary Sewer
 - STM - denotes Storm Sewer
 - UGU - denotes Underground Cables (electric, telephone & Cablevision)
 - denotes Manhole
 - denotes Catch Basin
 - denotes Yard Drain
 - denotes Telephone Pedestal
 - denotes Electric Transformer
 - denotes Electric Meters
 - ESM - denotes easement
 - GM - denotes Gas Meter
 - Unit Utility Service Laterals**
 - SAN LAT - denotes Sanitary
 - WAT LAT - denotes Water
 - denotes Cleanout
 - denotes Water Meter
 - denotes Downspout

- PLAT LEGEND**
- ~ PK nail & shiner (set)
 - ~ Capped 3/8" rebar (set)
 - ~ PK nail & shiner (fd)

DESCRIPTION
THE VILLAGE AT EAGLES POINT - A CONDOMINIUM COMMUNITY - PHASE IV

Being a part of Lot Number Four (4) in the subdivision of John Bowersock Farm, situate in the Southeast quarter of Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a monument box found at the northeast corner of the east half of said Southeast of said Section 33; thence S 00°11'45" W (basis of bearing - previous survey) with the west line of said east half (also the centerline of Sheriff Road), 655.11 feet to a PK nail and shiner set and the PLACE OF BEGINNING thence continuing S 00°11'45" W with said west line and centerline, 32.00 feet to a PK nail and shiner set; thence easterly the following four courses that define a line lying sixteen feet south of the centerline of a private roadway to be known as Eagles Point South the centerline of which is monumented by PK nails at the break points: N 89°42'00" E, 102.37 feet to a capped 5/8 inch rebar set; thence with a tangent curve to the right having a radius of 484.04 feet, a central angle of 10°20'46" Rt., an arc length of 87.40 feet (chord being S 85°07'37" E, 87.29 feet) to a capped 5/8 inch rebar set; thence S 79°57'14" E, 62.76 feet to a capped 5/8 inch rebar set; thence with a tangent curve to the left having a radius of 901.00 feet, a central angle of 12°19'27" Lt., an arc length of 193.80 feet (chord being S 86°06'58" E, 193.43 feet) to a capped 5/8 inch rebar set; thence N 02°16'42" W (passing through a PK nail and shiner set on the centerline of said Eagles Point South at 16.00 feet), 36.00 feet to a capped 5/8 inch rebar set; thence N 07°43'59" W, 81.14 feet to a point in an existing pond; thence S 88°46'45" W (passing through a capped 5/8 inch rebar set at 70.00 feet), 202.57 feet to a PK nail and shiner set; thence northerly with a non tangent curve to the left having a radius of 407.00 feet, a central angle of 1°57'07" Lt., an arc length of 13.86 feet (chord being N 04°45'46" E, 13.86 feet) to a PK nail and shiner set at the southeast corner of Phase III of THE VILLAGE AT EAGLES POINT - A CONDOMINIUM COMMUNITY; thence S 90°00'00" W with the south line of said Phase III, 26.00 feet to a PK nail and shiner set on the west edge of a private road known as Eagle Point West; thence southerly the following three courses that define a line along said west edge: S 08°30'00" W, 53.50 feet to a capped 5/8 inch rebar set; thence S 29°00'00" W, 16.00 feet to a capped 5/8 inch rebar set; thence S 88°47'08" W, 13.70 feet to a capped 5/8 inch rebar set on a line lying sixteen feet north of the centerline of a private roadway to be known as Eagles Point South; thence westerly the following two courses that define said line: a non-tangent curve to the left having a radius of 516.04 feet, a central angle of 8°06'43" Lt., an arc length of 73.06 feet (chord being N 86°14'38" W, 73.00 feet) to a capped 5/8 inch rebar set; thence S 89°42'00" W, 102.09 feet to the PLACE OF BEGINNING containing 0.752 acre more or less and subject to all highway and other legal easements of record. Road right-of-way occupies 0.015 acre. Deed reference: Vol. 810, Pg. 148. Surveyed by: KUCK and MORRISEY, Inc., Richard D. Morrissey, L.S. No. 6470 (Ohio),

No. 200417559
Filed for recording this 2nd day of Sept, 2004 at 3:20 o'clock P. M. in the office of the Allen County Recorder and recorded in Plat Book 26 on Page 31.
Fee: 124.20
Edward P. Kuck
RECORDER, Allen County, Ohio. Mh

For DECLARATIONS see Deed Volume 930 Page 654.
This set of drawings attached hereto and entitled:

**THE VILLAGE AT EAGLES POINT
A CONDOMINIUM COMMUNITY
PHASE IV**

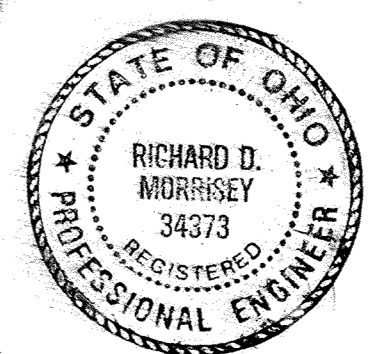
- consist of THREE pages of drawings that shows:
- one page showing the Plot Plan, Legal Description of Parcel and the certifications,
 - one page of the floor plan of the unit and the elevation views of the building,
 - one page showing the Survey of Dedicator's Land and the Expansion Area Delineation,

showing insofar as graphically possible (1) the particulars of the building in this condominium, including but not limited to the layout, location designation and dimensions of the unit therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities. The undersigned being respectively a licensed Registered Surveyor and a licensed Professional Engineer hereby certify that said drawings show the building as constructed, as graphically as possible.

KUCK and MORRISEY, Inc.
Consulting Engineers and Surveyors

Richard D. Morrissey, L.S.
Registered Surveyor No. 6470

Richard D. Morrissey, P.E.
Professional Engineer No. 34373



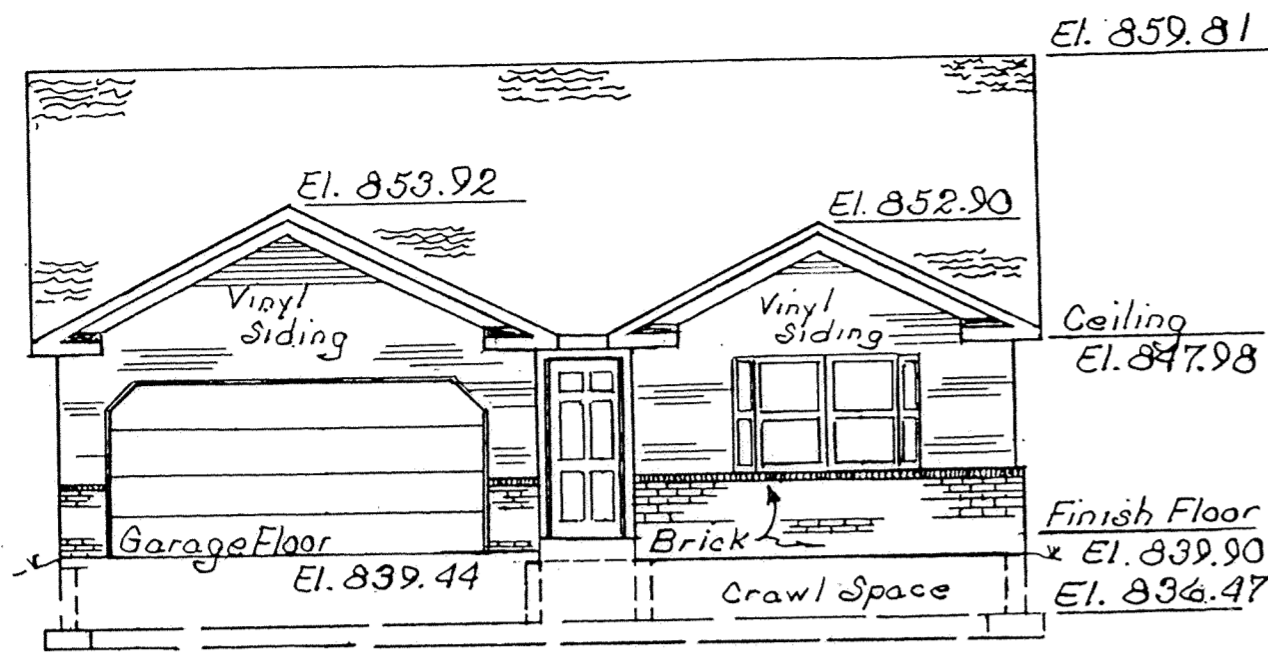
PREPARED BY:
KUCK and MORRISEY, INC.
CONSULTING ENGINEERS & SURVEYORS - LIMA, OHIO
2807 Chapel Hill Drive, Lima, Ohio
(419) 228-1735 Phone & Fax

PLOT PLAN, LEGAL DESCRIPTION AND CERTIFICATION

**THE VILLAGE AT EAGLES POINT
A CONDOMINIUM COMMUNITY - PHASE IV**

Part of Lot No. 4, Subdivision of John Bowersock's Farm, S.E. 1/4, Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio.

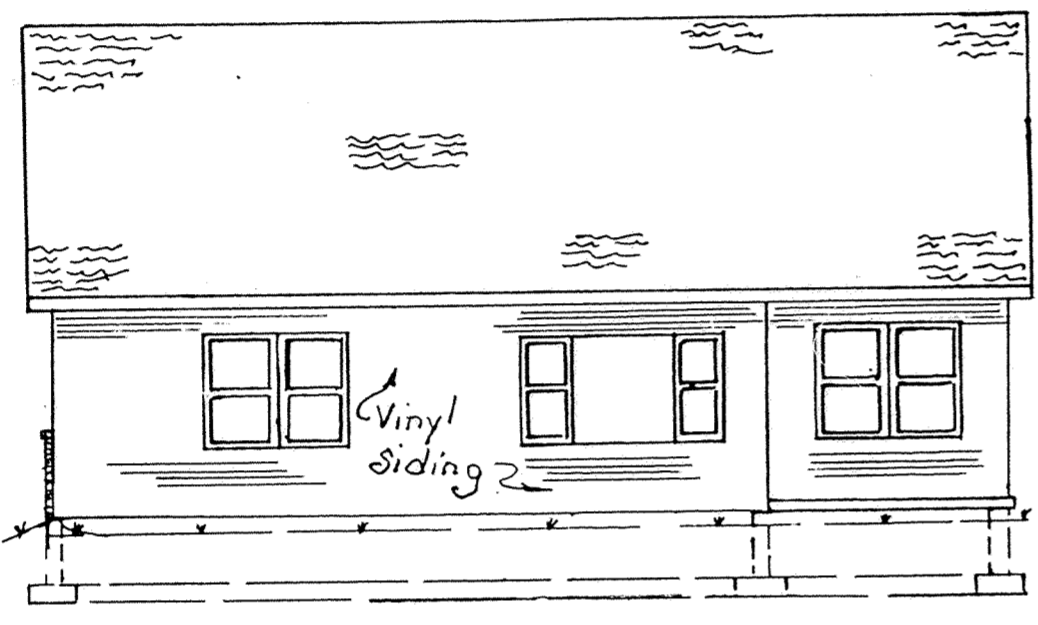
SHEET 1 OF 3



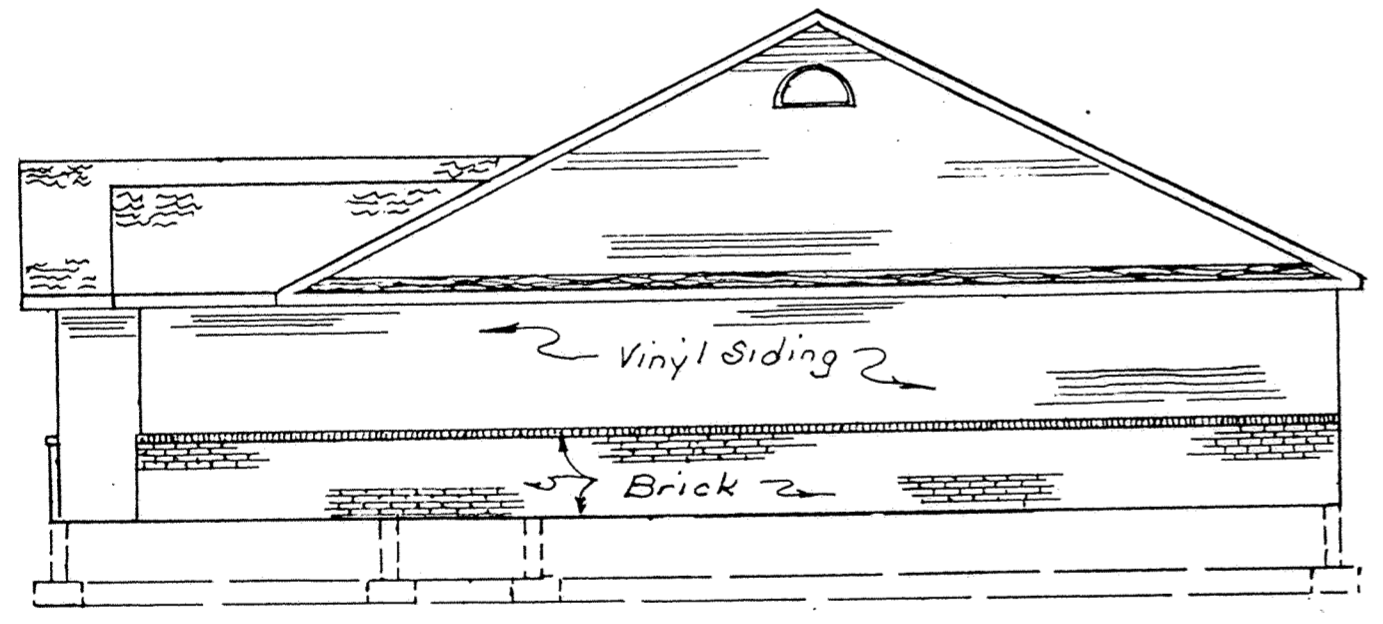
WEST ELEVATION

Note: Elevations shown in the West Elevation are typical for all Elevation views.

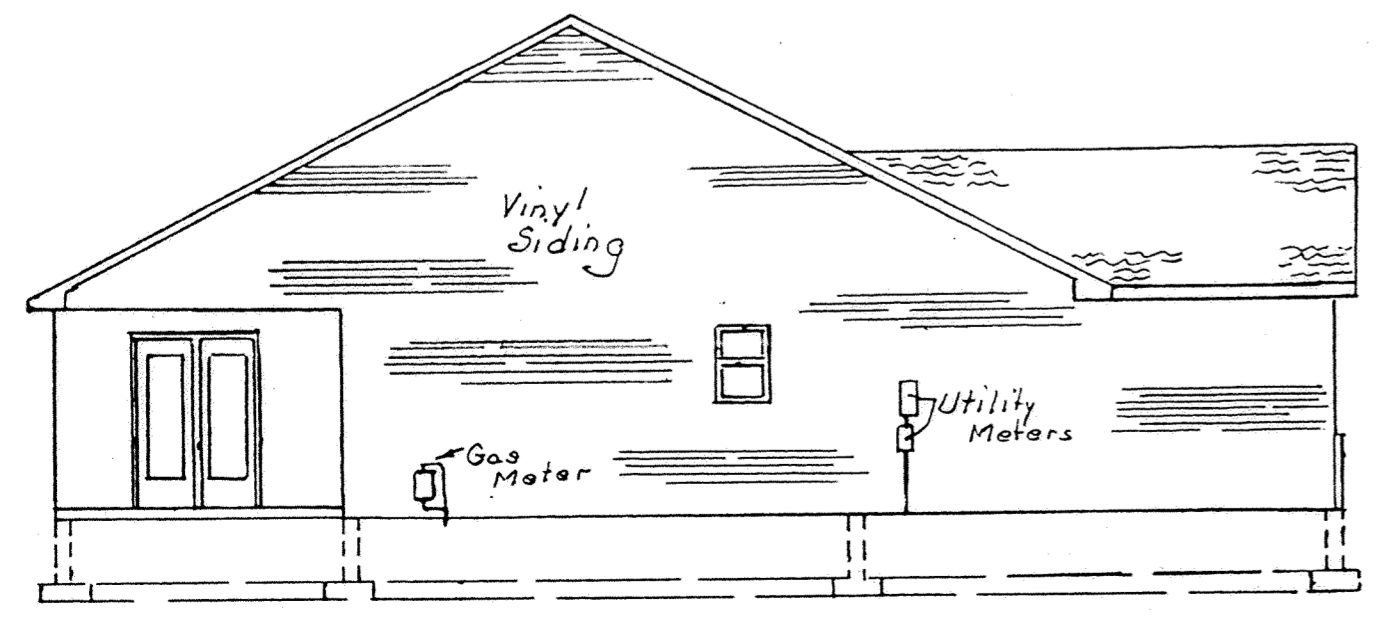
BENCH MARK:
Top of steamer nozzle of Fire Hydrant No. 737 in the north-east quadrant of the intersection of Eagles Point South and Eagles Point West. Elev. 839.50



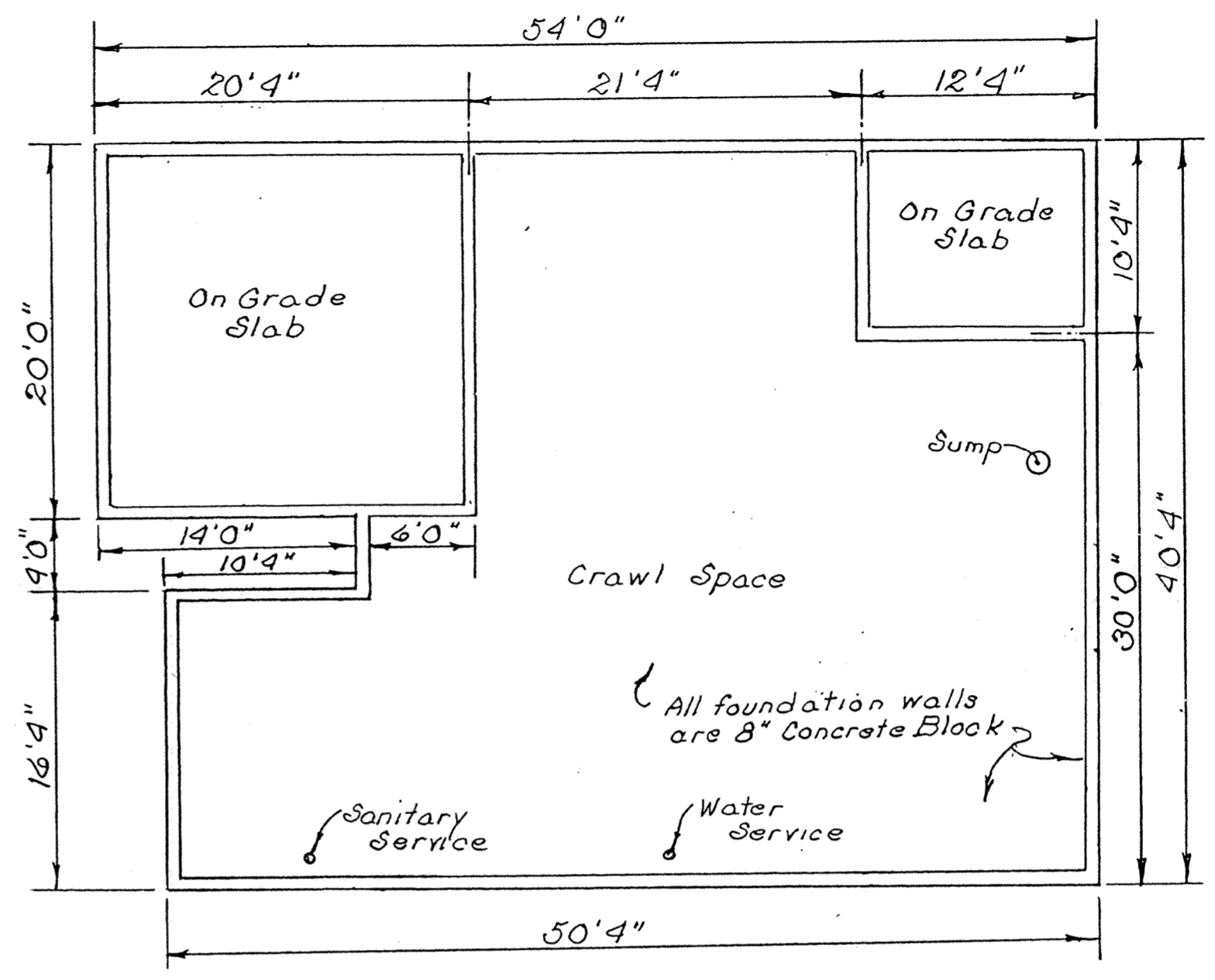
EAST ELEVATION



SOUTH ELEVATION



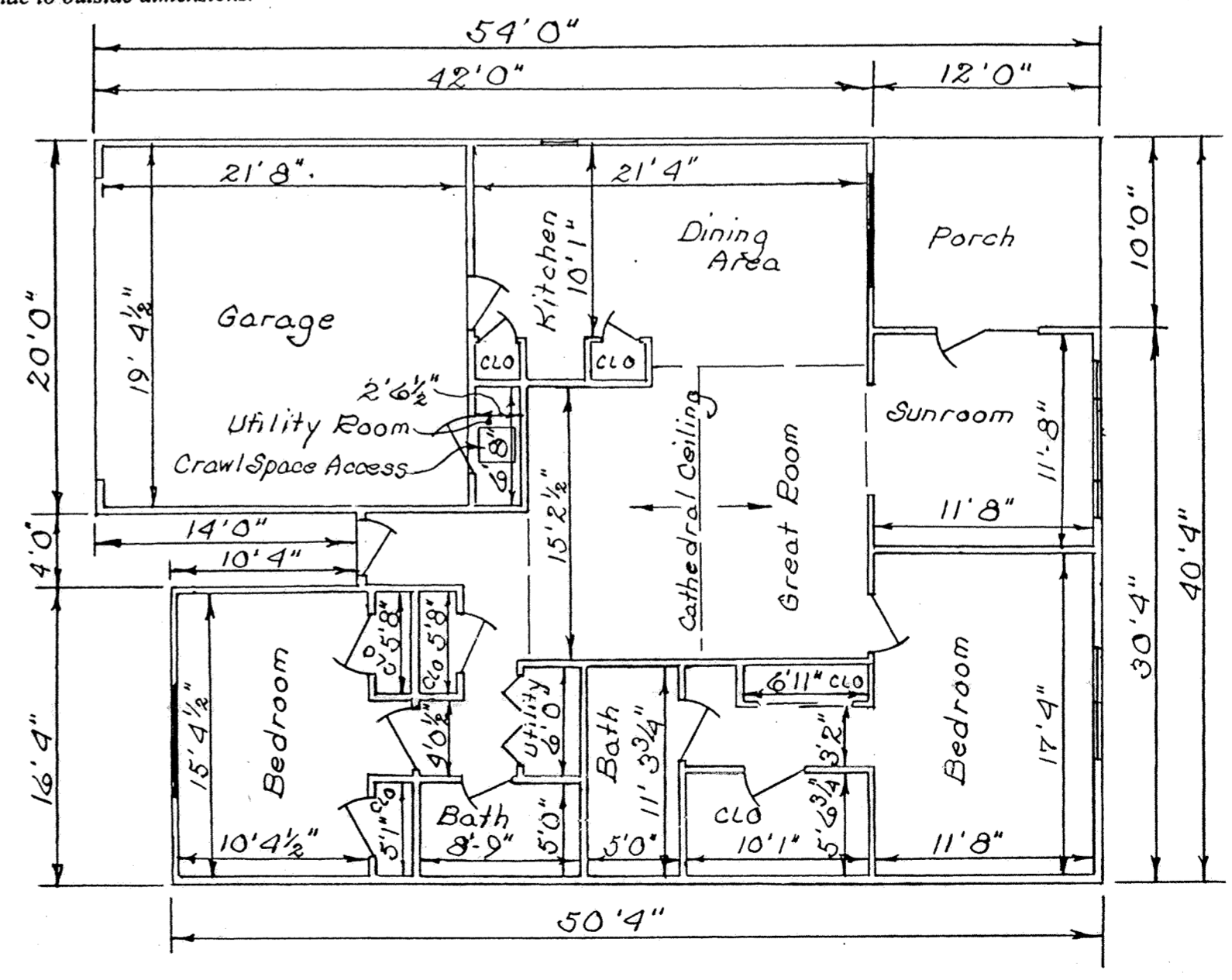
NORTH ELEVATION



CRAWL SPACE

UNIT AREA = 1,520 Sq. Ft.
GARAGE = 406 Sq. Ft.
TOTAL = 1,926 Sq. Ft.

UNIT AREAS shown are those provided by developer and are based on overall outside to outside dimensions.



FLOOR PLAN

All interior walls are three and a half (3 1/2) inches thick unless shown otherwise.
All interior dimensions are face to face of studs.

FLOOR PLAN ELEVATIONS

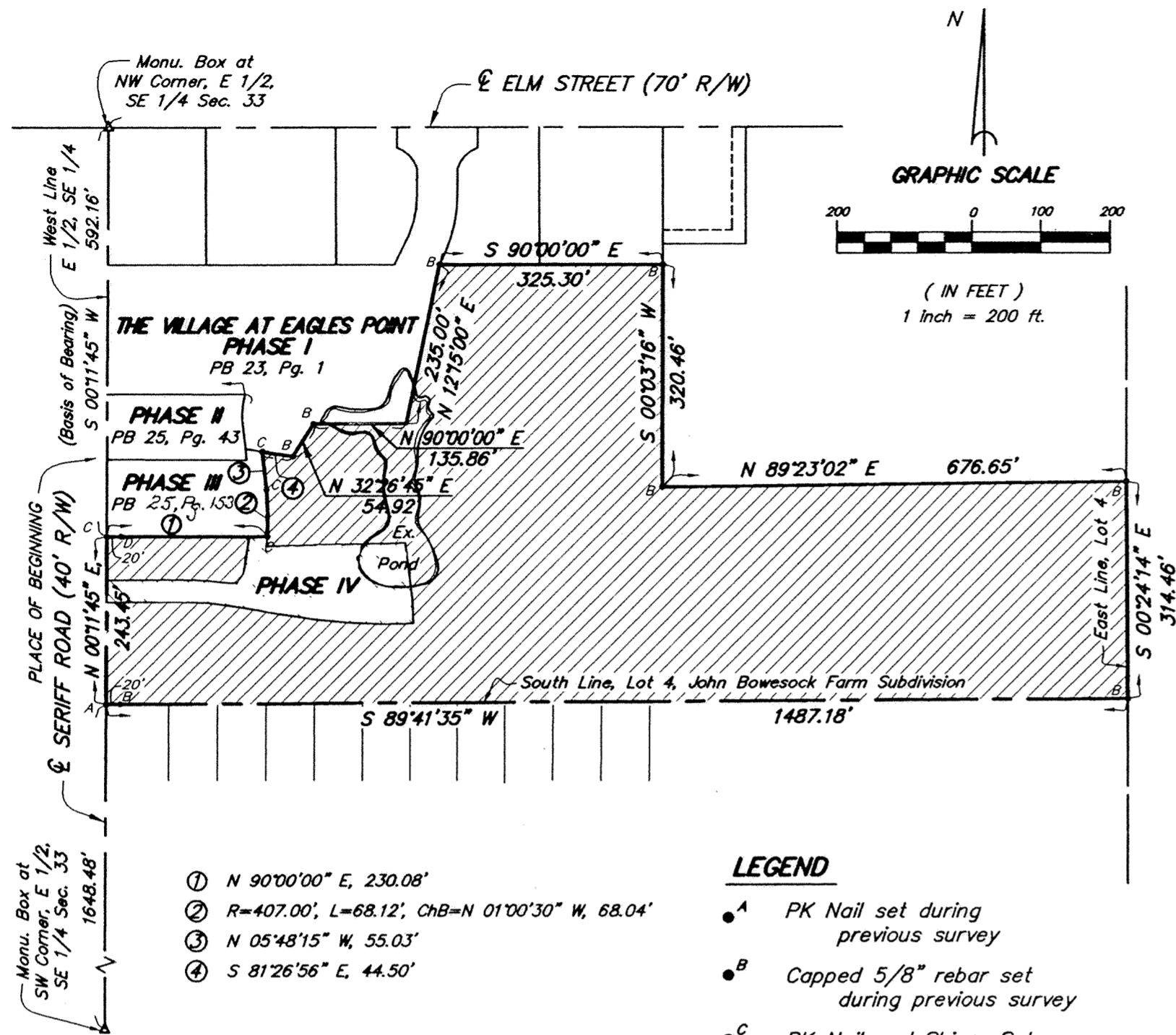
THE VILLAGE AT EAGLES POINT
A CONDOMINIUM COMMUNITY - PHASE IV

Part of Lot No. 4, Subdivision of John Bowersock's Farm, S.E. 1/4, Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio.

SHEET
2
OF
3

PREPARED BY:
KUCK and MORRISSEY, INC.
CONSULTING ENGINEERS & SURVEYORS - LIMA, OHIO
2907 Chapel Hill Drive, Lima, Ohio
(419) 228-1735 Phone & Fax

EXPANSION AREA DELINEATION



- ① N 90°00'00" E, 230.08'
- ② R=407.00', L=68.12', ChB=N 01°00'30" W, 68.04'
- ③ N 05°48'15" W, 55.03'
- ④ S 81°26'56" E, 44.50'

LEGEND

- A PK Nail set during previous survey
- B Capped 5/8" rebar set during previous survey
- C PK Nail and Shiner Set
- D Capped 5/8" rebar set

DESCRIPTION

Being a part of Lot Number Four (4) in the subdivision of John Bowersock Farm, situate in the Southeast quarter of Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a monument box found at the northwest corner of the east half of said Southeast quarter of said Section 33; thence S 00°11'45" W (basis of bearing - previous surveys) with the west line of said east half (also the centerline of Sheriff Road), 592.16 feet to a PK nail and shiner set and the PLACE OF BEGINNING; thence N 90°00'00" E (passing through a capped 5/8 inch rebar set at 20.00 feet), 230.08 feet to a PK Nail and Shiner set on the east edge of pavement of Eagle Point West; thence northerly with said east edge of pavement with a non-tangent curve to the left having a radius of 407.00 feet, an arc length of 68.12 feet (Ch: N 01°00'30" W, 68.04 feet) to a PK nail and shiner set; thence N 05°48'15" W continuing with said east edge of pavement, 55.03 feet to a PK Nail and Shiner set; thence S 81°26'56" E, 44.50 feet to a capped 5/8 inch rebar found; thence N 32°26'45" E, 54.92 feet to a capped 5/8 inch rebar found; thence N 90°00'00" E, 135.86 feet to a point that falls in an existing pond; thence N 12°15'00" E, 235.00 feet to a capped rebar found; thence N 90°00'00" E, 325.30 feet to a capped rebar found; thence S 00°03'16" W 320.46 feet to a capped 5/8 inch rebar found; thence N 89°23'02" E, 676.65 feet to a capped 5/8 inch rebar found on the east line of said Lot No. 4; thence S 00°24'14" E with said east line, 314.46 feet to a capped 5/8 inch rebar found at the southeast corner of said Lot No. 4; thence S 89°41'35" W with the south line of said Lot No. 4 (passing through a capped 5/8 inch rebar found at 1,467.18 feet), 1,487.18 feet to a PK nail found at the southwest corner of said Lot No. 4; thence N 00°11'45" E with the west line of said east half of said Southeast quarter (also the centerline of Sheriff Road), 355.11 feet to the PLACE OF BEGINNING containing 13.291 acres, more or less, and subject to all highway and other legal easements of record. Road right-of-way occupies 0.112 acre. Deed Reference: Volume 810, Page 148. Part of Parcel Number 36-3304-01-004.001.

Surveyed by: KUCK and MORRISEY, Inc. Richard D. Morrisey, L.S. 6470 (Ohio).

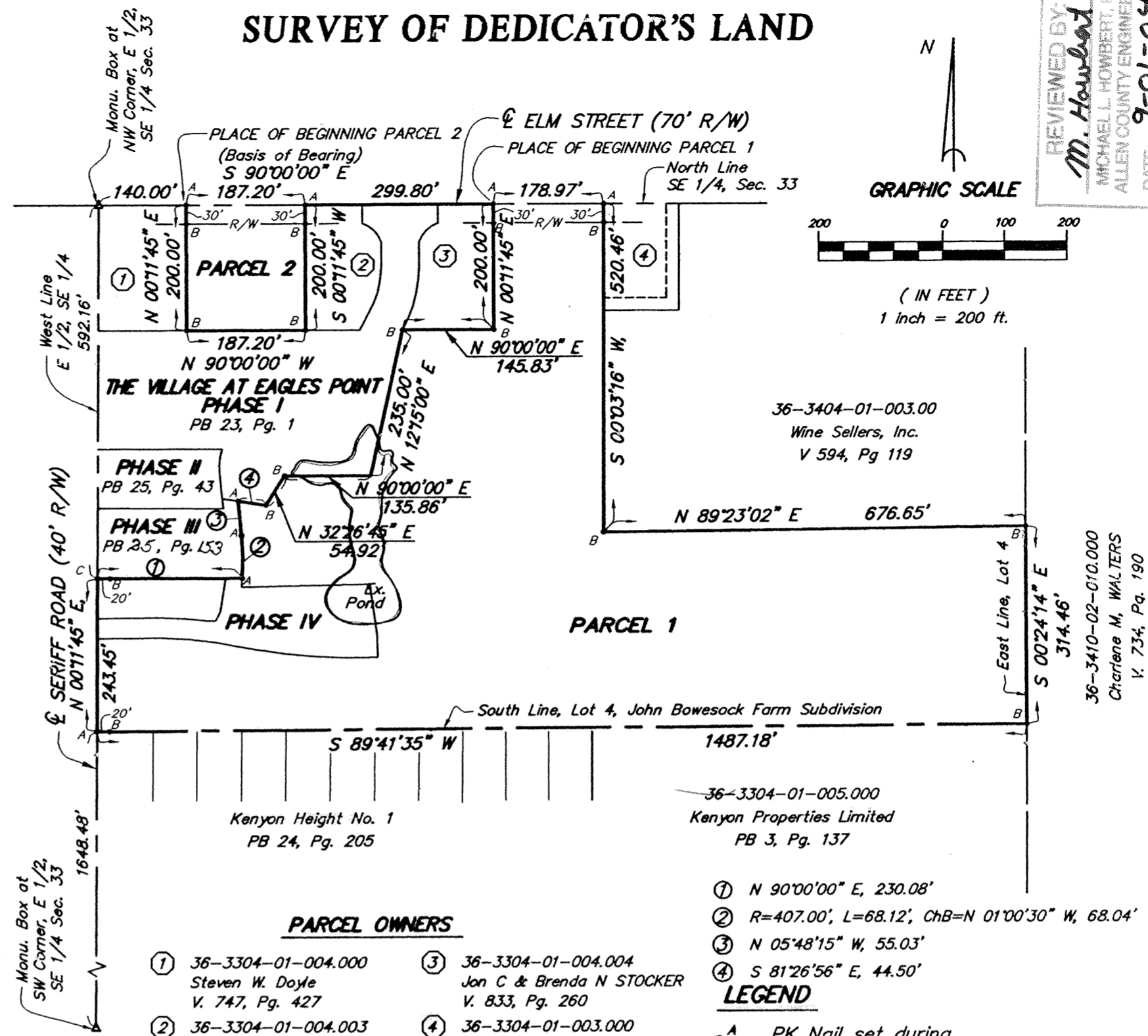
SURVEYOR'S CERTIFICATION:

I hereby certify that this plat is based on a true and accurate survey made under my direct supervision in December, 1997. A 5/8 inch rebar capped with a plastic Peramark cap stamped: KUCK & MORRISEY, L.S. 6470 have been placed at all corners shown on said plat.

Richard D. Morrisey
 KUCK and MORRISEY, Inc.
 Richard D. Morrisey, L.S.
 Registered Surveyor, Ohio No. 6470 (Ohio)



SURVEY OF DEDICATOR'S LAND



- | PARCEL OWNERS | |
|--|---|
| ① 36-3304-01-004.000
Steven W. Doyle
V. 747, Pg. 427 | ③ 36-3304-01-004.004
Jan C & Brenda N STOCKER
V. 833, Pg. 260 |
| ② 36-3304-01-004.003
PPS Enterprises
V. 887, Pg. 651 | ④ 36-3304-01-003.000
Sharon A. GROVE
V. 689, Pg. 570 |

- ① N 90°00'00" E, 230.08'
- ② R=407.00', L=68.12', ChB=N 01°00'30" W, 68.04'
- ③ N 05°48'15" W, 55.03'
- ④ S 81°26'56" E, 44.50'

LEGEND

- A PK Nail set during previous survey
- B Capped 5/8" rebar set during previous survey

DESCRIPTION - PARCEL 1

Being a part of Lot Number Four (4) in the subdivision of John Bowersock Farm, situate in the Southeast quarter of Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a monument box found at the northwest corner of the east half of said Southeast quarter of said Section 33; thence S 90°00'00" E (bearing from previous survey - basis of bearing) with the north line of said east half (also the centerline of Elm Street), 627.00 feet to a PK nail found and the PLACE OF BEGINNING; thence continuing S 90°00'00" E with said north line and centerline, 178.97 feet to a PK nail found; thence S 00°03'16" W (passing through a capped 5/8 inch rebar found at 30.00 feet), 520.46 feet to a capped 5/8 inch rebar found; thence N 89°23'02" E, 676.65 feet to a capped 5/8 inch rebar found on the east line of said Lot No. 4; thence S 00°24'14" E with said east line, 314.46 feet to a capped 5/8 inch rebar found at the southeast corner of said Lot No. 4; thence S 89°41'35" W with the south line of said Lot No. 4 (passing through a capped 5/8 inch rebar found at 1,467.18 feet), 1,487.18 feet to a PK nail found at the southwest corner of said Lot No. 4; thence N 00°11'45" E with the west line of said east half of said Southeast quarter (also the centerline of Sheriff Road), 243.45 feet to a PK nail found; thence thence N 90°00'00" E (passing through a capped 5/8 inch rebar set at 20.00 feet), 230.08 feet to a PK Nail and Shiner set on the east edge of pavement of Eagle Point West; thence northerly with said east edge of pavement with a non-tangent curve to the left having a radius of 407.00 feet, an arc length of 68.12 feet (Ch: N 01°00'30" W, 68.04 feet) to a PK nail and shiner set; thence N 05°48'15" W continuing with said east edge of pavement, 55.03 feet to a PK Nail and Shiner set; thence S 81°26'56" E, 44.50 feet to a capped 5/8 inch rebar found; thence N 32°26'45" E, 54.92 feet to a capped 5/8 inch rebar set; thence N 90°00'00" E, 135.86 feet to a point that falls in an existing pond; thence N 12°15'00" E, 235.00 feet to a capped rebar found; thence N 90°00'00" E, 145.83 feet to a capped rebar found; thence N 00°11'45" E (passing through a capped rebar found at 170.00 feet), 200.00 feet to the PLACE OF BEGINNING containing 14.110 acres, more or less, and subject to all highway and other legal easements of record. Road right-of-way occupies 0.235 acre. Deed Reference: Volume 810, Page 148. Part of Parcel Number 36-3304-01-004.001.

Surveyed by: KUCK and MORRISEY, Inc. Richard D. Morrisey, L.S. 6470 (Ohio).

DESCRIPTION - PARCEL 2

Being a part of Lot Number Four (4) in the subdivision of John Bowersock Farm, situate in the Southeast quarter of Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a monument box found at the northwest corner of the east half of said Southeast quarter of said Section 33; thence S 90°00'00" E (bearing from previous survey - basis of bearing) with the north line of said east half (also the centerline of Elm Street), 140.00 feet to a PK nail found and the PLACE OF BEGINNING; thence continuing S 90°00'00" E with said north line and centerline, 187.20 feet to a PK nail found; thence S 00°11'45" W (passing through a capped 5/8 inch rebar found at 30.00 feet), 200.00 feet to a capped 5/8 inch rebar found; thence N 90°00'00" W, 187.20 feet to a capped 5/8 inch rebar found; thence N 00°11'45" E (passing through a capped 5/8 inch rebar found at 170.00 feet), 200.00 feet to the PLACE OF BEGINNING containing 0.860 acre, more or less, and subject to all highway and other legal easements of record. Road right-of-way occupies 0.129 acre. Deed Reference: Volume 810, Page 148. Part of Parcel Number 36-3304-01-004.001.

Surveyed by: KUCK and MORRISEY, Inc. Richard D. Morrisey, L.S. 6470 (Ohio).

REVIEWED BY:
M. Howland
 MICHAEL L. HOWLAND, P.S.
 ALLEN COUNTY ENGINEERS
 DATE: 9-01-04

SURVEY OF DEDICATOR'S LAND & EXPANSION AREA DELINEATION

THE VILLAGE AT EAGLES POINT A CONDOMINIUM COMMUNITY - PHASE IV

Part of Lot No. 4, Subdivision of John Bowersock's Farm, S.E. 1/4, Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio.

PREPARED BY:
KUCK and MORRISEY, INC.
 CONSULTING ENGINEERS & SURVEYORS - LIMA, OHIO
 2807 Chapel Hill Drive, Lima, Ohio
 (419) 228-1735 Phone & Fax

LEGEND

- 5/8" X 30" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- ⊙ 5/8" IRON PIN CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH" FOUND
- CONCRETE MONUMENT FOUND
- MAIN WATER LINE
- - - SANITARY SEWER LATERAL
- - - STORM SEWER
- - - SANITARY SEWER
- X-X-X- PRIVACY FENCE
- ▨ LIMITED COMMON AREA
- COMMON AREA
- ▤ PHASE IV VILLA COMMUNITY AT THE OUTER BANKS
- ▩ BUILDING
- ☆ 4" PVC CLEAN OUT
- ⊙ STORM MANHOLE
- ⊙ SANITARY MANHOLE
- ⊗ WATER VALVE
- ⊗ FIRE HYDRANT
- ▩ CATCH BASIN
- ⊙ WATER METER AND VALVE
- ⊙ ELECTRIC METER
- ⊙ GAS METER
- ▩ AIR CONDITIONING UNIT
- TRANSFORMER BOX
- ⊗ TELEPHONE PEDESTAL
- ⊙ LIGHT POLE

CERTIFICATION

I, James D. Sheldon, Registered Engineer No. 24779, State of Ohio, and Registered Surveyor No. 4569, State of Ohio, do hereby certify that the drawings herein, consisting of sheets numbered 1 through 4, correctly represent the location, dimensions and configurations of Villa Community at the Outer Banks Condominiums Phase VI as they existed on the date shown.

Date: 15 SEP 04

James D. Sheldon
James D. Sheldon, P.E., P.S.



PLAT OF VILLA COMMUNITY AT THE OUTER BANKS CONDOMINIUMS PHASE VI PART OF LOTS 29708 & 29709 IN JEFF CIMINILLO SUBDIVISION REPLAT (P.B. 25, P.24) IN THE S.W. 1/4 OF SECTION 34 T 3 S - R 6 E, AMERICAN TOWNSHIP ALLEN COUNTY, OHIO

BBA BUILDERS, INC.
VOL. 886, P. 859

DESCRIPTION VILLA COMMUNITY AT THE OUTER BANKS PHASE VI TRACT A 0.205 ACRES

Being a Part of Lot 29709 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin in a concrete monument found marking the northeast corner of said Lot 29709 -
 Thence South 06°-05'-19" East on and along the east line of said Lot for a distance of 80.78 feet to a 5/8-inch iron pin set -
 Thence North 81°-40'-00" West through said Lot for a distance of 137.78 feet to a 5/8-inch iron pin set on the easterly right of way of Vera Way -
 Thence North 09°-04'-11" East on and along said easterly right of way for a distance of 60.70 feet to a 5/8-inch iron pin found marking a northwest corner of said Lot 29709 -
 Thence North 89°-48'-07" East on and along the north line of said Lot for a distance of 118.19 feet to the place of beginning.

Containing in all 8,930 square feet or 0.205 acres of land subject, however, to all legal easements and rights of way.

DESCRIPTION VILLA COMMUNITY AT THE OUTER BANKS PHASE VI TRACT B 0.283 ACRES

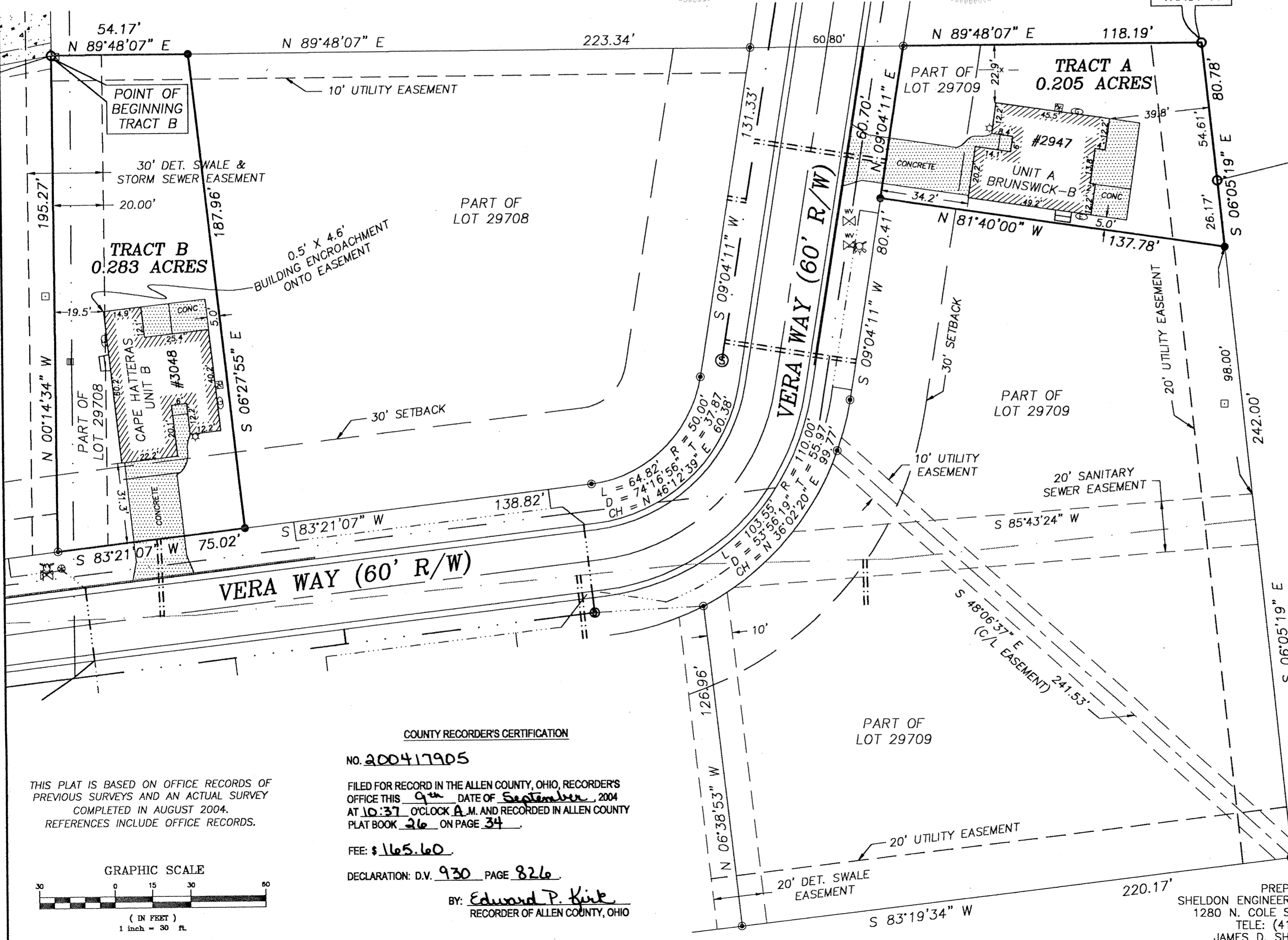
Being a Part of Lot 29708 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin in a concrete monument found marking the northwest corner of said Lot 29708 -
 Thence North 89°-48'-07" East on and along the north line of said Lot for a distance of 54.17 feet to a 5/8-inch iron pin set -
 Thence South 06°-27'-55" East through said Lot for a distance of 187.96 feet to a 5/8-inch iron pin set on the northerly right of way of Vera Way -
 Thence South 83°-21'-07" West on and along said northerly right of way for a distance of 75.02 feet to a 5/8-inch iron pin found marking the southwest corner of said Lot 29708 -
 Thence North 00°-14'-34" West on and along the west line of said Lot for a distance of 195.27 feet to the place of beginning.

Containing in all 12,339 square feet or 0.283 acres of land subject, however, to all legal easements and rights of way.

The foregoing descriptions are based on office records of previous surveys and a current field survey completed in August, 2004, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

- NOTES: 1. Bearings are based on the west line of the Jeff Ciminillo Subdivision Replat as being North 00°-09'-37" East.
 2. All iron pins found or set are 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.

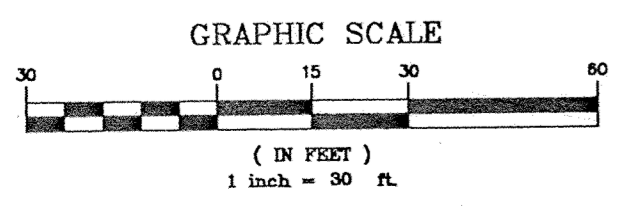


COUNTY RECORDER'S CERTIFICATION

No. 200417905
 FILED FOR RECORD IN THE ALLEN COUNTY, OHIO, RECORDER'S OFFICE THIS 9th DATE OF September, 2004 AT 10:37 O'CLOCK A.M. AND RECORDED IN ALLEN COUNTY PLAT BOOK 26 ON PAGE 34.

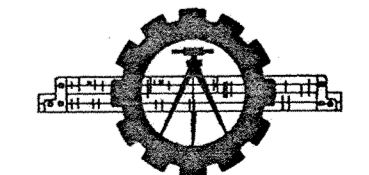
FEE: \$165.60
 DECLARATION: D.V. 930 PAGE 826
 BY: Edward P. Kirk
 RECORDER OF ALLEN COUNTY, OHIO

THIS PLAT IS BASED ON OFFICE RECORDS OF PREVIOUS SURVEYS AND AN ACTUAL SURVEY COMPLETED IN AUGUST 2004. REFERENCES INCLUDE OFFICE RECORDS.



SHEET 1 OF 4

SHELDON ENGINEERING & SURVEYING, INC.

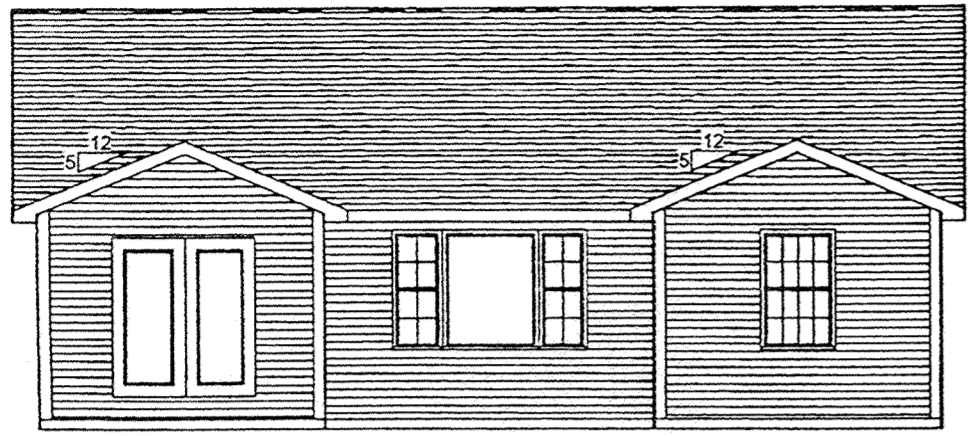


LIMA, OHIO

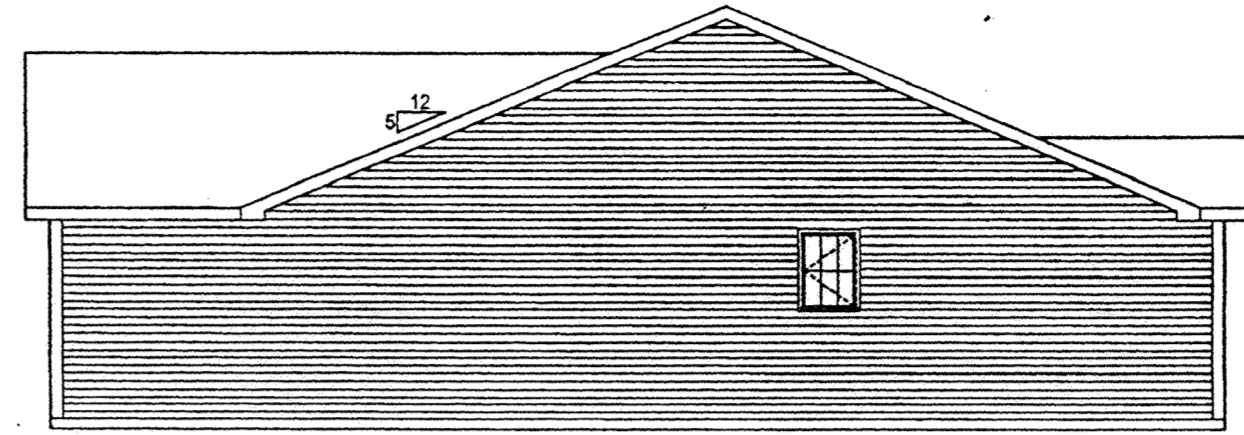
PREPARED BY:
 SHELDON ENGINEERING & SURVEYING, INC.
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E., P.S.

OB-31-2004	DATE	JOB NO.
DRAWN	WSM	22201F
CHECKED	JDS	
APPROVED	JDS	SCALE 1" = 30'

UNIT 'A' - FLOOR PLANS & BUILDING ELEVATIONS



859.51'
851.56'



859.51'
851.56'

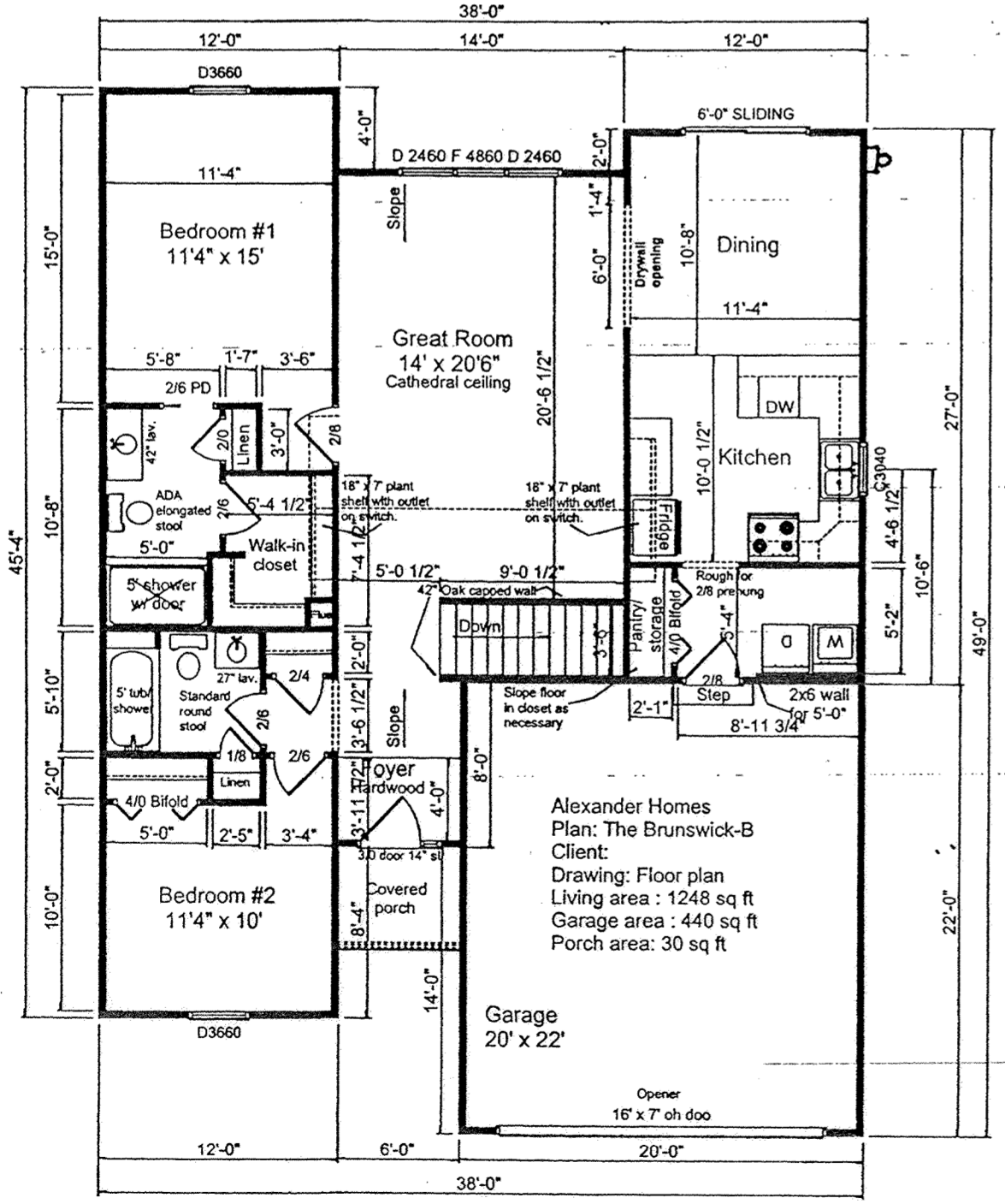
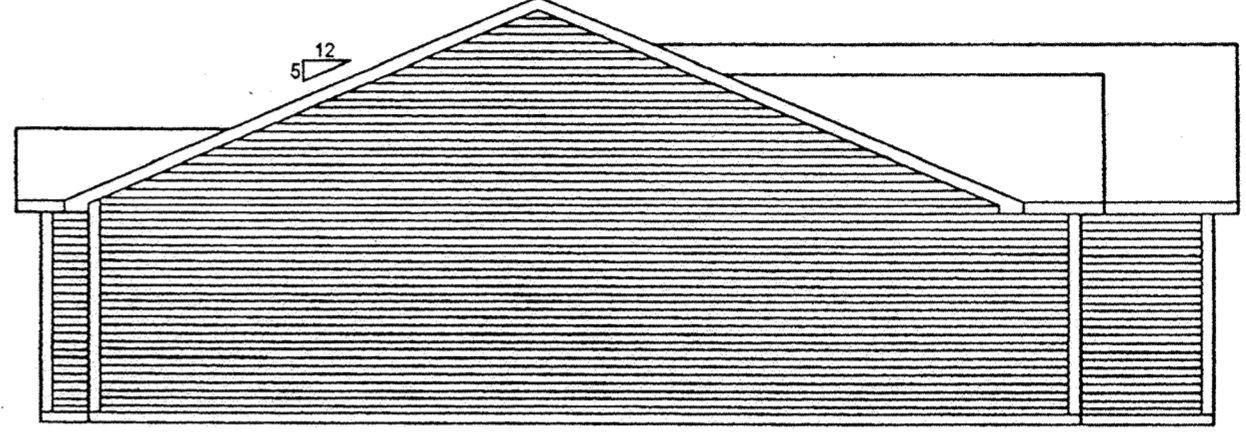
Alexander Homes
Plan: The Brunswick-B
Client:
Drawing: Left & Right

859.51'
851.56'

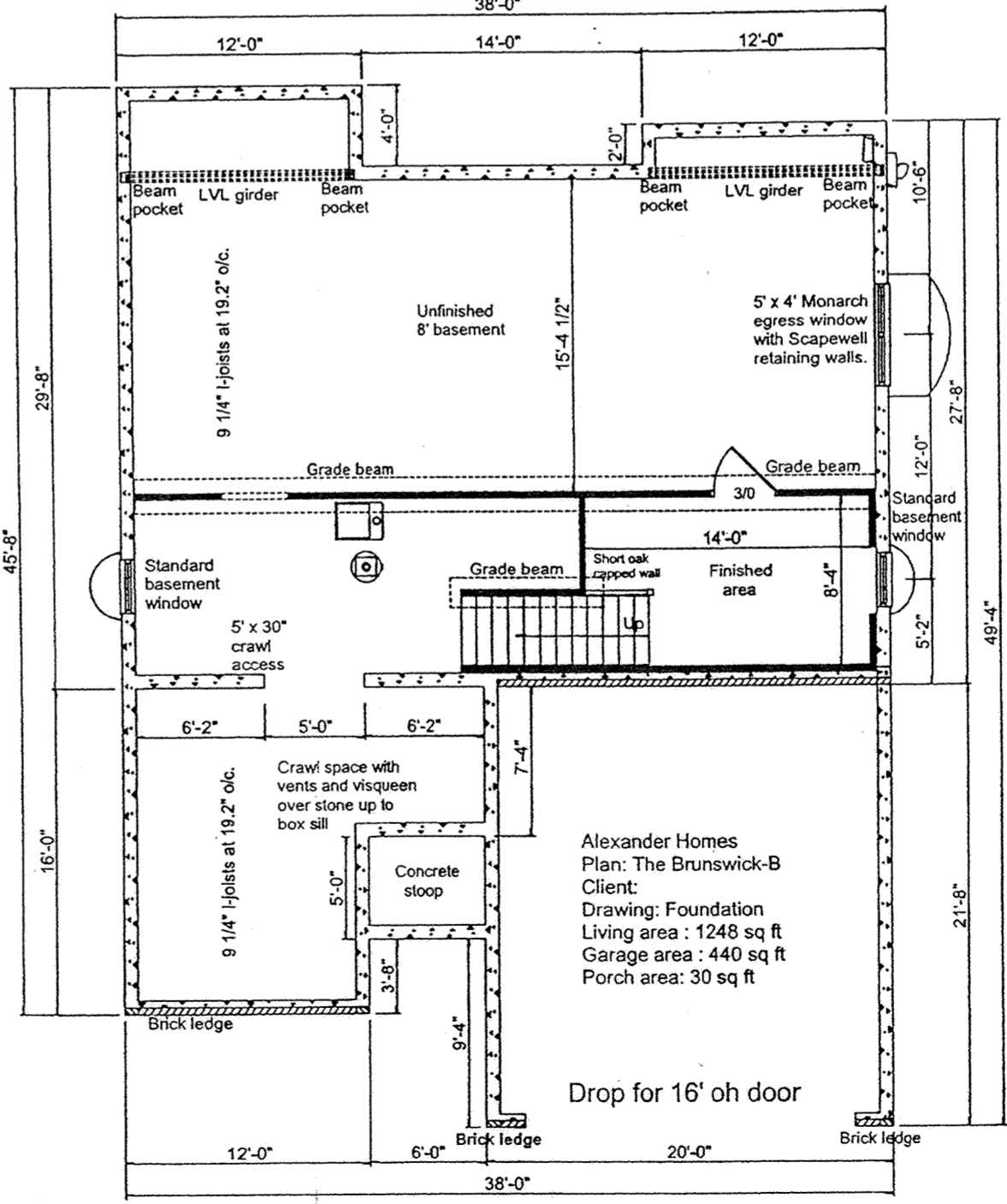


Alexander Homes
Plan: The Brunswick-B
Client:
Drawing: Front & Rear

859.51'
851.56'



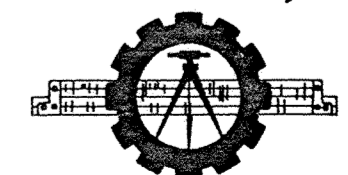
Alexander Homes
Plan: The Brunswick-B
Client:
Drawing: Floor plan
Living area : 1248 sq ft
Garage area : 440 sq ft
Porch area : 30 sq ft



Alexander Homes
Plan: The Brunswick-B
Client:
Drawing: Foundation
Living area : 1248 sq ft
Garage area : 440 sq ft
Porch area : 30 sq ft

SHEET 2 OF 4

SHELDON ENGINEERING & SURVEYING, INC.



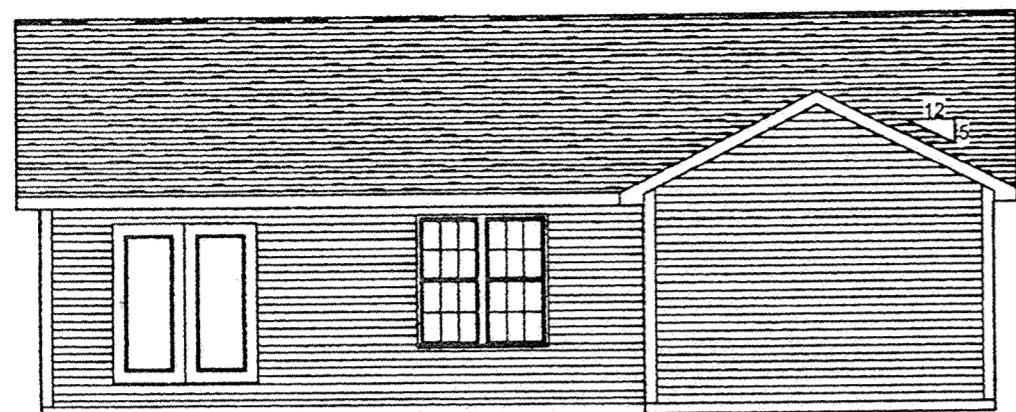
LIMA, OHIO

OB-17-2004	DATE	JOB NO.
DRAWN	WSM	22201F
CHECKED	JDS	
APPROVED	JDS	SCALE NONE

UNIT 'B' - FLOOR PLANS & BUILDING ELEVATIONS

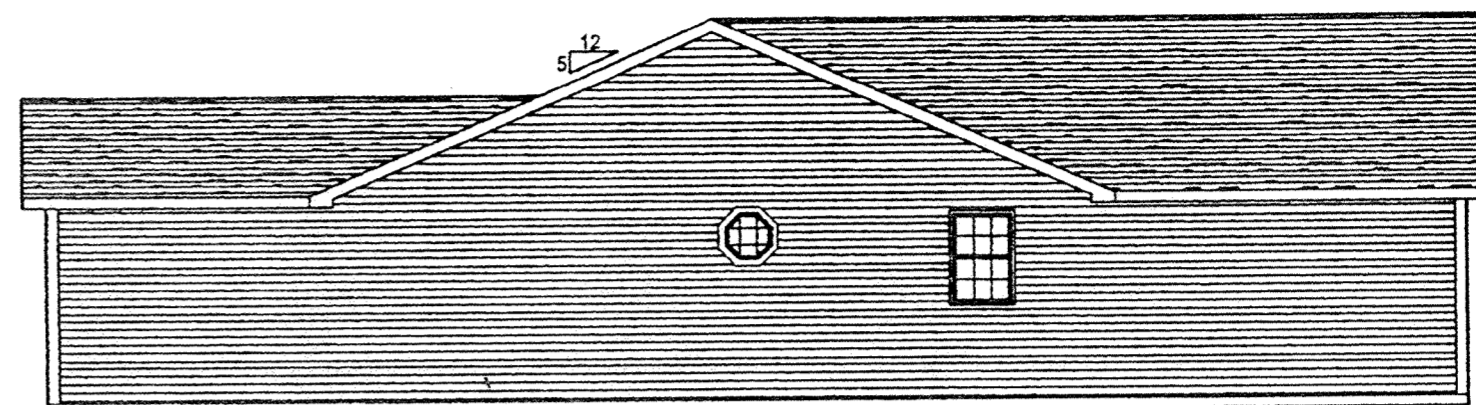
856.12'

848.17'

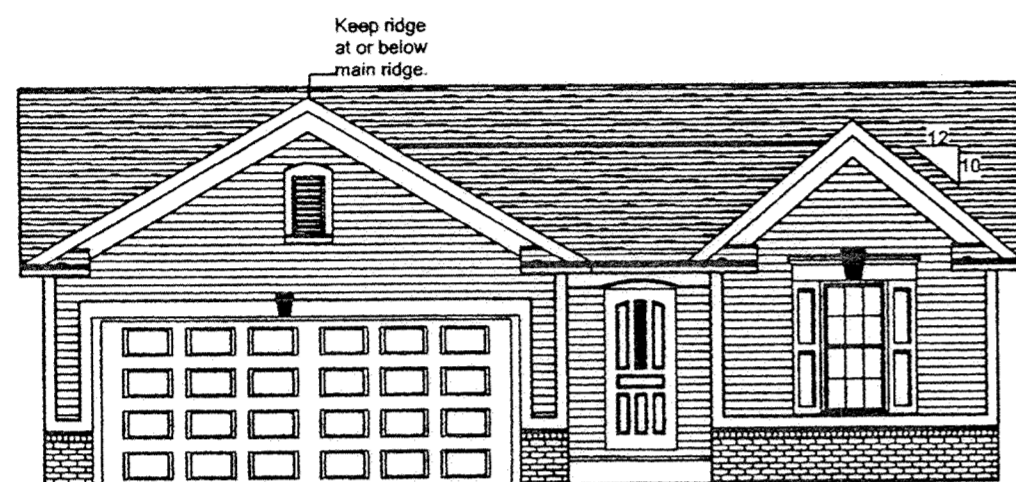


856.12'

848.17'



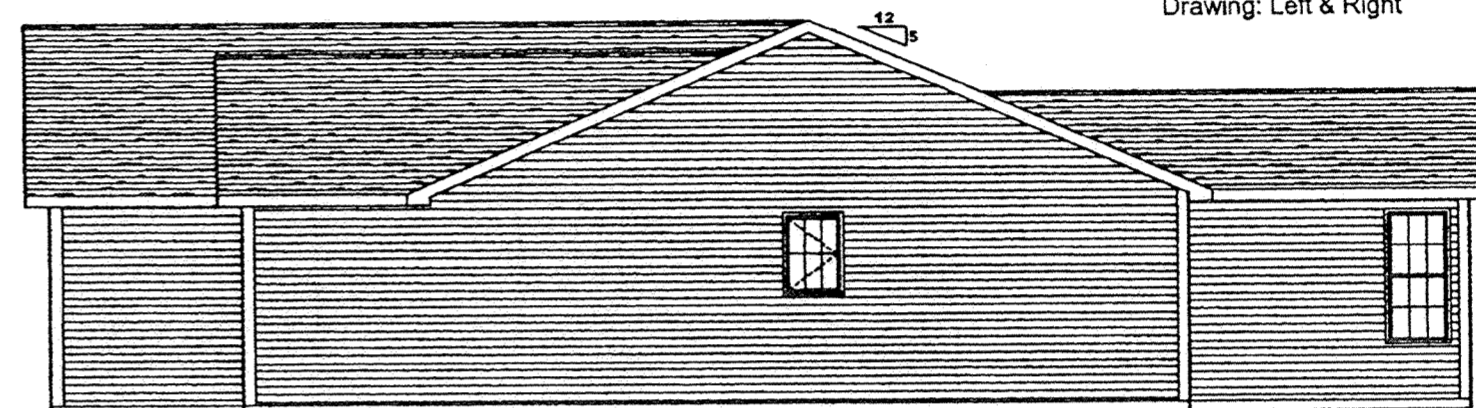
Alexander Homes
Plan: The Cape Hatteras
Client:
Drawing: Left & Right



856.12'

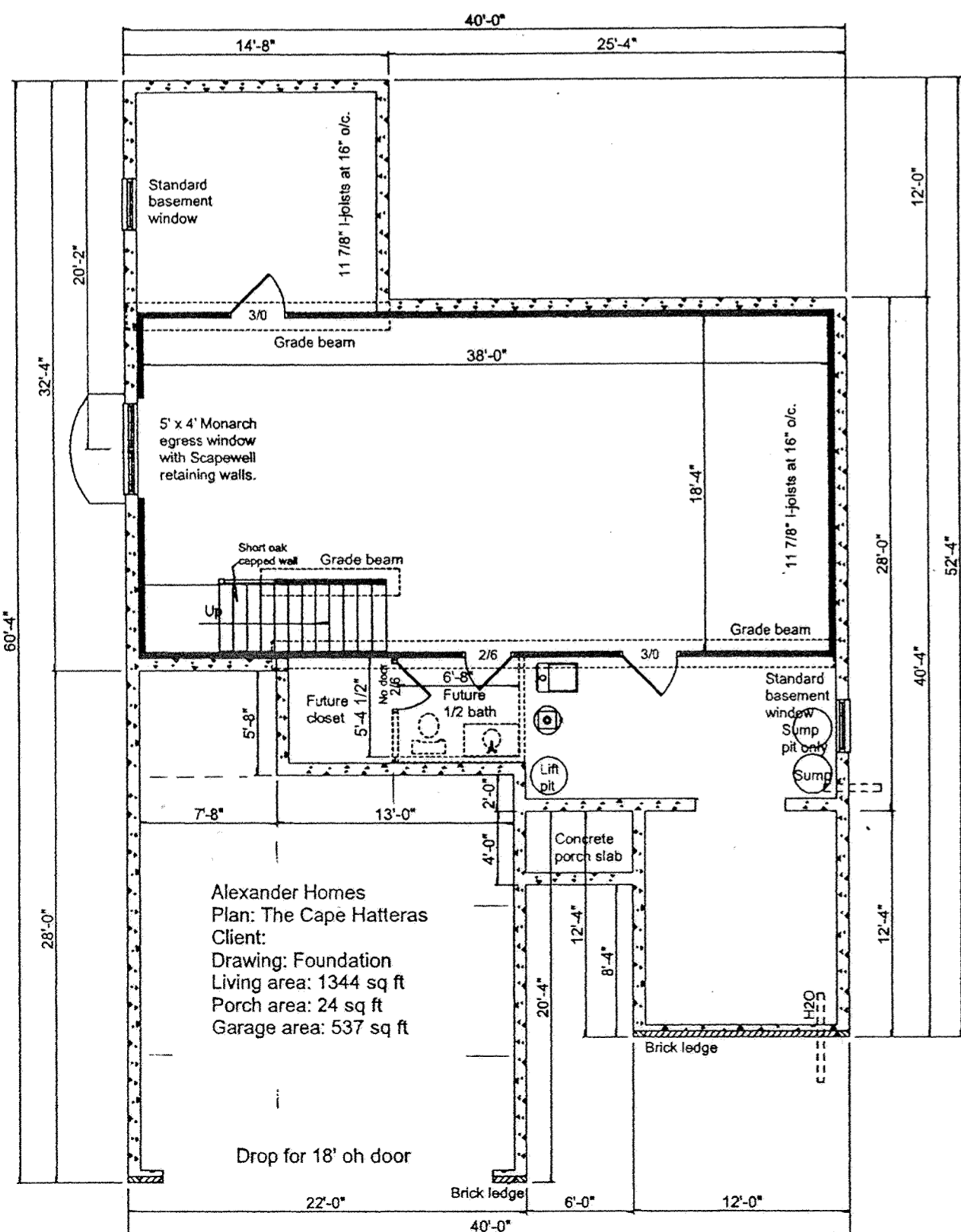
848.17'

Alexander Homes
Plan: The Cape Hatteras
Client:
Drawing: Front & Rear

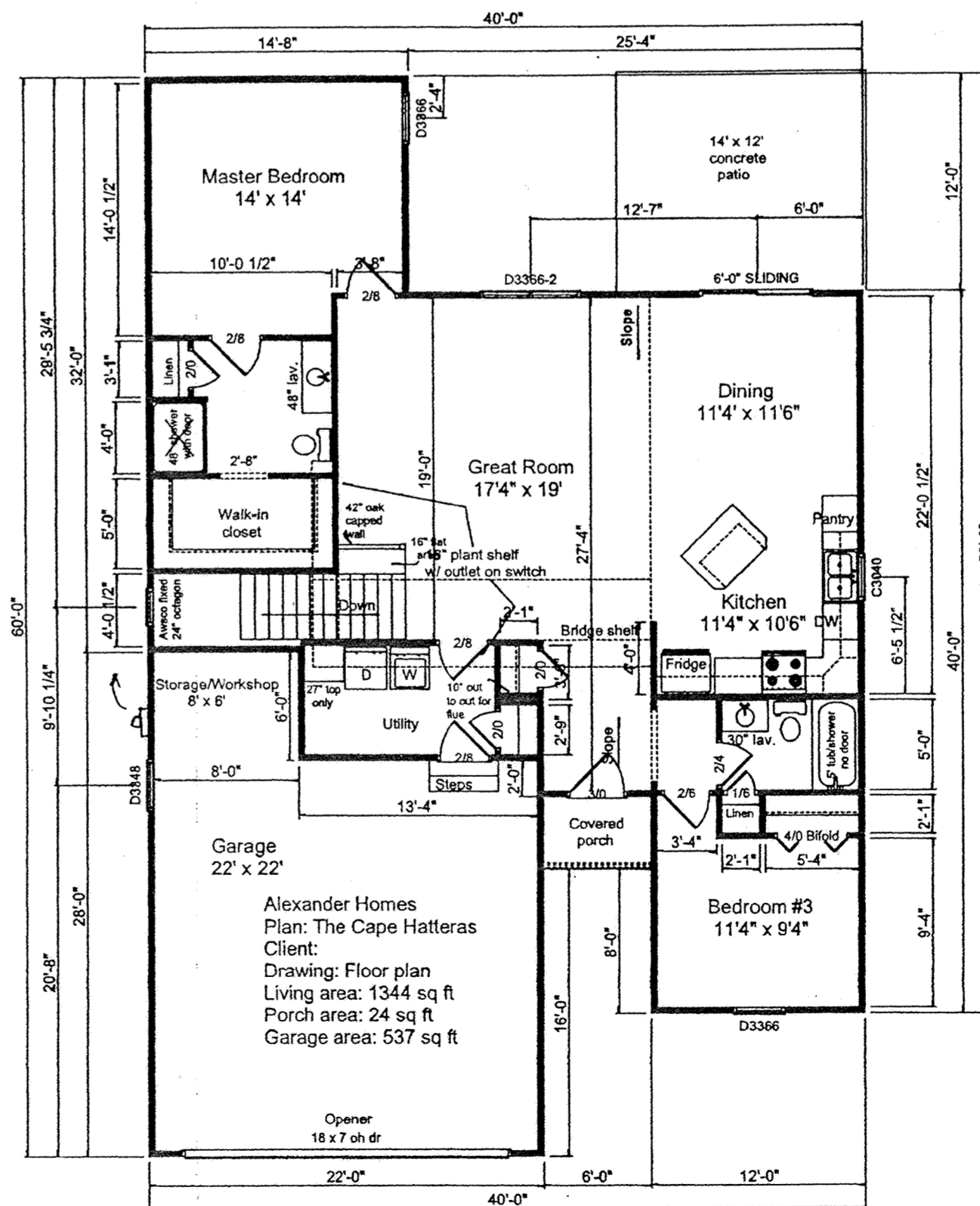


856.12'

848.17'



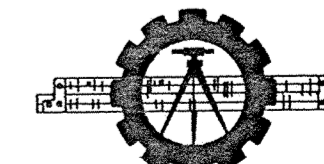
Alexander Homes
Plan: The Cape Hatteras
Client:
Drawing: Foundation
Living area: 1344 sq ft
Porch area: 24 sq ft
Garage area: 537 sq ft



Alexander Homes
Plan: The Cape Hatteras
Client:
Drawing: Floor plan
Living area: 1344 sq ft
Porch area: 24 sq ft
Garage area: 537 sq ft

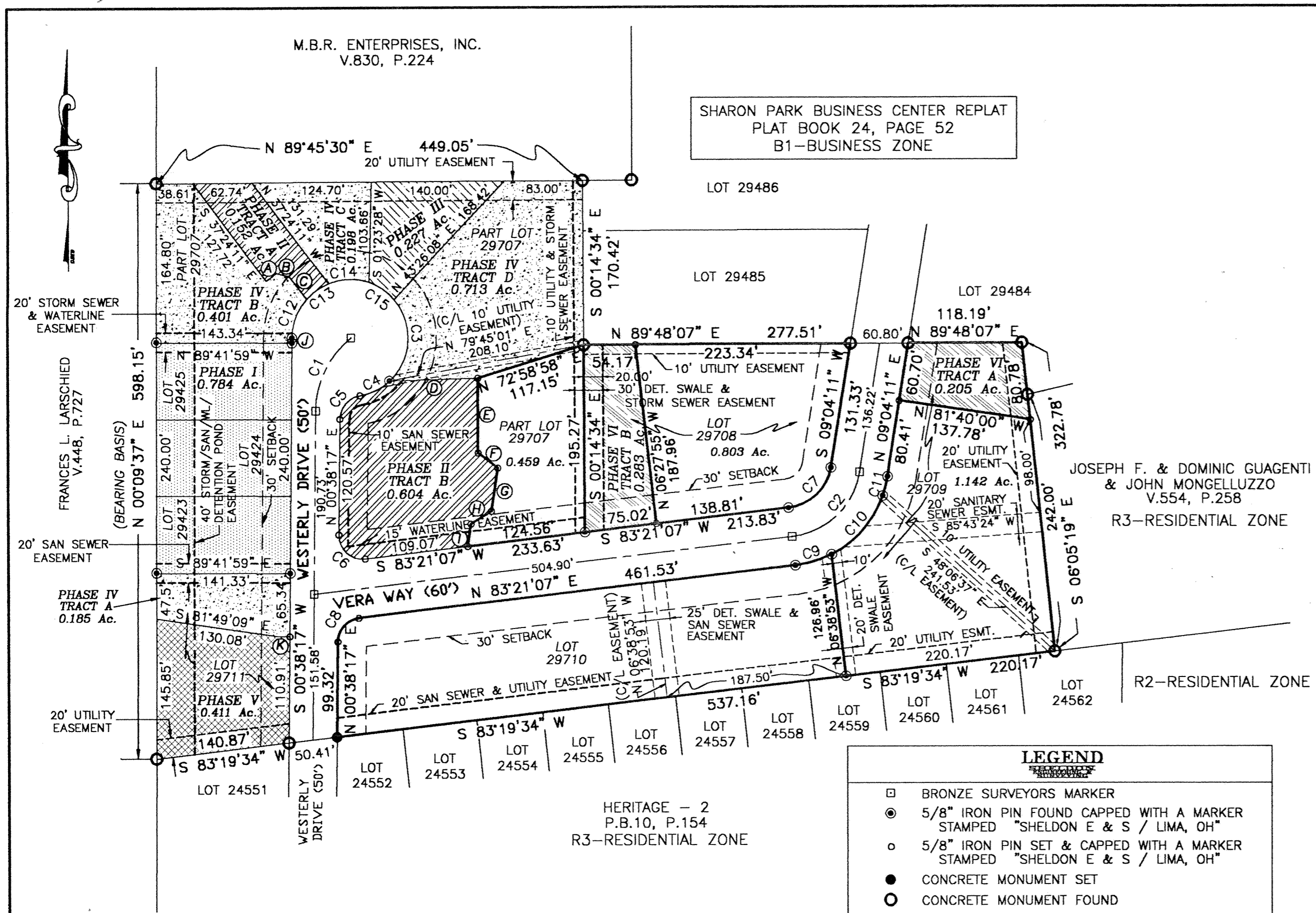
SHEET 3 OF 4

SHELDON ENGINEERING & SURVEYING, INC.



LIMA, OHIO

08-17-2004	DATE	JOB NO.	22201F
JDS	DRAWN	SCALE	NONE
JDS	CHECKED		
JDS	APPROVED		



DEDICATOR'S LAND
VILLA COMMUNITY AT THE OUTER
BANKS CONDOMINIUMS PHASE VI
LOT 29710 AND PART OF LOTS 29707, 29708 & 29709
JEFF CIMINILLO SUBDIVISION REPLAT (P.B. 25, P. 24)
IN THE S.W. 1/4 OF SECTION 34
T 3 S - R 6 E, AMERICAN TOWNSHIP
ALLEN COUNTY, OHIO
BBA BUILDERS, INC. (VOL. 886, P. 859)

DEDICATOR'S LAND
VILLA COMMUNITY AT THE OUTER BANKS PHASE VI
3.865 ACRES

Being all of Lot 29710 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and those parts of Lots 29707, 29708 and 29709 described as follows:

Part of Lot 29707:
 Being a Part of Lot 29707 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:
BEGINNING FOR THE SAME at a 5/8-inch iron pin found on the north line of Vera Way marking the southeast corner of said Lot 29707 -
 Thence South 83°-21'-07" West on and along said north line of Vera Way and the south line of said Lot for a distance of 124.56 feet to a 5/8-inch iron pin set -
 Thence North 08°-41'-11" East for a distance of 23.48 feet to a 5/8-inch iron pin set -
 Thence North 58°-23'-25" East for a distance of 25.03 feet to a 5/8-inch iron pin set -
 Thence North 08°-20'-23" East for a distance of 45.68 feet to a 5/8-inch iron pin set -
 Thence North 52°-31'-54" West for a distance of 25.97 feet to a 5/8-inch iron pin set -
 Thence North 00°-00'-06" East for a distance of 78.08 feet to a 5/8-inch iron pin set -
 Thence North 72°-58'-58" East for a distance of 117.15 feet to a 5/8-inch iron pin in a concrete monument found on the east line of said Lot 29707 -
 Thence South 00°-14'-34" East on and along said east line for a distance of 195.27 feet to the place of beginning.
Containing in all 19,992 square feet or 0.459 acres of land.

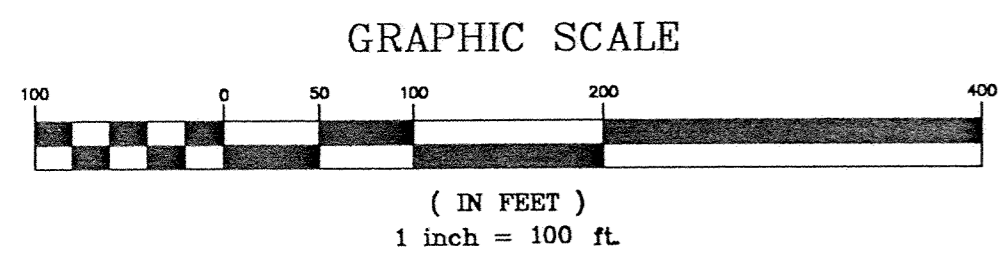
Part of Lot 29708:
 Being a Part of Lot 29708 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:
BEGINNING FOR THE SAME at a 5/8-inch iron pin found on the westerly right of way of Vera Way marking the northeast corner of said Lot 29708 -
 Thence on and along said Lot and said right of way the following three (3) courses:
 1) South 09°-04'-11" West for a distance of 131.33 feet to a 5/8-inch iron pin found -
 2) With a curve to the right having a radius of 50.00 feet, an arc length of 64.82 feet, a delta of 74°-16'-56" and a chord bearing South 46°-12'-39" West for a distance of 60.38 feet to a 5/8-inch iron pin found -
 3) South 83°-21'-07" West for a distance of 138.81 feet to a 5/8-inch iron pin set on the south line of said Lot -
 Thence North 06°-27'-55" West through said Lot for a distance of 187.96 feet to a 5/8-inch iron pin set on the north line of said Lot -
 Thence North 89°-48'-07" East on and along the north line of said Lot for a distance of 223.34 feet to the place of beginning.
Containing in all 34,980 square feet or 0.803 acres of land.

Part of Lot 29709:
 Being a Part of Lot 29709 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:
BEGINNING FOR THE SAME at a 5/8-inch iron pin in a concrete monument found marking the southeast corner of said Lot 29709 -
 Thence on and along said Lot the following five (5) courses:
 1) South 83°-19'-34" West for a distance of 220.17 feet to a 5/8-inch iron pin found -
 2) North 06°-38'-53" West for a distance of 126.96 feet to a 5/8-inch iron pin found on the southerly right of way of Vera Way -
 3) With a curve to the left having a radius of 110.00 feet, an arc length of 82.95 feet, a delta of 43°-12'-15" and a chord bearing North 41°-24'-23" East for a distance of 80.99 feet to a 5/8-inch iron pin found -
 4) With a curve to the left having a radius of 110.00 feet, an arc length of 20.61 feet, a delta of 10°-44'-05" and a chord bearing North 14°-26'-13" East for a distance of 20.58 feet to a 5/8-inch iron pin found -
 5) North 09°-04'-11" East for a distance of 80.41 feet to a 5/8-inch iron pin set -
 Thence South 81°-40'-00" East through said Lot for a distance of 137.78 feet to a 5/8-inch iron pin set on the east line of said Lot -
 Thence South 06°-05'-19" East on and along the east line of said Lot for a distance of 242.00 feet to the place of beginning.
Containing in all 49,766 square feet or 1.142 acres of land.

Dedicator's Land contains in all a total of 3.865 acres subject, however, to all legal easements and rights of way.
 The foregoing description is based on office records of previous surveys and a current field survey completed in August, 2004 under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).
 NOTES: 1. Bearings are based on the west line of the Jeff Ciminillo Subdivision Replat as being North 00°-09'-37" East.
 2. All iron pins found or set are 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.

(A)	(B)	(C)	(D)	(E)
N 52°35'49" E 13.40'	N 74°13'24" W 14.07'	N 37°01'48" W 29.23'	N 88°18'20" E 92.80'	N 00°00'06" E 78.08'
(F)	(G)	(H)	(I)	(J)
N 52°31'54" W 25.97'	N 08°20'23" E 45.68'	N 58°23'25" E 25.03'	N 08°41'11" E 23.48'	S 00°38'17" W 5.12'
(K)				
S 89°41'59" E 11.98'				

STREET	CURVE	LENGTH	RADIUS	TANGENT	BEARING	CHORD	DELTA
WESTERLY DR	C1	87.36	99.36	46.73	N 25°49'40" E	84.57	50°22'46"
	C2	84.57	80.00	46.72	N 39°21'21" E	80.69	60°34'20"
VERA WAY	C3	93.99	61.00	59.20	S 03°33'18" E	84.96	88°16'51"
	C4	35.74	61.00	18.40	N 64°28'51" E	35.23	33°34'17"
	C5	35.18	25.00	21.21	N 40°57'08" E	32.35	80°37'43"
	C6	42.45	25.00	28.40	N 48°00'18" W	37.53	97°17'10"
	C7	64.82	50.00	37.87	S 46°12'39" W	60.38	74°16'56"
	C8	36.09	25.00	22.01	N 41°59'42" E	33.04	82°42'50"
	C9	39.06	110.00	19.74	N 73°10'49" E	38.85	20°20'37"
	C10	82.95	110.00	43.56	N 41°24'23" E	80.99	43°12'15"
	C11	20.61	110.00	10.33	N 14°26'13" E	20.58	10°44'05"
	C12	43.79	61.00	22.89	N 20°33'53" E	42.85	41°07'47"
	C13	28.63	61.00	14.59	S 54°34'37" W	28.37	26°53'40"
	C14	43.35	61.00	22.64	S 88°23'06" W	42.45	40°43'19"
	C15	32.65	61.00	16.73	N 55°55'11" E	32.26	30°40'06"



PREPARED BY:
 SHELDON ENGINEERING & SURVEYING
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E. & P.S.

LEGEND

- ☐ BRONZE SURVEYORS MARKER
- 5/8" IRON PIN FOUND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- 5/8" IRON PIN SET & CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- CONCRETE MONUMENT SET
- CONCRETE MONUMENT FOUND
- 5/8" IRON PIN FOUND (NO CAP)
- ▨ PHASE I VILLA COMMUNITY AT THE OUTER BANKS (0.784 ACRES)
- ▨ PHASE II VILLA COMMUNITY AT THE OUTER BANKS (0.756 ACRES COMBINED)
- ▨ PHASE III VILLA COMMUNITY AT THE OUTER BANKS (0.227 ACRES)
- ▨ PHASE IV VILLA COMMUNITY AT THE OUTER BANKS (1.523 ACRES)
- ▨ PHASE V VILLA COMMUNITY AT THE OUTER BANKS (0.385 ACRES)
- ▨ PHASE VI VILLA COMMUNITY AT THE OUTER BANKS (0.488 ACRES)
- EXPANDABLE AREA (3.865 ACRES)

OWNER'S DEDICATION AND ACKNOWLEDGMENT
 THE UNDERSIGNED, BEING THE OWNER OF THE LAND PLATTED HEREIN, DOES HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT.

Charlotte R. Bellman
 WITNESS

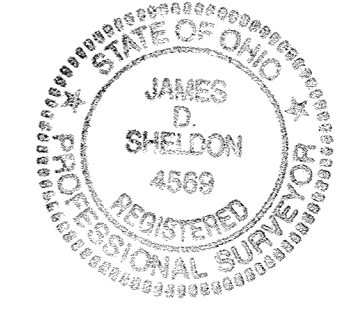
R. Michael Alexander
 R. MICHAEL ALEXANDER, PRESIDENT
 BBA BUILDERS, INC.

ACKNOWLEDGMENT
 STATE OF OHIO SS:
 COUNTY OF ALLEN
 BE IT REMEMBERED THAT ON THIS 3rd DAY OF Sept., 2004 PERSONALLY CAME THE SAID BBA Builders, Inc. by R. Michael Alexander TO ME KNOWN, WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF OF THE FOREGOING STATEMENT TO BE THEIR VOLUNTARY ACT AND DEED.

Charlotte R. Bellman
 Notary Public

CHARLOTTE A. BELLMAN
 Notary Public, State of Ohio
 My Commission Expires
 October 20, 2004

Date 1 SEPT 04



James D. Sheldon
 James D. Sheldon, P.E., P.S.
 Registered Surveyor #4569

SHEET 4 OF 4
SHELDON ENGINEERING & SURVEYING, INC.

		LIMA, OHIO	
		08-23-2004	DATE
DRAWN	WJM	JOB NO.	22201F
CHECKED	JDS	SCALE	1" = 100'
APPROVED	JDS		

NEW LIMA HOMES-SECTION ONE
BEING A REPLAT OF LOTS 42, 43 AND 44 OF THE
ORCHARD HILL SUBDIVISION AS RECORDED IN PB 5, PG 50

LOCATED IN NW 1/4 SECTION 7, TOWN 4, RANGE 7
PERRY TOWNSHIP, CITY OF LIMA

ALLEN COUNTY, OHIO

CONTAINING: 0.5194 ACRES

DATE: 09/08/04

PREPARED BY;

OWNERS' DEDICATION AND ACKNOWLEDGMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT.

OWNER:

NEW LIMA HOMES, AN OHIO
LIMITED LIABILITY COMPANY



Van Atta
Engineering
Inc.

Engineering & Surveying

245 W. Elmwood Drive Suite 202
Centerville, Ohio 45459
Phone: (937) 438-5650
Fax: (937) 438-5645

BY: HHWP COMMUNITY ACTION COMMISSION

ITS: MANAGING MEMBER

Roy S. ...
WITNESS

Dennis La Rocco

BY: DENNIS LA ROCCO

ITS: EXECUTIVE DIRECTOR

NOTARY PUBLIC

STATE OF OHIO

BE IT REMEMBERED THAT ON THIS 10th DAY OF Sept., 2004, PERSONALLY CAME THE SAID NEW LIMA HOMES, AN OHIO LIMITED LIABILITY COMPANY BY: HHWP COMMUNITY ACTION, IT'S: MANAGING MEMBER, BY: DENNIS LA ROCCO, IT'S: EXECUTIVE DIRECTOR TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE HIS VOLUNTARY ACT AND DEED.

Billie Niese
NOTARY PUBLIC IN AND FOR

MY COMMISSION EXPIRES: Sept. 13, 2005
Billie Niese
Notary Public, State of Ohio
My Commission Expires Sept. 13, 2005

APPROVAL BY THE CITY OF LIMA PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE PLANNING COMMISSION ON Sept. 9, 2004 THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THE DATE OF THIS APPROVAL.

Sept. 9, 2004
DATE

Ag. ...
DIRECTOR OF COMMUNITY DEVELOPMENT

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS FILED FOR TRANSFER ON September 10th, 2004.

FEE: \$ 1.00

Ben E. Diepenbrock
ALLEN COUNTY AUDITOR SS

200417979

COUNTY RECORDER

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON Sept 10, 2004 AND THAT IT WAS RECORDED ON Sept 10, 2004 IN VOLUME 26, PAGE 38, PLAT RECORDS OF ALLEN COUNTY, OHIO.

FEE: \$ 82.80

Edward P. Kirk
ALLEN COUNTY RECORDER

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY SUPERVISION IN APRIL, 2004 AND THAT ALL MARKERS ARE CORRECTLY SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE WITHIN SIX (6) MONTHS FROM THE DATE OF RECORDING.

9/8/04
DATE

Jeffrey A. Van Atta
JEFFREY A. VAN ATTA, P.E., P.S.
OHIO REGISTERED SURVEYOR #7354



G:\P\ML\LIMA\REPLAT-LOT-42-43-44-ORCHARD-HILL.DWG, SEPT 08, 2004 - 14:45:09

NEW LIMA HOMES-SECTION ONE
BEING A REPLAT OF LOTS 42, 43 AND 44 OF THE
ORCHARD HILL SUBDIVISION AS RECORDED IN PB 5, PG 50

LOCATED IN NW 1/4 SECTION 7, TOWN 4, RANGE 7
PERRY TOWNSHIP, CITY OF LIMA

ALLEN COUNTY, OHIO
CONTAINING: 0.5194 ACRES

DATE: 09/08/04

PREPARED BY:



Engineering & Surveying

245 W. Elmwood Drive Suite 202
Centerville, Ohio 45459
Phone: (937) 438-5850
Fax: (937) 438-5845

SURVEY SYMBOLS LEGEND:

- ⊕ EX CROSS NOTCH FOUND
- EX 5/8" IRON PIN FOUND
- ⊙ EX 1" IRON PIPE FOUND
- EX CONCRETE MONUMENT FOUND
- × EX PK NAIL FOUND
- ◁ EX RAILROAD SPIKE FOUND
- IRON PIN TO BE SET (5/8" DIA, 30" LONG)
- CONCRETE MONUMENT TO BE SET
- × PK NAIL TO BE SET
- ⊕ CROSS NOTCH TO BE SET

DEVELOPER:
MVC LAND DEVELOPMENT, LLC
4334 GLENDALE-MILFORD ROAD
CINCINNATI, OHIO 45242
(513)588-1000 PHONE
(513)588-1226 FAX

ZONING: "CLASS II-RESIDENTIAL FOUR FAMILY"

DESCRIPTION:
LOTS 42, 43 & 44

LOCATED IN THE NORTHWEST ONE-QUARTER SECTION 7, TOWN 4, RANGE 7, PERRY TOWNSHIP, CITY OF LIMA, COUNTY OF ALLEN, STATE OF OHIO AND BEING ALL OF LOTS 42, 43 & 44 OF THE ORCHARD HILL SUBDIVISION AS RECORDED IN PLAT BOOK 5, PAGE 50 OF THE PLAT RECORDS OF SAID COUNTY AND AS CONVEYED TO NEW LIMA HOMES, AN OHIO LIMITED LIABILITY COMPANY AS RECORDED IN DEED VOLUME 919, PAGE 177 OF THE DEED RECORDS OF SAID COUNTY AND PART OF THAT 20 FOOT VACATED ALLEY BY CITY ORDINANCE NUMBER 2-82 AS RECORDED IN PLAT BOOK 16, PAGE 38 OF THE PLAT RECORDS OF SAID COUNTY AND BEING DESCRIBED MORE PARTICULARLY AS FOLLOWS:

BEGINNING AT A 5/8" IRON PIN SET CAPPED VAN ATTA #7354 AT THE SOUTHWEST CORNER OF SAID LOT 42, SAID POINT ALSO LYING ON THE NORTH RIGHT-OF-WAY LINE OF SIXTH STREET;

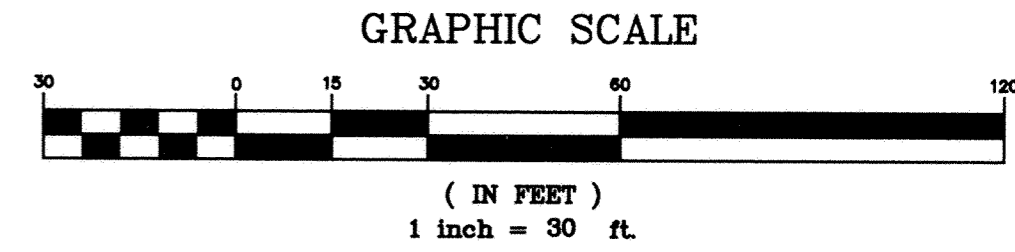
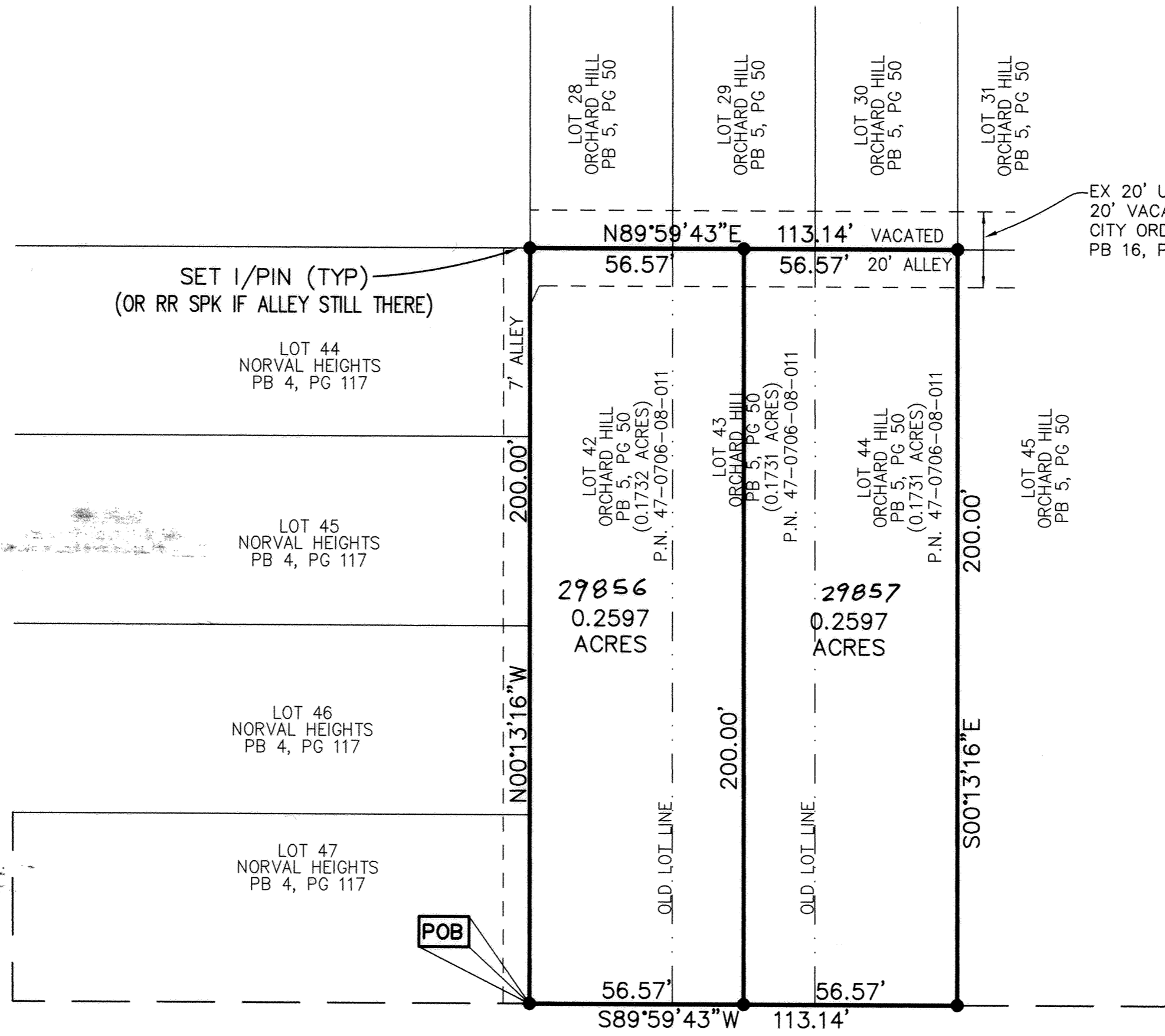
THENCE WITH THE WEST LINE OF SAID LOT 42 NORTH 00°13'16" WEST, 200.00 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354 IN THE CENTERLINE OF SAID 20 FOOT VACATED ALLEY;

THENCE WITH THE CENTERLINE OF SAID 20 FOOT VACATED ALLEY NORTH 89°59'43" EAST, 113.14 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354;

THENCE LEAVING THE CENTERLINE OF SAID VACATED ALLEY AND AN EXTENSION OF THE EAST LINE OF SAID LOT 44, SAID EXTENSION ALSO BEING THE WEST LINE OF LOT 45 OF SAID ORCHARD HILL SUBDIVISION SOUTH 00°13'16" EAST, 200.00 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354 AT THE SOUTHEAST CORNER OF SAID LOT 44 AND THE SOUTHWEST CORNER OF SAID LOT 45 AND A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SIXTH STREET;

THENCE WITH THE NORTH RIGHT-OF-WAY LINE OF SIXTH STREET, WITH THE SOUTH LINE OF SAID LOT 44 AND ITS EXTENSION BEING THE SOUTH LINE OF SAID LOT 43 AND SAID LOT 42 SOUTH 89°59'43" WEST, 113.14 FEET TO THE POINT OF BEGINNING CONTAINING 0.5194 ACRES, MORE OR LESS, SUBJECT HOWEVER TO ALL LEGAL HIGHWAYS, EASEMENTS AND RESTRICTIONS OF RECORD.

NOTE: THIS IS A RESULT OF A FIELD SURVEY.



SIXTH STREET (50' R/W)

REVIEWED BY
M. J. B.
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 9/10/04

G:\P\WLIMA\REPLAT-LOT-42-43-44-ORCHARD-HILL.DWG, SEPT 08, 2004 - 14:45:09

NEW LIMA HOMES-SECTION TWO
 LOCATED IN NW 1/4 SECTION 7, TOWN 4, RANGE 7
 PERRY TOWNSHIP, CITY OF LIMA
 ALLEN COUNTY, OHIO
 CONTAINING: 0.6197 ACRES
 DATE: 09/08/04
 PREPARED BY:

OWNERS' DEDICATION AND ACKNOWLEDGMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT.

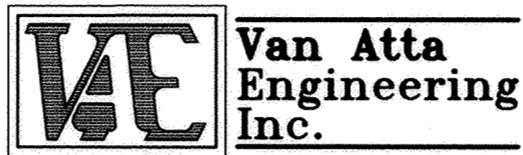
OWNER:

NEW LIMA HOMES, AN OHIO LIMITED LIABILITY COMPANY

Roy L. Nelson
 WITNESS

BY: HHWP COMMUNITY ACTION COMMISSION
 ITS: MANAGING MEMBER

Dennis La Rocco
 BY: DENNIS LA ROCCO
 ITS: EXECUTIVE DIRECTOR



Van Atta Engineering Inc.

Engineering & Surveying

245 W. Elmwood Drive Suite 202
 Centerville, Ohio 45459
 Phone: (937) 438-5650
 Fax: (937) 438-5645

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS FILED FOR TRANSFER ON September 10th, 2004.

FEE: \$ 2.00

Ben E. Diepenbrock
 ALLEN COUNTY AUDITOR SS

200417980

COUNTY RECORDER

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON Sept 10, 2004 AND THAT IT WAS RECORDED ON Sept 10, 2004 IN VOLUME 26, PAGE 40, PLAT RECORDS OF ALLEN COUNTY, OHIO.

FEE: \$ 82.80

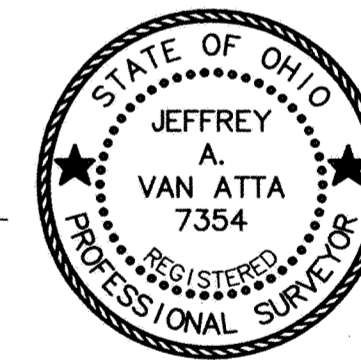
Edward P. Kue
 ALLEN COUNTY RECORDER

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY SUPERVISION IN APRIL, 2004 AND THAT ALL MARKERS ARE CORRECTLY SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE WITHIN SIX (6) MONTHS FROM THE DATE OF RECORDING.

9/8/04
 DATE

Jeffrey A. Van Atta
 JEFFREY A. VAN ATTA, P.E., P.S.
 OHIO REGISTERED SURVEYOR #7354



NOTARY PUBLIC

STATE OF OHIO

COUNTY

BE IT REMEMBERED THAT ON THIS 10th DAY OF Sept., 2004, PERSONALLY CAME THE SAID NEW LIMA HOMES, AN OHIO LIMITED LIABILITY COMPANY BY: HHWP COMMUNITY ACTION, IT'S: MANAGING MEMBER, BY: DENNIS LA ROCCO, IT'S: EXECUTIVE DIRECTOR TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE HIS VOLUNTARY ACT AND DEED.

Ellie Niess
 NOTARY PUBLIC IN AND FOR

Ellie Niess
 Notary Public, State of Ohio
 My Commission Expires Sept. 12, 2005

MY COMMISSION EXPIRES: _____

APPROVAL BY THE CITY OF LIMA PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE PLANNING COMMISSION ON Sept. 9, 2004 THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THE DATE OF THIS APPROVAL.

Sept. 9, 2004
 DATE

A. S. O'Brien
 DIRECTOR OF COMMUNITY DEVELOPMENT

G:\P\MLIMA\REPLAT-LOT-WHEELER-PLACE.DWG, SEPT 08, 2004 - 14:59:06

NEW LIMA HOMES-SECTION TWO
 LOCATED IN NW 1/4 SECTION 7, TOWN 4, RANGE 7
 PERRY TOWNSHIP, CITY OF LIMA
 ALLEN COUNTY, OHIO
 CONTAINING: 0.6197 ACRES
 DATE: 09/08/04
 PREPARED BY:

DESCRIPTION:
 SIXTH STREET AND HUGHES AVENUE

LOCATED IN THE NORTHWEST ONE-QUARTER SECTION 7, TOWN 4, RANGE 7, PERRY TOWNSHIP, CITY OF LIMA, COUNTY OF ALLEN, STATE OF OHIO AND BEING ALL OF THAT LAND AS CONVEYED TO NEW LIMA HOMES, AN OHIO LIMITED LIABILITY COMPANY AS RECORDED IN DEED VOLUME 918, PAGE 533 OF THE DEED RECORDS OF SAID COUNTY AND PART OF THAT 14 FOOT VACATED ALLEY BY CITY ORDINANCE NUMBER 65-82 AS RECORDED IN DEED VOLUME 646, PAGE 133 OF THE DEED RECORDS OF SAID COUNTY AND BEING DESCRIBED MORE PARTICULARLY AS FOLLOWS:

BEGINNING AT A 5/8" IRON PIN SET CAPPED VAN ATTA #7354 AT THE NORTH RIGHT-OF-WAY LINE OF SIXTH STREET, SAID POINT ALSO LYING ON THE CENTERLINE OF SAID VACATED;

THENCE LEAVING THE NORTH RIGHT-OF-WAY LINE OF SIXTH STREET, WITH THE CENTERLINE OF SAID VACATED ALLEY NORTH 00°01'53" WEST, 160.00 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354;

THENCE LEAVING THE CENTERLINE OF SAID VACATED ALLEY NORTH 89°59'43" EAST, 168.70 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354 ON THE WEST RIGHT-OF-WAY LINE OF HUGHES AVENUE;

THENCE WITH THE WEST RIGHT-OF-WAY LINE OF HUGHES AVENUE SOUTH 00°01'53" EAST, 160.00 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354 AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF HUGHES AVENUE AND THE NORTH RIGHT-OF-WAY LINE OF SIXTH STREET;

THENCE WITH THE NORTH RIGHT-OF-WAY LINE OF SIXTH STREET SOUTH 89°59'43" WEST, 168.70 FEET TO THE POINT OF BEGINNING CONTAINING 0.6196 ACRES, MORE OR LESS, SUBJECT HOWEVER TO ALL LEGAL HIGHWAYS, EASEMENTS AND RESTRICTIONS OF RECORD.

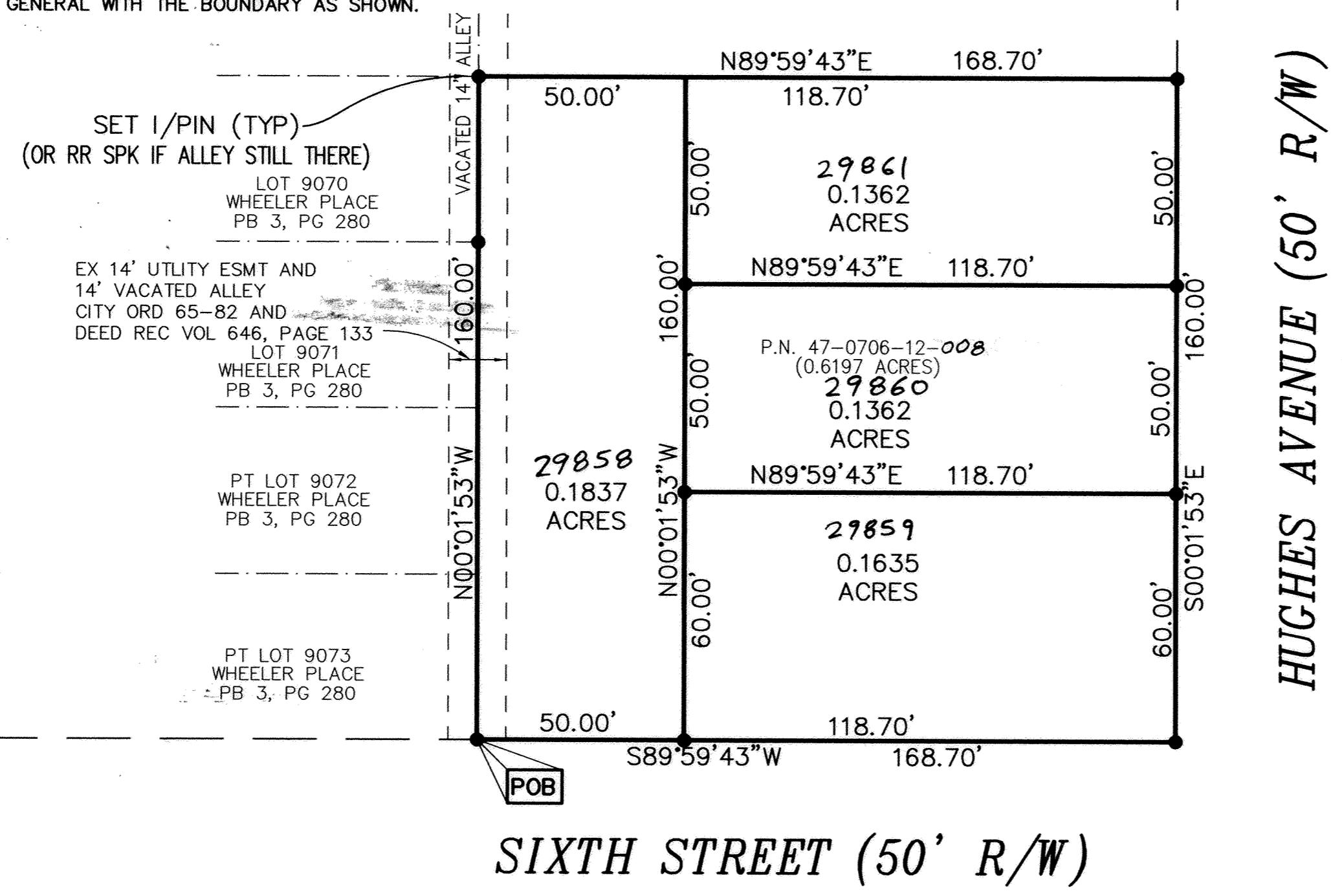
NOTE: THIS IS A RESULT OF A FIELD SURVEY.
 NOTE: BASIS OF BEARINGS IS ASSUMED NORTH.
 NOTE: LINES OF OCCUPATION AGREE IN GENERAL WITH THE BOUNDARY AS SHOWN.

REVIEWED BY:
M. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEERS
 DATE: 9/10/04

G:\P\MLIMA\REPLAT-LOT-WHEELER-PLACE.DWG, SEPT 08, 2004 - 14:59:06

Van Atta Engineering Inc.
Engineering & Surveying
 245 W. Elmwood Drive Suite 202
 Centerville, Ohio 45459
 Phone: (937) 438-5650
 Fax: (937) 438-5645

CHURCH OF GOD
 IN CHRIST
 NW 1/4 SECTION 7, TOWN 4, RANGE 7



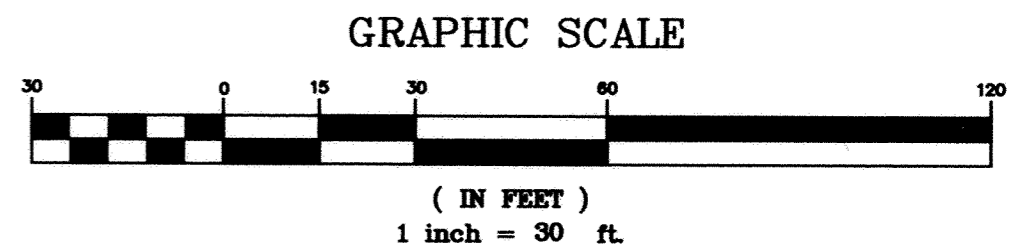
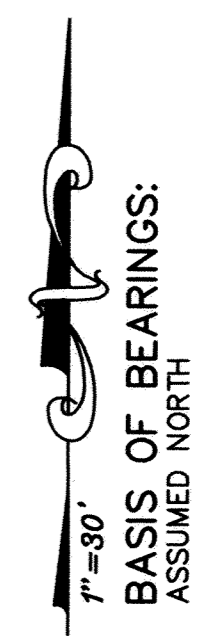
SURVEY SYMBOLS LEGEND:

- ⊕ EX CROSS NOTCH FOUND
- EX 5/8" IRON PIN FOUND
- ⊙ EX 1" IRON PIPE FOUND
- EX CONCRETE MONUMENT FOUND
- × EX PK NAIL FOUND
- ◁ EX RAILROAD SPIKE FOUND
- IRON PIN TO BE SET (5/8" DIA, 30" LONG)
- CONCRETE MONUMENT TO BE SET
- × PK NAIL TO BE SET
- ⊕ CROSS NOTCH TO BE SET

DEVELOPER:

MVC LAND DEVELOPMENT, LLC
 4334 GLENDALE-MILFORD ROAD
 CINCINNATI, OHIO 45242
 (513)588-1000 PHONE
 (513)588-1226 FAX

ZONING: "CLASS II-RESIDENTIAL FOUR FAMILY"



NEW LIMA HOMES-SECTION THREE
BEING A REPLAT OF LOTS 137, 138 AND 139 OF THE ORCHARD HILL
SUBDIVISION AS RECORDED IN PB 5, PG 50

LOCATED IN NW 1/4 SECTION 7, TOWN 4, RANGE 7
PERRY TOWNSHIP, CITY OF LIMA
ALLEN COUNTY, OHIO
CONTAINING: 0.5194 ACRES
DATE: 09/08/04
PREPARED BY;

OWNERS' DEDICATION AND ACKNOWLEDGMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT.

OWNER:
NEW LIMA HOMES, AN OHIO
LIMITED LIABILITY COMPANY

BY: HHWP COMMUNITY ACTION COMMISSION
ITS: MANAGING MEMBER

Roy S. Nelson
WITNESS

Dennis La Rocco
BY: DENNIS LA ROCCO
ITS: EXECUTIVE DIRECTOR

VAE Van Atta
Engineering
Inc.

Engineering & Surveying
245 W. Elmwood Drive Suite 202
Centerville, Ohio 45459
Phone: (937) 438-5850
Fax: (937) 438-5845

NOTARY PUBLIC

STATE OF OHIO

COUNTY

BE IT REMEMBERED THAT ON THIS 10th DAY OF Sept., 2004, PERSONALLY CAME THE SAID NEW LIMA HOMES, AN OHIO LIMITED LIABILITY COMPANY BY: HHWP COMMUNITY ACTION, IT'S: MANAGING MEMBER, BY: DENNIS LA ROCCO, IT'S: EXECUTIVE DIRECTOR TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE HIS VOLUNTARY ACT AND DEED.

Billie Nisco
NOTARY PUBLIC IN AND FOR

Billie Nisco
Notary Public, State of Ohio
My Commission Expires Sept. 18, 2005

MY COMMISSION EXPIRES: _____

APPROVAL BY THE CITY OF LIMA PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE PLANNING COMMISSION ON Sept. 9, 2004 THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THE DATE OF THIS APPROVAL.

Sept. 9, 2004
DATE

[Signature]
DIRECTOR OF COMMUNITY DEVELOPMENT

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS FILED FOR TRANSFER ON September 10th, 2004.

FEE: \$ 1.00

Ben E. Diepenbrock
ALLEN COUNTY AUDITOR

200417981

COUNTY RECORDER

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON Sept 10, 2004 AND THAT IT WAS RECORDED ON Sept 10, 2004 IN VOLUME 26, PAGE 42, PLAT RECORDS OF ALLEN COUNTY, OHIO.

FEE: \$ 99.80

Edward P. Kuk
ALLEN COUNTY RECORDER

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY SUPERVISION IN APRIL, 2004 AND THAT ALL MARKERS ARE CORRECTLY SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE WITHIN SIX (6) MONTHS FROM THE DATE OF RECORDING.

9/8/04
DATE

[Signature]
JEFFREY A. VAN ATTA, P.E., P.S.
OHIO REGISTERED SURVEYOR #7354



G:\P\MVLIMA\REPLAT-LOT-137-138-139-ORCHARD-HILL.DWG, SEPT 08, 2004 - 14:46:22

NEW LIMA HOMES-SECTION THREE
BEING A REPLAT OF LOTS 137, 138 AND 139 OF THE ORCHARD HILL
SUBDIVISION AS RECORDED IN PB 5, PG 50

LOCATED IN NW 1/4 SECTION 7, TOWN 4, RANGE 7
PERRY TOWNSHIP, CITY OF LIMA
ALLEN COUNTY, OHIO
CONTAINING: 0.5194 ACRES
DATE: 09/08/04
PREPARED BY:



Engineering & Surveying

245 W. Elmwood Drive Suite 202
Centerville, Ohio 45469
Phone: (937) 438-5850
Fax: (937) 438-5845

SURVEY SYMBOLS LEGEND:

- ⊕ EX CROSS NOTCH FOUND
- EX 5/8" IRON PIN FOUND
- ⊙ EX 1" IRON PIPE FOUND
- EX CONCRETE MONUMENT FOUND
- × EX PK NAIL FOUND
- △ EX RAILROAD SPIKE FOUND
- IRON PIN TO BE SET (5/8" DIA, 30" LONG)
- CONCRETE MONUMENT TO BE SET
- × PK NAIL TO BE SET
- ⊕ CROSS NOTCH TO BE SET

DEVELOPER:

MVC LAND DEVELOPMENT, LLC
4334 GLENDALE-MILFORD ROAD
CINCINNATI, OHIO 45242
(513)588-1000 PHONE
(513)588-1226 FAX

ZONING: "CLASS II-RESIDENTIAL FOUR FAMILY"

DESCRIPTION:

LOT 137, 138 & 139
LOCATED IN THE NORTHWEST ONE-QUARTER SECTION 7, TOWN 4, RANGE 7, PERRY TOWNSHIP, CITY OF LIMA, COUNTY OF ALLEN, STATE OF OHIO AND BEING ALL OF LOTS 137, 138 & 139 OF THE ORCHARD HILL SUBDIVISION AS RECORDED IN PLAT BOOK 5, PAGE 50 OF THE PLAT RECORDS OF SAID COUNTY AND AS CONVEYED TO NEW LIMA HOMES, AN OHIO LIMITED LIABILITY COMPANY AS RECORDED IN DEED VOLUME 919, PAGE 248 & 250 OF THE DEED RECORDS OF SAID COUNTY AND PART OF THAT 20 FOOT VACATED ALLEY BY CITY ORDINANCE NUMBER 2-82 AS RECORDED IN PLAT BOOK 5, PAGE 50 OF THE PLAT RECORDS OF SAID COUNTY AND BEING DESCRIBED MORE PARTICULARLY AS FOLLOWS:

BEGINNING AT A 5/8" IRON PIN SET CAPPED VAN ATTA #7354 AT THE SOUTHWEST CORNER OF SAID LOT 137, SAID POINT ALSO LYING ON THE NORTH RIGHT-OF-WAY LINE OF NINTH STREET AND BEING THE SOUTHEAST CORNER OF LOT 119 OF THE NORVAL HEIGHTS NUMBER 2 SUBDIVISIONS AS RECORDED IN PLAT BOOK 4, PAGE 131 OF THE PLAT RECORDS OF SAID COUNTY;

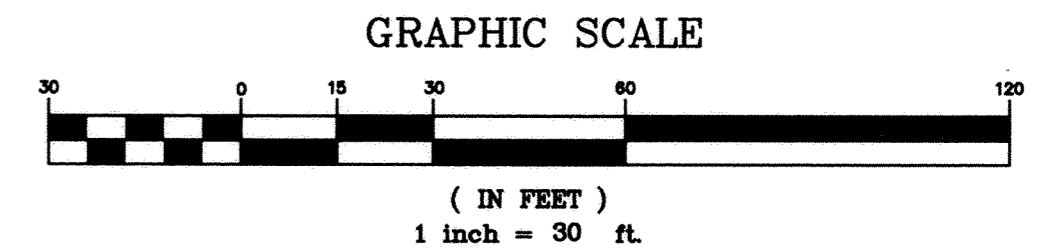
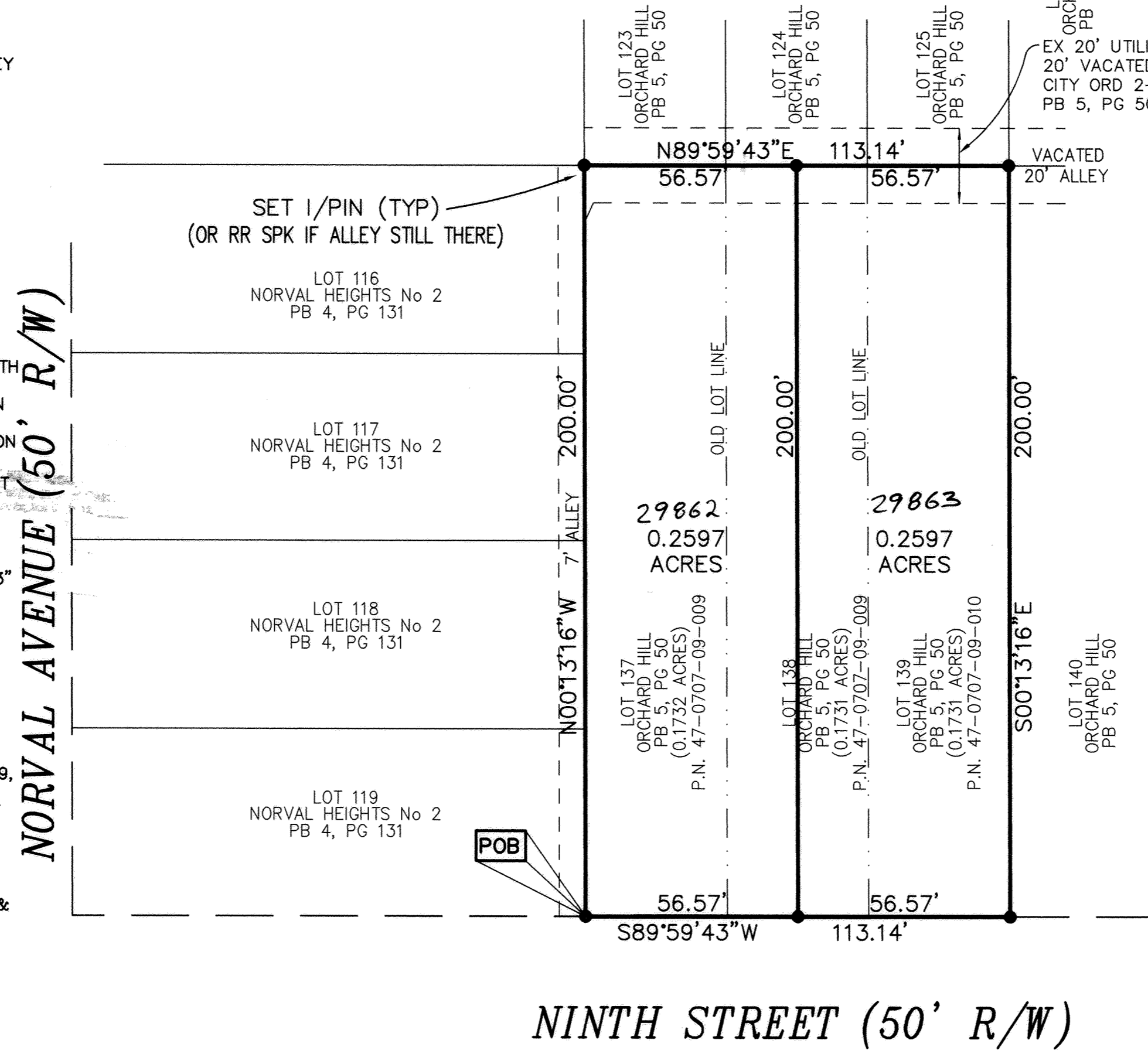
THENCE LEAVING THE NORTH RIGHT-OF-WAY LINE OF NINTH STREET, WITH THE WEST LINE OF SAID LOT 137 AND THE EAST LINE OF SAID LOT 119 AND ITS EXTENSION BEING THE EAST LINE OF LOT 118, 117 & 116 OF SAID NORVAL HEIGHTS NUMBER 2 SUBDIVISION NORTH 00°13'16" WEST, 200.00 FEET TO 5/8" IRON PIN SET CAPPED VAN ATTA #7354 AT THE NORTHEAST CORNER OF SAID LOT 116 AND A POINT IN THE CENTERLINE OF SAID 20 FOOT VACATED ALLEY;

THENCE WITH THE CENTERLINE OF SAID VACATED ALLEY NORTH 89°59'43" EAST, 113.14 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354;

THENCE LEAVING THE CENTERLINE OF SAID VACATED ALLEY AND ON AN EXTENSION OF THE EAST LINE OF SAID LOT 139, SAID LINE ALSO BEING THE WEST LINE OF LOT 140 OF SAID ORCHARD HILL SUBDIVISION SOUTH 00°13'16" EAST, 200.00 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354 AT THE SOUTHEAST CORNER OF SAID LOT 139, THE SOUTHWEST CORNER OF SAID LOT 140 AND A POINT ON THE NORTH RIGHT-OF-WAY LINE OF NINTH STREET;

THENCE WITH THE NORTH RIGHT-OF-WAY LINE OF NINTH STREET, THE SOUTH LINE OF SAID LOT 139 AND ITS EXTENSION BEING THE SOUTH LINE OF SAID LOT 138 & 137 SOUTH 89°59'43" WEST, 113.14 FEET TO THE POINT OF BEGINNING CONTAINING 0.5194 ACRES, MORE OR LESS, SUBJECT HOWEVER TO ALL LEGAL HIGHWAYS, EASEMENTS AND RESTRICTIONS OF RECORD.

NOTE: THIS IS A RESULT OF A FIELD SURVEY.
NOTE: BASIS OF BEARINGS IS ASSUMED NORTH.
NOTE: LINES OF OCCUPATION AGREE IN GENERAL WITH THE BOUNDARY AS SHOWN.
NOTE: PRIOR DEED REFERENCES VOLUME 919, PAGE 248 & VOLUME 919, PAGE 250.



REVIEWED BY:
MICHAEL L. HOWERT, P.S.
ALLEN COUNTY ENGINEERS
DATE: 9/10/04

NEW LIMA HOMES-SECTION SIX
BEING A REPLAT OF LOTS 50 AND 51 OF THE
ORCHARD HILL SUBDIVISION AS RECORDED IN PB 5, PG 50

LOCATED IN NW 1/4 SECTION 7, TOWN 4, RANGE 7
PERRY TOWNSHIP, CITY OF LIMA

ALLEN COUNTY, OHIO

CONTAINING: 0.2204 ACRES

DATE: 09/08/04

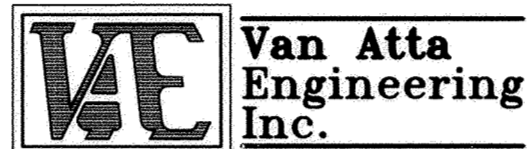
PREPARED BY;

OWNERS' DEDICATION AND ACKNOWLEDGMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT.

OWNER:

NEW LIMA HOMES, AN OHIO
LIMITED LIABILITY COMPANY



Engineering & Surveying

245 W. Elmwood Drive Suite 202
Centerville, Ohio 45459
Phone: (937) 438-5650
Fax: (937) 438-5645

Romy S. Nish
WITNESS

BY: HHWP COMMUNITY ACTION COMMISSION

ITS: MANAGING MEMBER

Dennis La Rocco
BY: DENNIS LA ROCCO

ITS: EXECUTIVE DIRECTOR

NOTARY PUBLIC

STATE OF OHIO

COUNTY

BE IT REMEMBERED THAT ON THIS 10th DAY OF Sept., 2004, PERSONALLY CAME THE SAID NEW LIMA HOMES, AN OHIO LIMITED LIABILITY COMPANY BY: HHWP COMMUNITY ACTION, IT'S:

MANAGING MEMBER, BY: DENNIS LA ROCCO, IT'S: EXECUTIVE DIRECTOR TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE HIS VOLUNTARY ACT AND DEED.

Billie Niese
NOTARY PUBLIC IN AND FOR

MY COMMISSION EXPIRES: _____

Billie Niese
Notary Public, State of Ohio
Commission Expires Sept. 13, 2005

APPROVAL BY THE CITY OF LIMA PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE PLANNING COMMISSION ON

Sept. 9, 2004 THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THE DATE OF THIS APPROVAL.

Sept. 9, 2004
DATE

J. Egan
DIRECTOR OF COMMUNITY DEVELOPMENT

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS FILED FOR TRANSFER ON September 10th, 2004.

FEE: \$ 1.00

Ben E. Diepenbrock
ALLEN COUNTY AUDITOR SS

2004/7982

COUNTY RECORDER

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON Sept 10, 2004 AND THAT IT WAS RECORDED ON Sept 10, 2004 IN VOLUME 26, PAGE 44, PLAT RECORDS OF ALLEN COUNTY, OHIO.

FEE: \$ 82.00

Edward P. Kur
ALLEN COUNTY RECORDER ap

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY SUPERVISION IN APRIL, 2004 AND THAT ALL MARKERS ARE CORRECTLY SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE WITHIN SIX (6) MONTHS FROM THE DATE OF RECORDING.

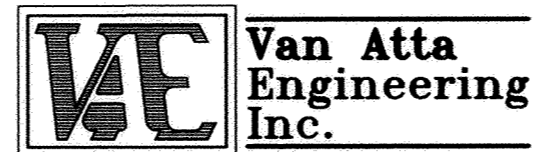
9/8/04
DATE

Jeffrey A. Van Atta
JEFFERY A. VAN ATTA, P.E., P.S.
OHIO REGISTERED SURVEYOR #7354



NEW LIMA HOMES-SECTION SIX BEING A REPLAT OF LOTS 50 AND 51 OF THE ORCHARD HILL SUBDIVISION AS RECORDED IN PB 5, PG 50

LOCATED IN NW 1/4 SECTION 7, TOWN 4, RANGE 7
PERRY TOWNSHIP, CITY OF LIMA
ALLEN COUNTY, OHIO
CONTAINING: 0.2204 ACRES
DATE: 09/08/04
PREPARED BY;



Engineering & Surveying

245 W. Elmwood Drive Suite 202
Centerville, Ohio 45459
Phone: (937) 438-5650
Fax: (937) 438-5645

SURVEY SYMBOLS LEGEND:

- ⊕ EX CROSS NOTCH FOUND
- EX 5/8" IRON PIN FOUND
- EX 1" IRON PIPE FOUND
- EX CONCRETE MONUMENT FOUND
- × EX PK NAIL FOUND
- ◁ EX RAILROAD SPIKE FOUND
- IRON PIN TO BE SET
(5/8" DIA, 30" LONG)
- CONCRETE MONUMENT TO BE SET
- × PK NAIL TO BE SET
- ⊕ CROSS NOTCH TO BE SET

DEVELOPER:

MVC LAND DEVELOPMENT, LLC
4334 GLENDALE-MILFORD ROAD
CINCINNATI, OHIO 45242
(513)588-1000 PHONE
(513)588-1226 FAX

ZONING: "CLASS II-RESIDENTIAL FOUR FAMILY"

DESCRIPTION:

NEW LIMA HOMES - SECTION SIX
0.2204 ACRES

LOCATED IN THE NORTHWEST ONE-QUARTER SECTION 7, TOWN 4, RANGE 7, PERRY TOWNSHIP, CITY OF LIMA, COUNTY OF ALLEN, STATE OF OHIO AND BEING ALL OF LOTS 50 & 51 OF THE ORCHARD HILL SUBDIVISION AS RECORDED IN PLAT BOOK 5, PAGE 50 OF THE PLAT RECORDS OF SAID COUNTY AND BEING DESCRIBED MORE PARTICULARLY AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 50, SAID POINT ALSO LYING ON THE EAST RIGHT-OF-WAY LINE OF SOUTH MAIN STREET;

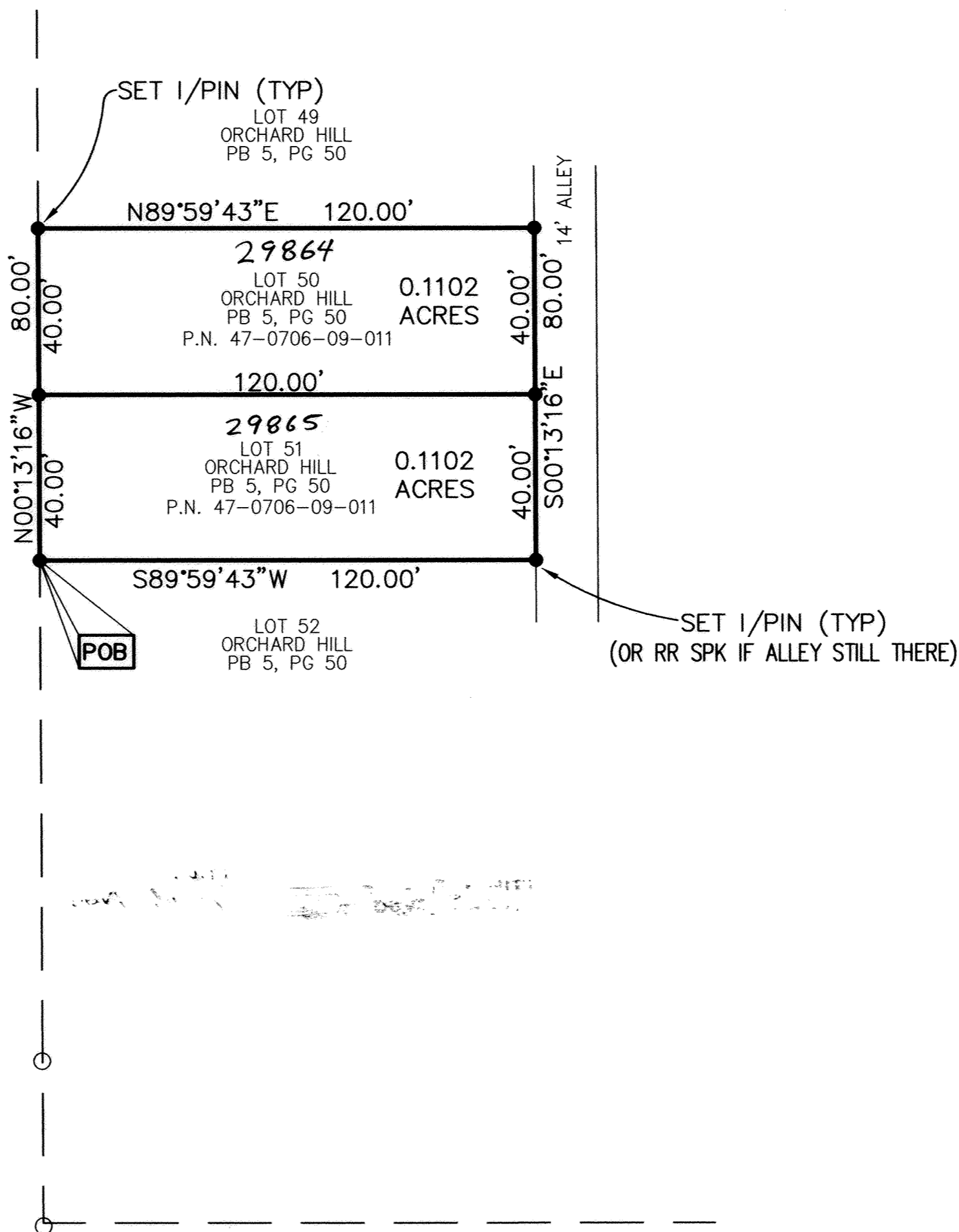
THENCE WITH THE NORTH LINE OF SAID LOT 50 NORTH 89°59'43" EAST, 120.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 50 AND A POINT ON THE WEST LINE OF A 14 FOOT ALLEY;

THENCE WITH THE EAST LINE OF SAID LOT 50 AND ITS EXTENSION BEING THE EAST LINE OF SAID LOT 51 AND WITH THE WEST LINE OF SAID 14 FOOT ALLEY SOUTH 00°13'16" EAST, 80.00 FEET TO THE SOUTHEAST CORNER OF SAID LOT 51;

THENCE WITH THE SOUTH LINE OF SAID LOT 51 SOUTH 89°59'43" WEST, 120.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 51 AND A POINT ON THE EAST RIGHT-OF-WAY LINE OF SOUTH MAIN STREET;

THENCE WITH THE WEST LINE OF SAID LOT 51 AND ITS EXTENSION BEING THE WEST LINE OF SAID LOT 50 AND WITH THE EAST RIGHT-OF-WAY LINE OF SOUTH MAIN STREET NORTH 00°13'16" WEST, 80.00 FEET TO THE POINT OF BEGINNING CONTAINING 0.2204 ACRES, MORE OR LESS, SUBJECT HOWEVER TO ALL LEGAL HIGHWAYS, EASEMENTS AND RESTRICTIONS OF RECORD.

SOUTH MAIN STREET (50' R/W)



SIXTH STREET (50' R/W)

REVIEWED BY:
M. How
MICHAEL L. HOWERT, P.S.
ALLEN COUNTY ENGINEERS
DATE: 9/10/04



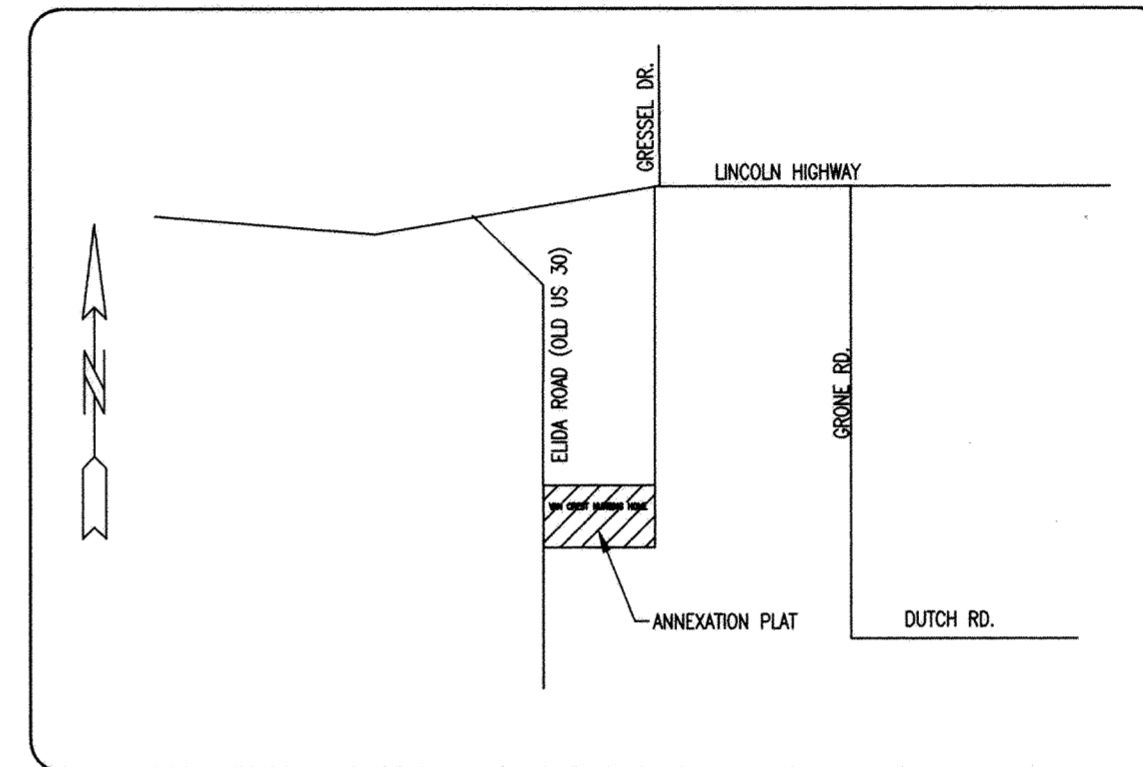
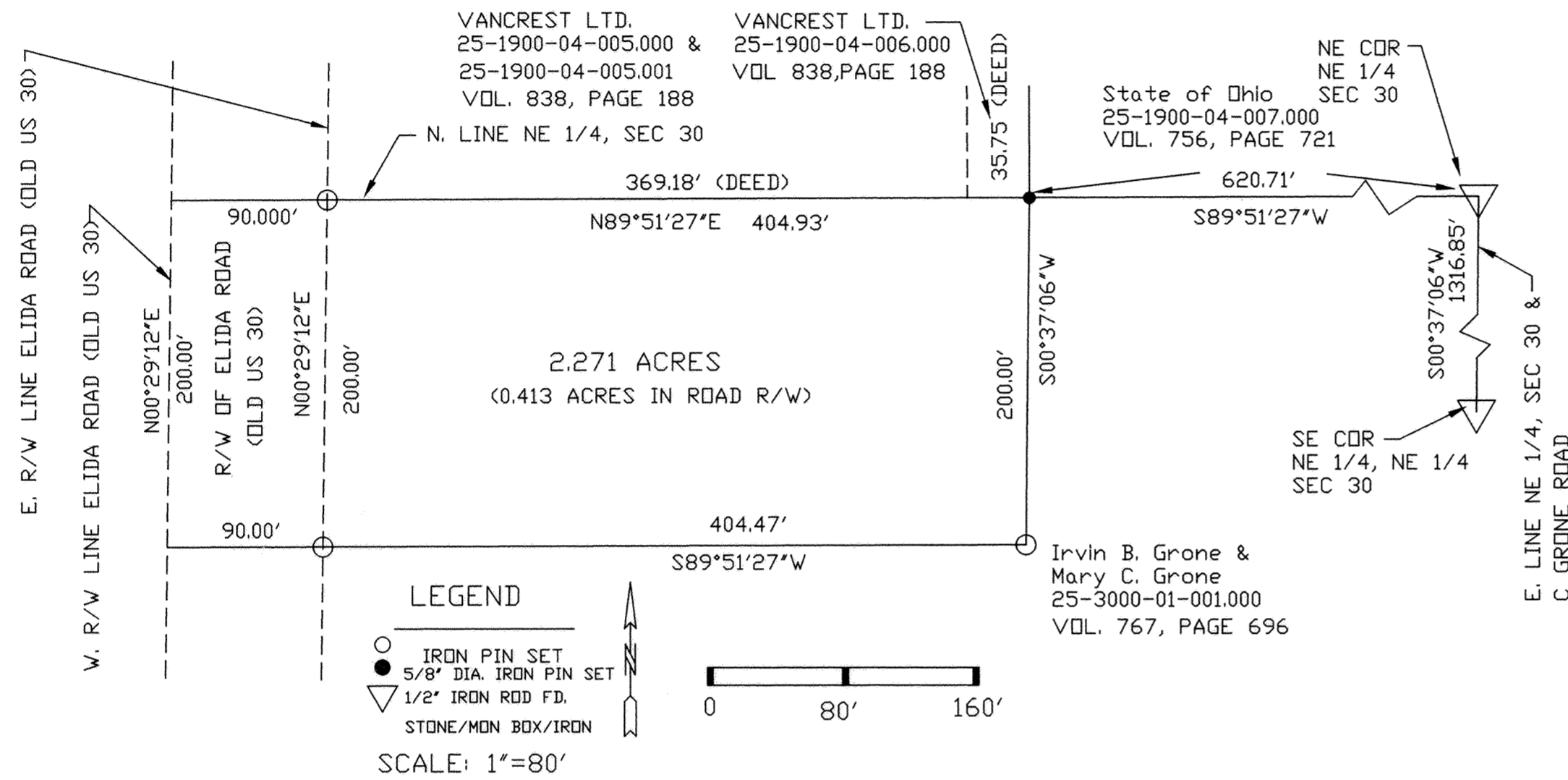
GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

G:\P\M\L\REPLAT-50-51-ORCHARD.DWG, SEPT 08, 2004 - 15:00:24

VAN CREST ANNEXATION PLAT
 PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER
 OF SECTION 30, T-2-S, R-5-E, MARION TOWNSHIP
 ALLEN COUNTY, OHIO



LOCATION MAP

DESCRIPTION

Being part of the Northeast Quarter of the Northeast Quarter of Section 30, T-2-S, R-5-E, Marion Township, Allen County, Ohio.

Commencing at a monument box at the Northeast corner of the Northeast Quarter of Section 30, T-2-S, R-5-E, Marion Township, Allen County, Ohio; Thence S89°51'27"W, along the North line of said Quarter, Six hundred twenty and 71/100 (620.71) feet to a found 5/8" diameter iron rod for the Place of Beginning; Thence S 00°37'06"W, Two hundred and 00/100 (200.00) feet to a set 5/8" diameter iron rod; Thence S 89°51'27"W, Four hundred four and 47/100 (404.47) feet to set 5/8" diameter iron rod on the East right of way line of Elida Road (Old US 30); Thence continuing S89°51'27"W, Ninety and 00/100 (90.00) feet to a point on the West right of way of Elida Road; Thence N 00°29'12"E, along said West right of Way, Two hundred and 00/100 (200.00) feet to a point on the North line of said Quarter; Thence N 89°51'27"E, along said North line, Ninety and 00/100 (90.00) feet to a set 5/8" diameter road on the East right of way of Elida continuing N 89°51'27"E, along said North line, Four hundred four Thence continuing N 89°51'27"E, along said North line, Four hundred four and 93/100 (404.93) to the Place of Beginning.

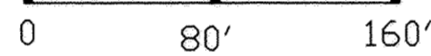
The above described parcel contains 2.271 acres more or less which includes 0.413 acres within the right of way of Elida Road, all to be annexed into the City of Delphos, Allen County, Ohio.

1. S00°37'06"W BEARING OF GRONE ROAD AND EAST LINE OF NE 1/4 ARE ASSUMED.
2. THIS SURVEY IS SUBJECT TO ALL LEGAL HIGHWAYS AND ALL EASEMENTS OF RECORD AT THE TIME OF RECORDING.

LEGEND

- IRON PIN SET
- 5/8" DIA. IRON PIN SET
- ▽ 1/2" IRON ROD FD.
- STONE/MON BOX/IRON

SCALE: 1"=80'



1. S00°37'06"W BEARING OF GRONE ROAD AND EAST LINE OF NE 1/4 ARE ASSUMED.
2. THIS SURVEY IS SUBJECT TO ALL LEGAL HIGHWAYS AND ALL EASEMENTS OF RECORD AT THE TIME OF RECORDING.

ALLEN COUNTY AUDITOR'S CERTIFICATE

I, The Allen County Auditor, do hereby approve this plat and accept said described property for annexation to the City of Delphos, Ohio

Sept 15, 2004 *Ben F. O'Connell* Auditor of Allen County, Ohio

200418305

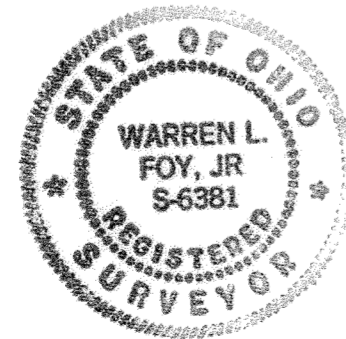
ALLEN COUNTY RECORDER'S CERTIFICATE

I, The Allen County Recorder, do hereby certify that this plat was filed for record on the 15th day of Sept, 2004, at 2:38 o'clock P.M. and was recorded in Allen County Plat Book 26 on Page 46, FEE: \$ 41.40

Sept 15, 2004 *Edward P. Kirk* Recorder of Allen County, Ohio
 Annexation Deed Volume 93L, Page 259 MH

I CERTIFY THIS PLAT AND DESCRIPTION TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND IS BASED UPON A FIELD SURVEY.

Warren L. Foy
 WARREN L. FOY
 REGISTERED SURVEYOR S-6381
 120 SIBLEY STREET, VAN WERT, OH 45891
 APRIL 30, 2004



REVIEWED BY: *WL*
M. Howbert
 MICHAEL L. HOWBERT P.S.
 ALLEN COUNTY ENGINEER'S
 DATE 9-15-04

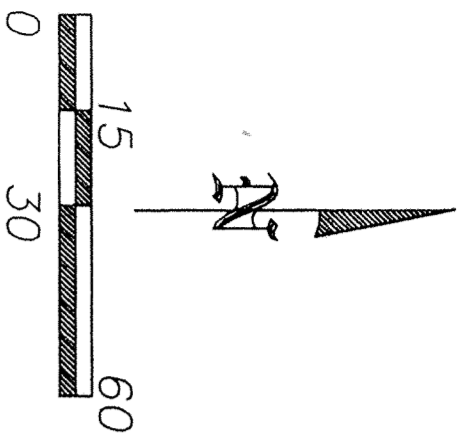
RECEIVED

MAY 25 2004

ALLEN COUNTY COMMISSIONERS
LIMA, OHIO

Street Vacation

0.173 acres of Old South Dixie Highway



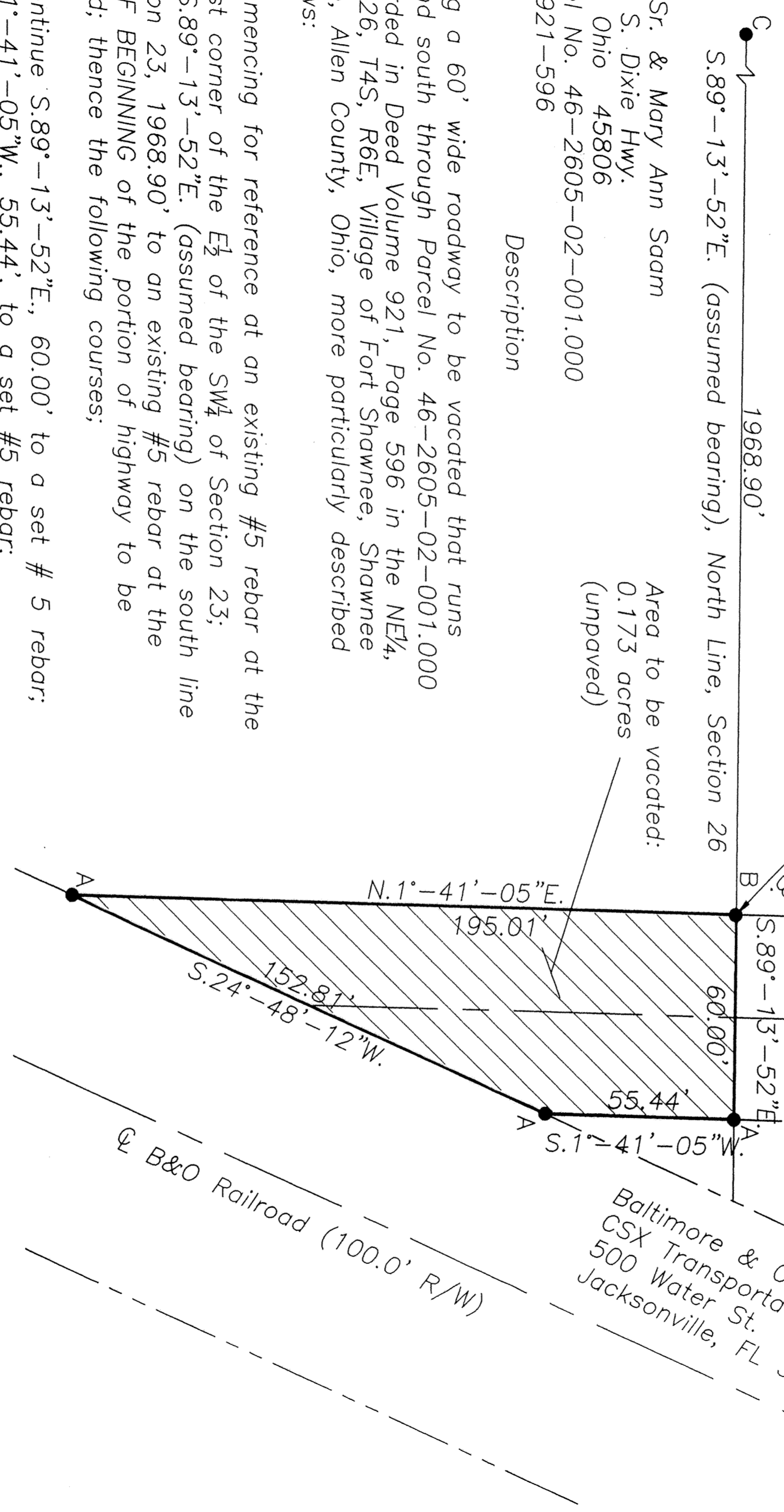
Scale 1"=30'

LEGEND

- A - Set #5 rebar
- B - Existing #5 rebar
- C - Existing #5 rebar at the northwest corner of the E1/2 of the NW1/4, of Section 26

Midwest Ohio Auto Parts Inc.
4891 S. Dixie Hwy.
Lima, Ohio 45806
Pt. Parcel 46-2312-04-001.000
D.V. 896-548

Alex Sr. & Mary Ann Saam
4761 S. Dixie Hwy.
Lima, Ohio 45806
Parcel No. 46-2605-02-001.000
D.V. 921-596



Being a 60' wide roadway to be vacated that runs north and south through Parcel No. 46-2605-02-001.000 as recorded in Deed Volume 921, Page 596 in the NE1/4, Section 26, T4S, R6E, Village of Fort Shawnee, Shawnee Township, Allen County, Ohio, more particularly described as follows:

Commencing for reference at an existing #5 rebar at the southwest corner of the E₂ of the SW₄ of Section 23; thence S.89°-13'-52"E. (assumed bearing) on the south line of Section 23, 1968.90' to an existing #5 rebar at the POINT OF BEGINNING of the portion of highway to be described; thence the following courses;

1. Continue S.89°-13'-52"E., 60.00' to a set # 5 rebar;
2. S.1°-41'-05"W., 55.44', to a set #5 rebar;
3. S.24°-48'-12"W., 152.81' to a set #5 rebar;
4. N.1°-41'-05"E., 195.01' to the POINT OF BEGINNING.

The above described highway contains 0.173 acres, more or less, subject to all legal highways and easements of record at the time of survey.

A bearing of S.89°-13'-52"E. was assumed for the north line of the NE₄ of Section 26.

This plat and survey is based on an actual field survey performed on 2-18-04, by Bacon & Associates L.L.C., under the direction of Clayton T. Bacon, P.S. #6179.

REVIEWED BY: *M. Handford*
MICHAEL L. HONNERT, P.S.
ALLEN COUNTY ENGINEERS
DATE: 5-14-04



260418493 See Book Vol 931
Field Record at 10:08 am P 399
Sept 17, 2004
Vol 26 P 47
Clayton T. Bacon
Allen County Recorder
Date: 9-17-04

Allen County Auditor: *Rob Stoeber* 9-17-04
Date:

Clayton T. Bacon
Allen County Recorder
Date: 5-14-04

This description and plat is based on an actual field survey performed on 2-18-04, by Bacon & Associates under the direction of Clayton T. Bacon, P.S. #6179

Revisions	N	D
	0	
	1	
	0	

Drawn By: BTB Date: 3-31-04

Alex Saam Sr.
NE1/4, Section 26, T4S, R6E
Village of Fort Shawnee, Shawnee Township, Allen County, Ohio

Prepared By: **Bacon & Associates, L.L.C.**
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

EASTGATE PARK No. 5

N.E. 1/4, SEC. 5, T-4-S, R-7-E, PERRY TOWNSHIP, ALLEN COUNTY, OHIO

Hinge Nail of Record at
Northeast Corner, Northeast Quarter,
Section 5, T4S-R7E, Perry Twp.,
Allen County, Ohio

Section 32, Both Twp.
Section 5, Perry Twp.
Section 33, Both Twp.
Section 4, Perry Twp.

- LEGEND**
- 3/4-inch diameter by 30-inch long Iron Pipe (set 1999-2001) capped with orange plastic "K&K/LIMA" plug
 - Iron Pipe (found) [all previously set by K&K]
 - Monument Box (found)
 - Monument Box (set)
- Record Dimensions are shown thusly:
(200.00')

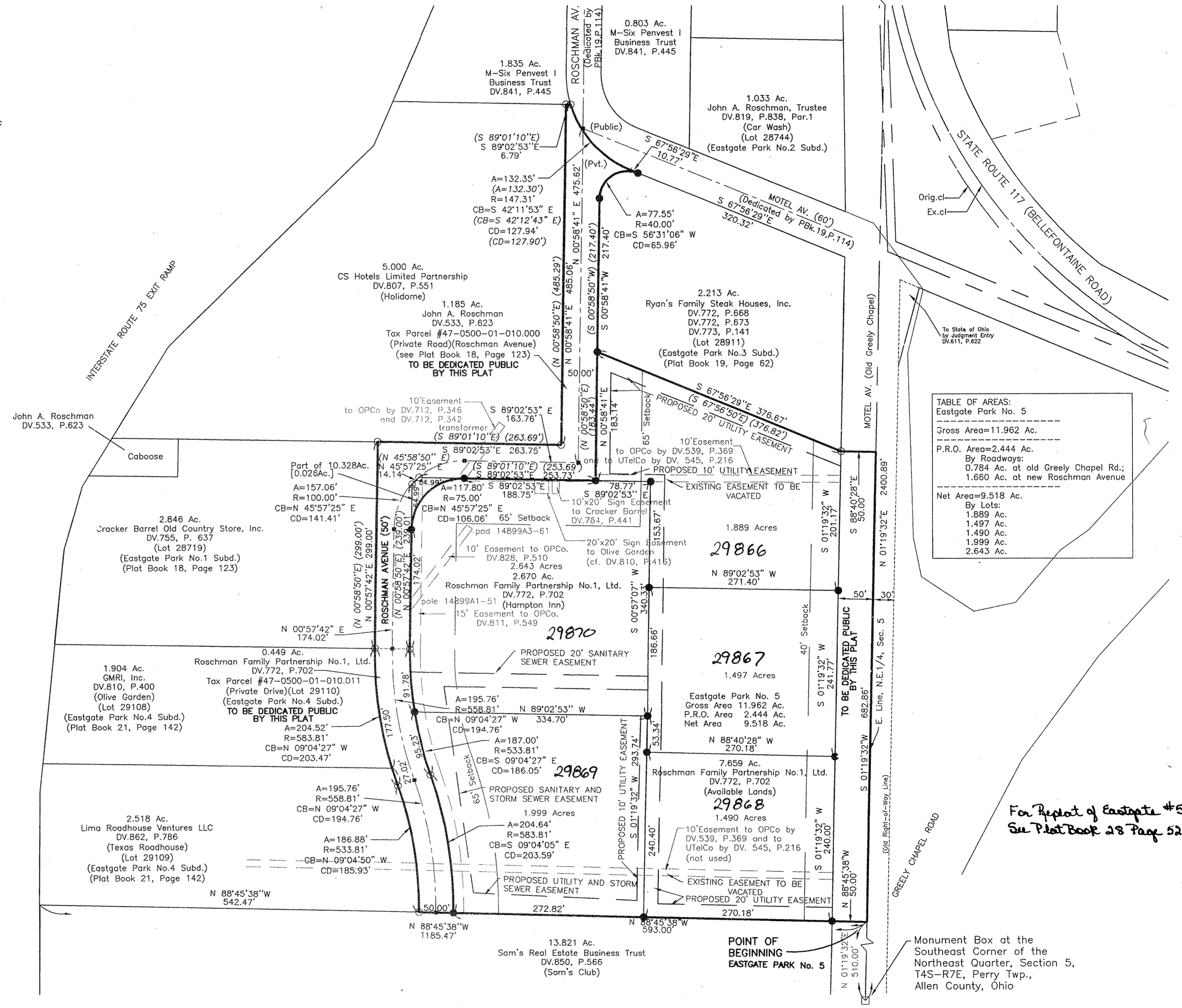
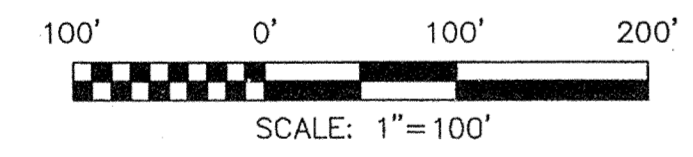


TABLE OF AREAS: Eastgate Park No. 5	
Gross Area	=11.962 Ac.
P.R.O. Area	=2.444 Ac.
By Roadways:	
0.784 Ac.	at old Greely Chapel Rd.;
1.660 Ac.	at new Roschman Avenue
Net Area	=9.518 Ac.
By Lots:	
1.889 Ac.	
1.497 Ac.	
1.490 Ac.	
1.999 Ac.	
2.643 Ac.	

For Replat of Eastgate #5
See Plat Book 28 Page 52

POINT OF
BEGINNING
EASTGATE PARK No. 5

Monument Box at the
Southeast Corner of the
Northeast Quarter, Section 5,
T4S-R7E, Perry Twp.,
Allen County, Ohio

EASTGATE PARK No. 5

N.E. 1/4, SEC. 5, T-4-S, R-7-E,
PERRY TOWNSHIP, ALLEN COUNTY, OHIO

LEGAL DESCRIPTION

Part of the northeast quarter of Section 5, Township-4-South, Range-7-East, Perry Township, Allen County, Ohio, and being part of lands now in the name of Roschman Family Partnership No.1, Ltd. (Deed Volume 772, Page 702, designated by the Allen County Tax Map Office as Tax Parcel No. 47-0500-01-012.000), plus part of a private drive known as Roschman Avenue (Plat Book 18, Page 123, designated as Tax Parcel No. 47-0500-01-010.000), plus another part of that same private drive that is known as Lot 29110 of Eastgate Park No. 4 Subdivision (Plat Book 21, Page 142, designated as Tax Parcel No. 47-0500-01-010.011), altogether described by metes and bounds as follows:

Commencing at a monument box at the southeast corner of the northeast quarter of said Section 5;

thence northerly with the east line of said northeast quarter (legal centerline of Greely Chapel Road) at N 01°19'32"E, 510.00 feet to the northeast corner of a 13.821-acre parcel granted to Sam's Real Estate Business Trust (Deed Volume 850, Page 566), which point is also the POINT OF BEGINNING;

thence westerly with the north line of said 13.821-acre parcel at N 88°45'38"W, 593.00 feet to an iron pipe (reset) at the southeast corner of said Lot 29110 of Eastgate Park No. 4 Subdivision [at 50.00 feet, this course passes through an iron pipe (reset) in the west right-of-way line of Greely Chapel Road];

thence continuing westerly with the previous course, being also the south end line of Roschman Avenue, at N 88°45'38"W, 50.00 feet to an iron pipe (found) in the west line of said Roschman Avenue at the southeast corner of Lot 29109 of said Eastgate Park No. 4 Subdivision;

thence northerly with said west line of Roschman Avenue (also the west line of said Lot 29110) on a curve concave westerly (not tangent to previous course) an arc distance of 186.88 feet thru a radius of 533.81 feet (chord bears N 09°04'50"W, 185.93 feet) to an iron pipe (found) at a point of reverse curvature;

thence northerly with said west line of Roschman Avenue (also the west line of said Lot 29110) on a curve concave easterly an arc distance of 204.52 feet thru a radius of 583.81 feet (chord bears N 09°04'27"W, 203.47 feet) to an iron pipe (found) at a point of tangency at the southeast corner of the parcel granted to Cracker Barrel Old Country Store, Inc. (Deed Volume 755, Page 637), which lands are now also known as Lot 28719 of Eastgate Park No. 1 Subdivision (Plat Book 18, Page 123);

thence generally northerly with the right-of-way line of another portion of the private roadway known as Roschman Avenue (now see Plat Book 18, Page 123) on three courses as follows:

- (one) northerly with the east line of said Cracker Barrel lands at N 00°57'42"E, 299.00 feet [N 00°58'50"E, 299.00 feet by previous plat] to an iron pipe (found) at the northeast corner of said lands;
- (two) easterly with the south line of lands granted to CS Hotels Limited Partnership (Deed Volume 807, Page 551) at S 89°02'53"E, 263.75 feet [S 89°01'10"E, 263.69 feet by previous plat] to an iron pipe (found) at the southeast corner of said lands; and
- (three) northerly with the east line of said CS Hotel lands at N 00°58'41"E, 485.06 feet [N 00°58'50"E, 485.29 feet by previous plat] to an iron pipe (found) at the northeast corner of said lands, which point is also in the south line of lands granted to M-Six Penvest I Business Trust (Deed Volume 841, Page 445);

thence easterly with the south line of said lands granted to M-Six at S 89°02'53"E, 6.79 feet [S 89°01'10"E, 6.79 feet by previous plat] to an iron pipe (found) in the dedicated right-of-way line of Roschman Avenue/Motel Avenue (Plat Book 19, Page 114);

thence southeasterly with said right-of-way line, and with a non-tangent curve concave northeasterly, an arc distance of 132.35 feet [132.30 feet by previous plat] thru a radius of 147.31 feet (chord bears S 42°11'53"E, 127.94 feet [S 42°12'43"E, 127.90 feet by previous plat]) to a point of tangency;

thence southeasterly with the dedicated south right-of-way line of Motel Avenue at S 67°56'29"E, 10.77 feet to an iron pipe (reset);

thence westerly, southwesterly, and southerly, reversing course on a tangent curve concave southeasterly, an arc distance of 77.55 feet thru a radius of 40.00 feet (chord bears S 56°31'06"W, 65.96 feet) to an iron pipe (reset) at a point of tangency;

thence southerly with the east right-of-way line of Roschman Avenue at S 00°58'41"W, 217.40 feet [S 00°58'50"W, 217.40 by previous plat] to an iron pipe (reset) at the southwest corner of Lot 28911 of the Eastgate Park No. 3 Subdivision (Plat Book 19, Page 62);

thence southeasterly with the south line of said Lot 28911 at S 67°56'29"E, 376.67 feet [S 67°56'50"E, 376.82 by previous plat] to an iron pipe (found) at the southeast corner of Lot 28911;

thence easterly into the existing right-of-way of Greely Chapel Road at S 88°40'28"E, 50.00 feet to a point in the east line of the northeast quarter of Section 5;

thence southerly with said east line (original legal centerline of Greely Chapel Road) at S 01°19'32"W, 682.86 feet the POINT OF BEGINNING.

These lands contain a gross area of 11.962 acres, of which the present roadways occupy 2.418 acres (1.634 acres being parts of Roschman Avenue, and 0.784 acres being part of the right-of-way of Greely Chapel Road), leaving a net area of 9.544 acres, subject also to any other easements of record at the time of the recording of this instrument.

Of this 11.962 acres, 10.328 acres are the entirety of Tax Parcel No. 47-0500-01-012.000; 1.185 acres are the entirety of Tax Parcel No. 47-0500-01-010.000; and 0.449 acres are the entirety of Tax Parcel No. 47-0500-01-010.011.

Bearings and distances are based on surveying work performed by Kohli & Kaliber Associates, Inc., under my supervision, through July 19, 2004. Iron pipes reset this survey, or found from previous surveys, are 3/4-inch diameter by 30-inch long iron pipes with an orange plastic "K&K/LIMA" plug.

Michael G. Buettner
Michael G. Buettner
Ohio Registered Surveyor No. 6881



200419407

COUNTY RECORDER

I hereby certify that this plat was filed for recording on Sept 30, 2004 and that it was recorded on Sept 30, 2004 in Vol. 26, Page 48, plat records of Allen County, Ohio. Fee \$ 165.60

Edward P. Riska
Allen County Recorder
MH

OWNER'S DEDICATION AND ACKNOWLEDGMENT

We, the undersigned, being all the owners of the land platted herein, do hereby voluntarily consent to the execution of said plat, and dedicate the streets as shown thereon, comprising of a total of 2.544 acres, to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement or removal of water, storm sewer, open ditch, sanitary sewer, gas, electric telephone or other utility lines or services and for the express privilege of removing any trees or other obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

[Signature]
Witness as to Robert J. Roschman

[Signature]
Witness as to Robert J. Roschman

[Signature]
Witness as to John A. Roschman

[Signature]
Witness as to John A. Roschman

(Tax Parcels 47-0500-01-012.000 and 47-0500-01-010.001)
ROSCHMANN FAMILY PARTNERSHIP NO. 1, LTD., a Florida Limited Partnership,
by ROSCHMAN INVESTMENT CORP., a Florida For Profit Corporation
Grantor's Managing General Partner,

[Signature]
Robert J. Roschman, President

JOHN A. ROSCHMAN (Tax Parcel #47-0500-01-010.000)

[Signature]
John A. Roschman

State of Florida, S.S., Broward County

Be it remembered that on this 13 day of September, 2004 Personally came the said owners listed above, to me known, and acknowledged the signing and execution of the foregoing statement to be their voluntary act and deed.

[Signature]
Notary Public in and for Broward County, Florida



APPROVAL BY THE PLANNING COMMISSION

I hereby certify that this plat was approved by the Planning Commission on 14 AUGUST 2004

This approval becomes void unless the plat is filed for recording within ninety (90) days of this approval.

Certified [Signature]

THOMAS M. MAZUR
Director, Lima-Allen County Regional Planning Commission

ALLEN COUNTY COMBINED HEALTH DISTRICT

I hereby certify that this plat meets the requirements of the Allen County Combined Health District.

[Signature]
Director, Allen County Combined Health District

COUNTY ENGINEER'S CERTIFICATION

Having checked the construction of the streets in the subdivision, I find that they have been constructed in accordance with the specifications set forth on the plans and regulations thereof, and that they are in good repair and this endorsement shall constitute acceptance of the streets for public use.

If the streets have not been installed, I am in agreement with the performance bond to insure the completion of construction which has been filed with and approved by the Planning Commission.

[Signature]
Allen County Engineer

APPROVAL OF COUNTY COMMISSIONERS

In accordance with Ohio Revised Code, Section 711.041, the Board of Allen County Commissioners hereby accepts this plat by Commissioner's Resolution Number 666-04 dated 9/21/04, said plat having been approved by the Allen County Engineer and the Lima-Allen County Regional Planning Commission.

[Signature]
President of the Board of Allen County Commissioners

COUNTY AUDITOR

I hereby certify that the land described by this plat was transferred on Sept 30, 2004

[Signature]
Allen County Auditor
Fee 2.50

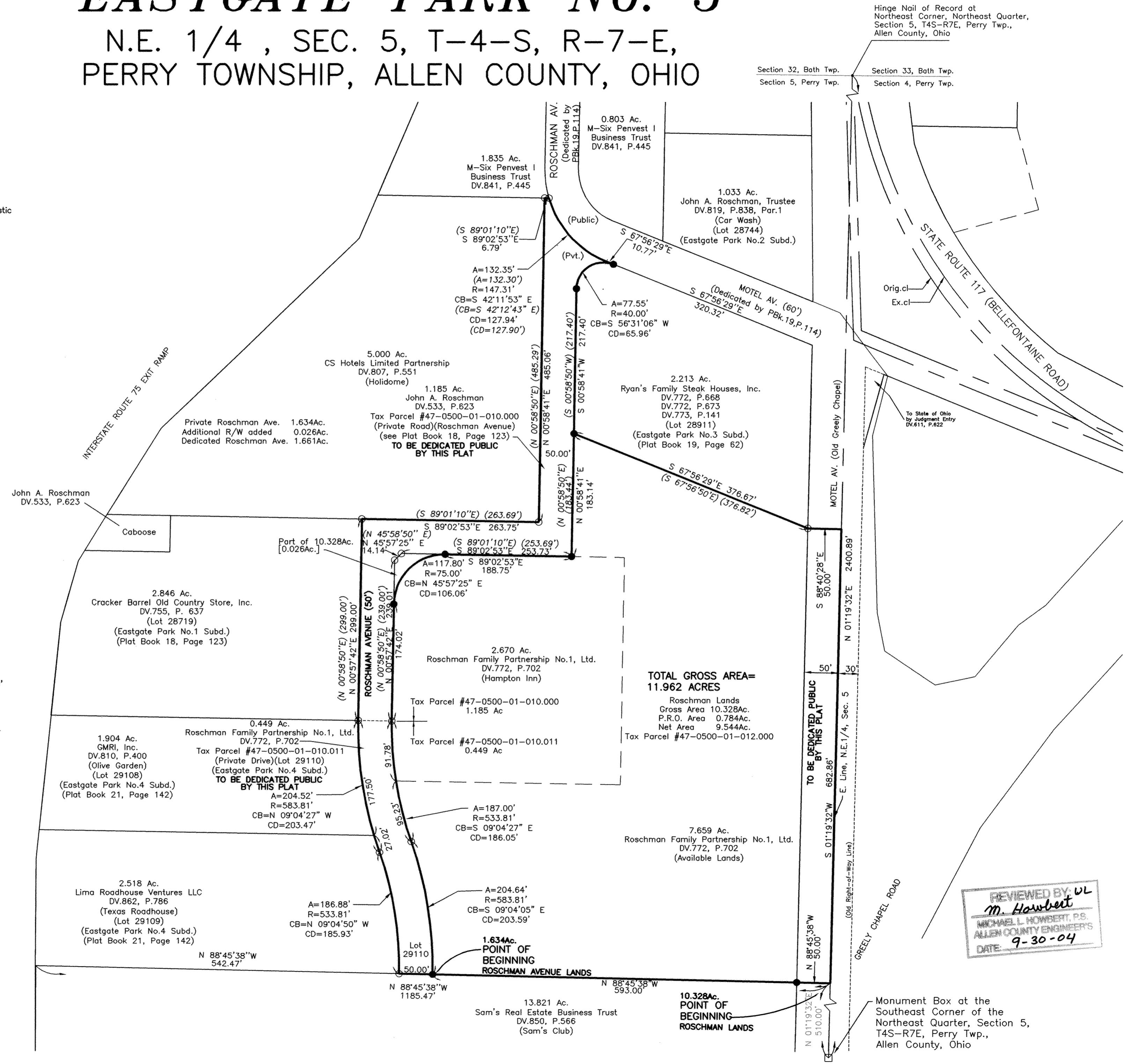
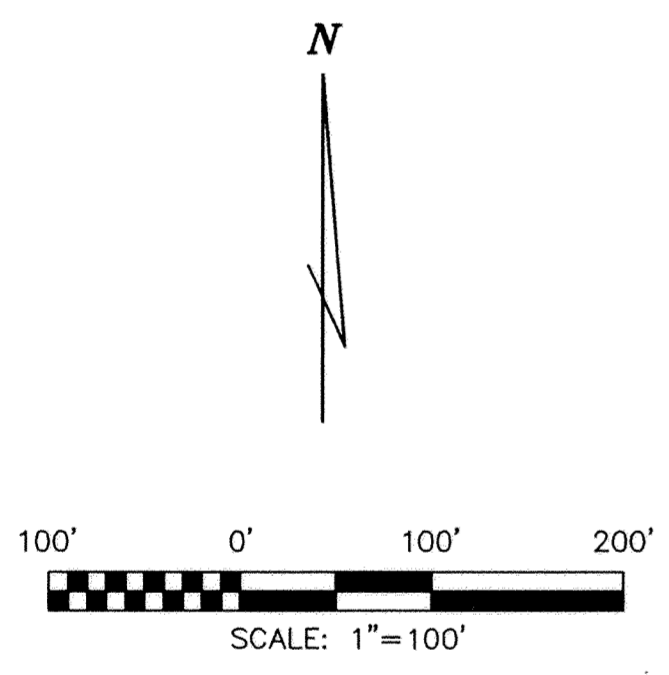
SURVEY OF DEDICATORS' LANDS for

EASTGATE PARK No. 5

N.E. 1/4 , SEC. 5, T-4-S, R-7-E, PERRY TOWNSHIP, ALLEN COUNTY, OHIO

- LEGEND**
- 3/4-inch diameter by 30-inch long Iron Pipe (set 1999-2001) capped with orange plastic "K&K/LIMA" plug
 - Iron Pipe (found) [all previously set by K&K]
 - Monument Box (found)

Record Dimensions are shown thusly:
(200.00')



TOTAL GROSS AREA= 11.962 ACRES

Roschman Lands
Gross Area 10.328Ac.
P.R.O. Area 0.784Ac.
Net Area 9.544Ac.

Tax Parcel #47-0500-01-012.000

REVIEWED BY: *W.L. Howbert*
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 9-30-04

Hinge Nail of Record at
Northeast Corner, Northeast Quarter,
Section 5, T4S-R7E, Perry Twp.,
Allen County, Ohio

Monument Box at the
Southeast Corner of the
Northeast Quarter, Section 5,
T4S-R7E, Perry Twp.,
Allen County, Ohio

SURVEY OF DEDICATORS' LANDS for
EASTGATE PARK No. 5
 N.E. 1/4 , SEC. 5, T-4-S, R-7-E,
 PERRY TOWNSHIP, ALLEN COUNTY, OHIO

LEGAL DESCRIPTION - ROSCHMAN AVENUE LANDS

A strip of land, generally fifty (50) feet in width, through part of the northeast quarter of Section 5, Township-4-South, Range-7-East, Perry Township, Allen County, Ohio, described by metes and bounds as follows:

Commencing at a monument box at the southeast corner of the northeast quarter of said Section 5;

thence northerly with the east line of said northeast quarter (legal centerline of Greely Chapel Road) at N 01°19'32"E, 510.00 feet to the northeast corner of a 13.821-acre parcel granted to Sam's Real Estate Business Trust (Deed Volume 850, Page 566);

thence westerly with the north line of said 13.821-acre parcel at N 88°45'38"W, 593.00 feet to an iron pipe (reset) at the southeast corner of Lot 29110 of Eastgate Park No. 4 Subdivision (Plat Book 21, Page 142) [said lot contains the southernmost portion of the private roadway platted as Roschman Avenue], and is also the POINT OF BEGINNING;

thence continuing westerly with the previous course, being also the south end line of Roschman Avenue, at N 88°45'38"W, 50.00 feet to an iron pipe (found) in the west line of said Roschman Avenue at the southeast corner of Lot 29109 of said Eastgate Park No. 4 Subdivision;

thence northerly with said west line of Roschman Avenue (also the west line of said Lot 29110) on a curve concave westerly (not tangent to previous course) an arc distance of 186.88 feet thru a radius of 533.81 feet (chord bears N 09°04'50"W, 185.93 feet) to an iron pipe (found) at a point of reverse curvature;

thence northerly with said west line of Roschman Avenue (also the west line of said Lot 29110) on a curve concave easterly an arc distance of 204.52 feet thru a radius of 583.81 feet (chord bears N 09°04'27"W, 203.47 feet) to an iron pipe (found) at a point of tangency at the southeast corner of the parcel granted to Cracker Barrel Old Country Store, Inc. (Deed Volume 755, Page 637), which lands are now also known as Lot 28719 of Eastgate Park No. 1 Subdivision (Plat Book 18, Page 123);

thence generally northerly with the right-of-way line of another portion of the private roadway known as Roschman Avenue (now see Plat Book 18, Page 123) on three courses as follows:

- (one) northerly with the east line of said Cracker Barrel lands at N 00°57'42"E, 299.00 feet [N 00°58'50"E, 299.00 feet by previous plat] to an iron pipe (found) at the northeast corner of said lands;
- (two) easterly with the south line of lands granted to CS Hotels Limited Partnership (Deed Volume 807, Page 551) at S 89°02'53"E, 263.75 feet [S 89°01'10"E, 263.69 feet by previous plat] to an iron pipe (found) at the southeast corner of said lands; and
- (three) northerly with the east line of said CS Hotel lands at N 00°58'41"E, 485.06 feet [N 00°58'50"E, 485.29 feet by previous plat] to an iron pipe (found) at the northeast corner of said lands, which point is also in the south line of lands granted to M-Six Penvest I Business Trust (Deed Volume 841, Page 445);

thence easterly with the south line of said lands granted to M-Six at S 89°02'53"E, 6.79 feet [S 89°01'10"E, 6.79 feet by previous plat] to an iron pipe (found) in the dedicated right-of-way line of Roschman Avenue/Motel Avenue (Plat Book 19, Page 114);

thence southeasterly with said right-of-way line, and with a non-tangent curve concave northeasterly, an arc distance of 132.35 feet [132.30 feet by previous plat] thru a radius of 147.31 feet (chord bears S 42°11'53"E, 127.94 feet [S 42°12'43"E, 127.90 feet by previous plat]) to a point of tangency;

thence southeasterly with the dedicated south right-of-way line of Motel Avenue at S 67°56'29"E, 10.77 feet to an iron pipe (reset);

thence westerly, southwesterly, and southerly, reversing course on a tangent curve concave southeasterly, an arc distance of 77.55 feet thru a radius of 40.00 feet (chord bears S 56°31'11"W, 65.96 feet) to an iron pipe (reset) at a point of tangency;

thence generally southerly with the right-of-way line of that portion of Roschman Avenue platted at Plat Book 18, Page 123) on five courses as follows:

- (one) S 00°58'41"W, 217.40 feet to an iron pipe (reset) at the southwest corner of Lot 28911 of the Eastgate Park No. Subdivision (Plat Book 19, Page 62) [S 00°58'50"W, 217.40 by previous plat];
- (two) S 00°58'41"W, 183.14 feet to an iron pipe (reset) [S 00°58'50"W, 183.44 by previous plat];
- (three) N 89°02'53"W, 253.73 feet to an iron pipe (found) [N 89°01'10"W, 253.69 feet by previous plat];
- (four) S 45°57'25"W, 14.14 feet to an iron pipe (found) [S 45°58'50"W, 14.14 feet by previous plat]; and
- (five) S 00°57'42"W, 239.01 feet to a point that is 50.00 feet easterly from said southeast corner of Cracker Barrel lands, which point is also the northeast corner of said Lot 29110 [S 00°58'50"W, 239.00 feet by previous plat];

thence continuing southerly now with the east line of said Lot 29110, and with the east line of Roschman Avenue as platted at Plat Book 21, Page 142, on a tangent curve concave easterly, an arc distance of 187.00 feet thru a radius of 533.81 feet (chord bears S 09°04'27"E, 186.05 feet) to an iron pipe (found) at a point of reverse curvature;

thence southerly and continuing with the previous courses an arc distance of 204.64 feet thru a radius of 583.81 feet (chord bears S 09°04'05"E, 203.59 feet) to the POINT OF BEGINNING.

This private driveway area contains 1.634 acres, subject to all other legal easements or restrictions of record. Bearings and distances are based on surveying work performed by Kohli & Kaliher Associates, Inc., under my supervision, through July 19, 2004. Iron pipes reset this survey, or found from previous surveys, are 3/4-inch diameter by 30-inch long iron pipes with an orange plastic "K&K/LIMA" plug.

Michael G. Buettner
 Michael G. Buettner
 Ohio Registered Surveyor No. 6881



LEGAL DESCRIPTION - ROSCHMAN LANDS

Part of the northeast quarter of Section 5, Township-4-South, Range-7-East, Perry Township, Allen County, Ohio, and being part of lands now in the name of Roschman Family Partnership No.1, Ltd. (Deed Volume 772, Page 702, designated by the Allen County Tax Map Office as Parcel No. 47-0500-01-012.000), described by metes and bounds as follows:

Commencing at a monument box at the southeast corner of the northeast quarter of said Section 5;

thence northerly with the east line of said northeast quarter (legal centerline of Greely Chapel Road) at N 01°19'32"E, 510.00 feet to the northeast corner of a 13.821-acre parcel granted to Sam's Real Estate Business Trust (Deed Volume 850, Page 566), and is also the POINT OF BEGINNING;

thence westerly with the north line of said 13.821-acre parcel at N 88°45'38"W, 593.00 feet to an iron pipe (reset) at the southeast corner of Lot 29110 of Eastgate Park No. 4 Subdivision (Plat Book 21, Page 142) [said lot contains the southernmost portion of the private roadway platted as Roschman Avenue] [at 50.00 feet, this course passes thru an iron pipe (reset) in the west right-way-line of Greely Chapel Road];

thence northerly with said east line of Roschman Avenue (also the east line of said Lot 29110) on a curve concave westerly (not tangent to previous course) an arc distance of 204.64 feet thru a radius of 583.81 feet (chord bears N 09°04'05"W, 203.59 feet) to an iron pipe (found) at a point of reverse curvature;

thence northerly with said east line of Roschman Avenue (also the east line of said Lot 29110) on a curve concave easterly an arc distance of 187.00 feet thru a radius of 533.81 feet (chord bears N 09°04'27"W, 186.05 feet) to an iron pipe (found) at a point of tangency, which point is also the northeast corner of said Lot 29110;

thence generally northerly with the right-of-way line of another portion of the private roadway known as Roschman Avenue (now see Plat Book 18, Page 123) on four courses as follows:

- (one) N 00°57'42"E, 239.01 feet to an iron pipe (found) [N 00°58'50"E, 239.00 feet by previous plat];
- (two) N 45°57'25"E, 14.14 feet to an iron pipe (found) [N 45°58'50"E, 14.14 feet by previous plat];
- (three) S 89°02'53"E, 253.73 feet to an iron pipe (reset) [S 89°01'10"E, 253.69 feet by previous plat];
- (four) N 00°58'41"E, 183.14 feet to an iron pipe (reset) at the southwest corner of Lot 28911 of the Eastgate Park No. 3 Subdivision (Plat Book 19, Page 62) [N 00°58'50"E, 183.44 by previous plat];

thence southeasterly with the southern line of said Lot 28911 at S 67°56'29"E, 376.67 feet [S 67°56'50"E, 376.82 by previous plat] to an iron pipe (found) at the southeast corner of Lot 28911;

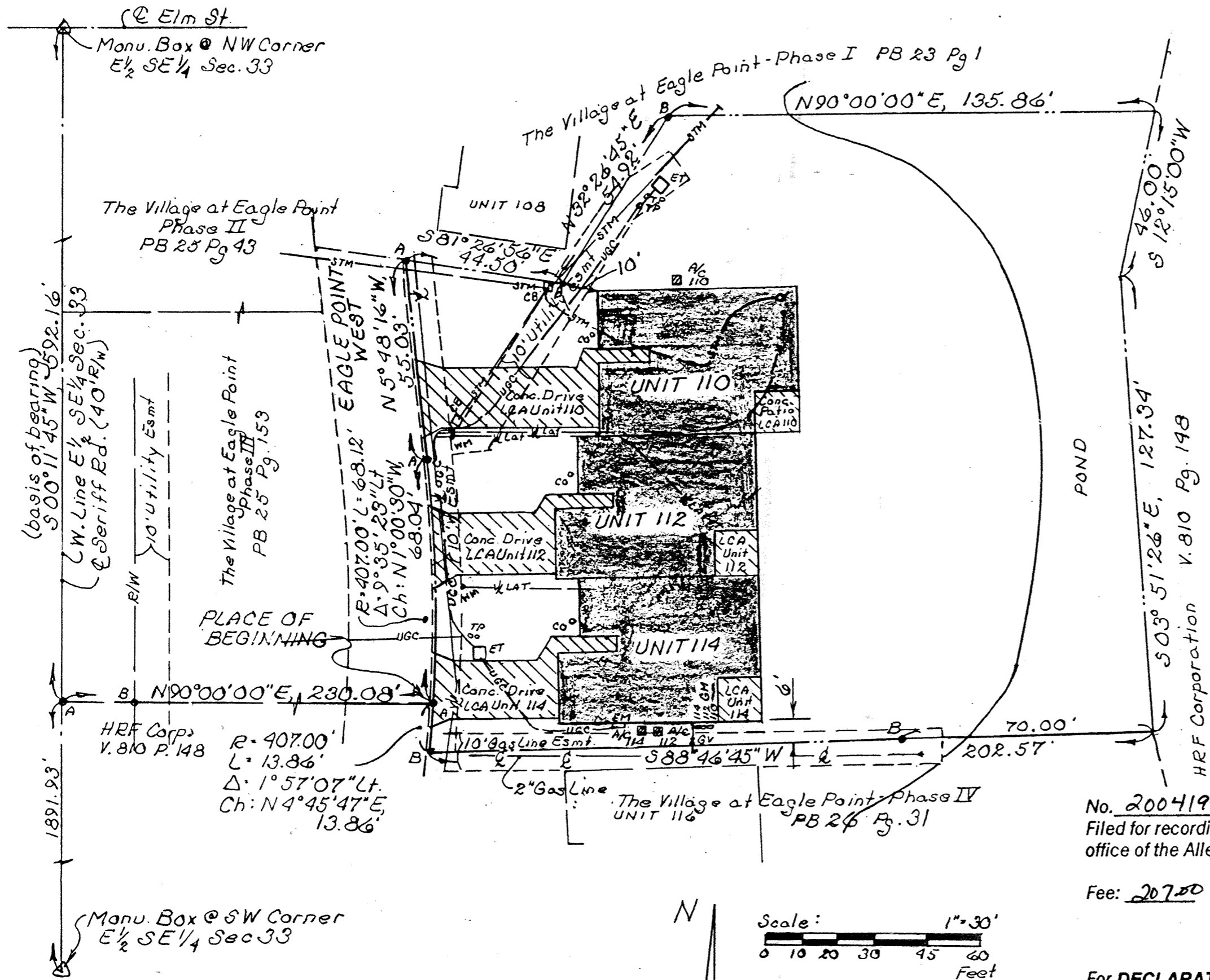
thence easterly at S 88°40'28"E, 50.00 feet to a point in the east line of the northeast quarter of Section 5;

thence southerly with said east line at S 01°19'32"W, 682.86 feet the POINT OF BEGINNING.

These lands contain a gross area of 10.328 acres, of which the present right-of-way of Greely Chapel Road occupy 0.784 acres, leaving a net area of 9.544 acres, subject to all legal easements or other restrictions of record.

Bearings and distances are based on surveying work performed by Kohli & Kaliher Associates, Inc., under my supervision, through July 19, 2004. Iron pipes reset this survey, or found from previous surveys, are 3/4-inch diameter by 30-inch long iron pipes with an orange plastic "K&K/LIMA" plug.

Michael G. Buettner
 Michael G. Buettner
 Ohio Registered Surveyor No. 6881



- LEGEND:**
- denotes Unit Area for Unit shown
 - denotes Limited Common Area (LCA) for Unit shown. A/C - Air Conditioning Outside Unit.
 - denotes Gas Lines
 - denotes Watermain
 - denotes Sanitary Sewer
 - denotes Storm Sewer
 - denotes Underground Cables (electric, telephone & Cablevision)
 - denotes Manhole
 - denotes Catch Basin
 - denotes Yard Drain
 - denotes Telephone Pedestal
 - denotes Electric Transformer
 - denotes Electric Meters
 - denotes easement
 - denotes Gas Meter
 - Unit Utility Service Laterals**
 - denotes Sanitary
 - denotes Water
 - denotes Cleanout
 - denotes Water Meter
 - denotes Downspout

LIMITED COMMONS AREAS

The Concrete porch within the east side of the Condominium building is the size as detailed on the First Floor Plan (sheet 2 of 3). The concrete drives at the west end of the units are 16.6 feet by 41.0 (avg.) feet and the concrete walks including porch area are average 5 feet by 19 feet.

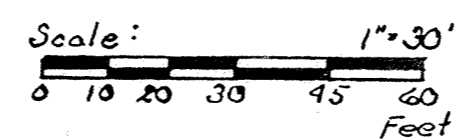
NOTE: Common area shall be all area within the Designated boundary area for Phase V not designated As Unit Area or Limited Common Area.

For Utility Easements Layout see Plat Book 22, Page 86, Allen County, Ohio Recorder's Office.

HRF Corps
V. 810 P. 148
R = 407.00'
L = 13.86'
Δ = 1°57'07" Lt.
Ch: N 4°45'47" E,
13.86'

No. 200419712
Filed for recording this 5th day of October, 2004 at 10:53 o'clock A. M. in the office of the Allen County Recorder and recorded in Plat Book 26 on Page 52.

Fee: 207.50
Edward P. Kuck and
RECORDER, Allen County, Ohio.



- PLAT LEGEND**
- ~ PK nail & shiner (fd.)
 - ~ Capped 5/8" rebar (fd.)

DESCRIPTION
THE VILLAGE AT EAGLES POINT - A CONDOMINIUM COMMUNITY - PHASE V

Being a part of Lot Number Four (4) in the subdivision of John Bowersock Farm, situate in the Southeast quarter of Section 33, T-3-S, R-6-S, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a monument box found at the northwest corner of the east half of said Southeast quarter of said Section 33; thence S 00°11'45" W (basis of bearing - previous survey) with the west line of said east half (also the centerline of Sheriff Road), 592.16 feet to a PK nail found; thence N 90°00'00" E, 230.08 feet to a PK nail and shiner found at the south east corner of The Village at Eagles Point - Phase III and the **PLACE OF BEGINNING** thence northwesterly with the east line of said The Village at Eagles Point - Phase III (also the east edge of pavement of Eagles Point West) with a non-tangent curve to left having a radius of 407.00 feet, a central angle of 9°35'23" an arc length of 68.12 feet (chord being: N 1°00'30"W, 68.04 feet) to a PK nail and shiner found; thence N 5°48'16" W continuing with said east line and east edge of pavement, 55.03 feet to a PK nail and shiner found on the south line of The Village at Eagles Point - Phase I; thence northeasterly the following three courses that define a portion of said south line: S 81°26'56" E, 44.50 feet to a capped 5/8 inch rebar found; N 32°26'45" E, 54.92 feet to a capped 5/8 inch rebar found; N 90°00'00" E, 135.86 feet to a point in an existing pond; thence S 12°15'00" W, 46.00 feet to a point in said pond; thence S 3°51'26" E, 127.34 feet to a point in said pond and being the northeast corner of The Village at Eagles Point - Phase IV; thence S 88°46'45" W with the north line of said The Village at Eagles Point - Phase IV (passing through a capped 5/8 inch rebar found at 70.00 feet), 202.57 feet to a capped 5/8 inch rebar found on the east edge of pavement of Eagles Point West; thence northeasterly with said east edge of pavement with a non-tangent curve to the left having a radius of 407.00 feet, a central angle of 1°57'07" an arc length of 13.86 feet (chord being: N 4°45'47" E, 13.86 feet) to the **PLACE OF BEGINNING** containing 0.740 acre more or less and subject to all legal easements of record.
Deed Reference: Volume 810, Page 148.
Surveyed by: **KUCK and MORRISEY, Inc.**, Richard D. Morrisey, L.S. No. 6470 (Ohio).

For **DECLARATIONS** see Deed Volume 932 Page 229.

This set of drawings attached hereto and entitled:

**THE VILLAGE AT EAGLES POINT
A CONDOMINIUM COMMUNITY
PHASE V**

consist of **FOUR** pages of drawings that shows:

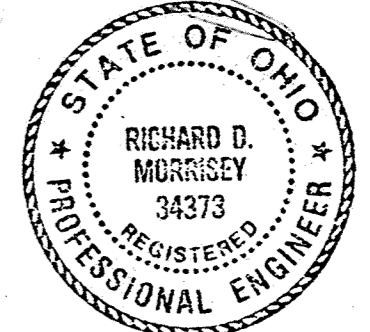
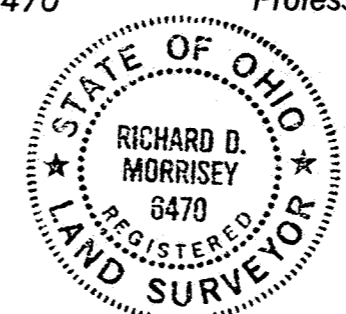
- one page showing the Plot Plan, Legal Description of Parcel and the certifications,
- one page of the floor plan of the units of the building,
- one page of the elevation views of the building,
- one page showing the Survey of Dedicator's Land and the Expansion Area Delineation,

showing insofar as graphically possible (1) the particulars of the building in this condominium, including but not limited to the layout, location designation and dimensions of the unit therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities. The undersigned being respectively a licensed Registered Surveyor and a licensed Professional Engineer hereby certify that said drawings show the building as constructed, as graphically as possible.

KUCK and MORRISEY, Inc.
Consulting Engineers and Surveyors

Richard D. Morrisey, L.S.
Registered Surveyor No. 6470

Richard D. Morrisey, P.E.
Professional Engineer No. 34373

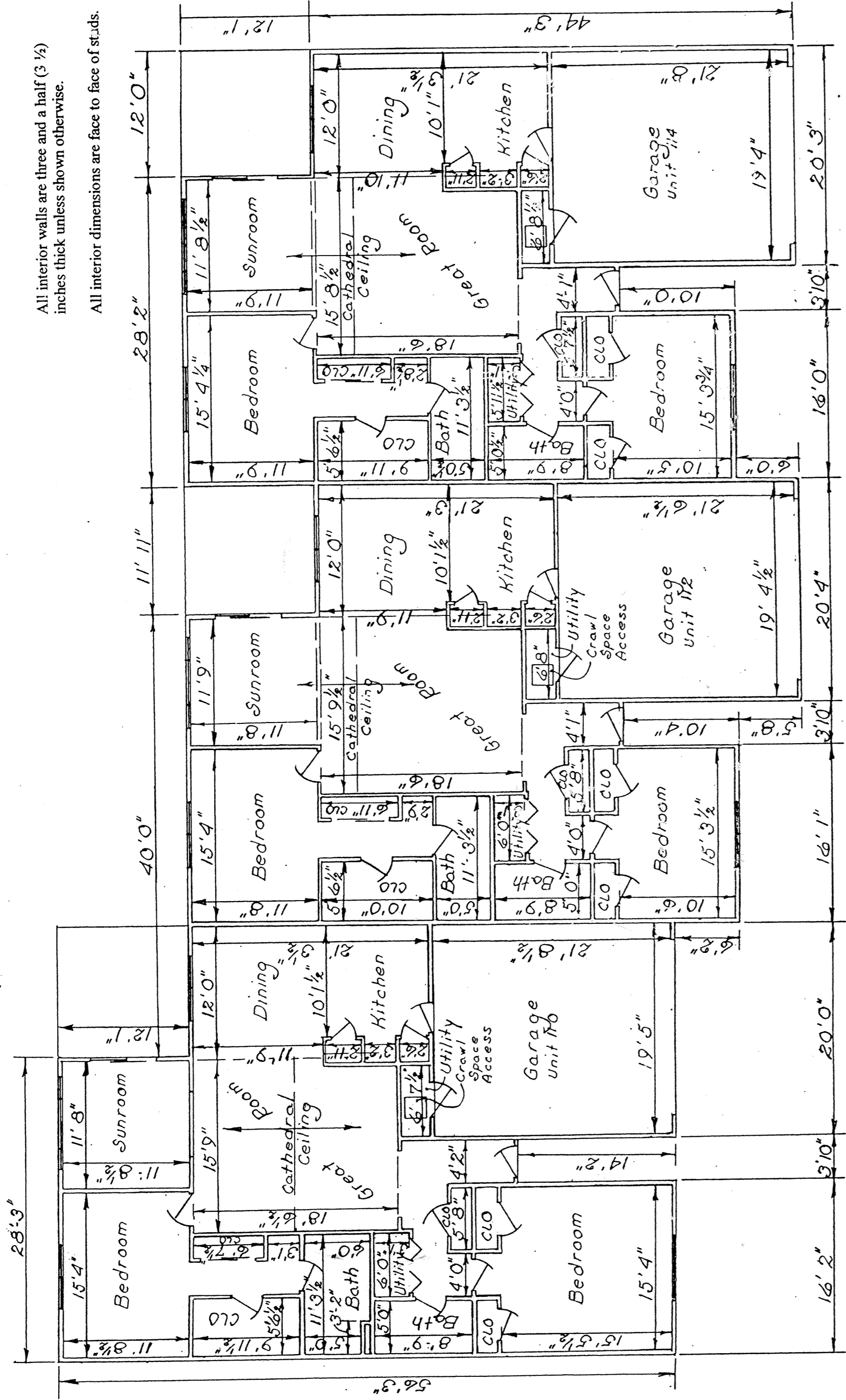


PREPARED BY:
KUCK and MORRISEY, INC.
 CONSULTING ENGINEERS & SURVEYORS - LMA, OHIO
 2807 Chapel Hill Drive, Lima, Ohio
 (419) 228-1723 Phone & Fax

**THE VILLAGE AT EAGLES POINT
A CONDOMINIUM COMMUNITY - PHASE V**
 Part of Lot No. 4, Subdivision of John Bowersock's Farm, S.E. 1/4,
 Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio.

SHEET
1
OF
4

All interior walls are three and a half (3 1/2) inches thick unless shown otherwise.
 All interior dimensions are face to face of studs.



UNIT 114

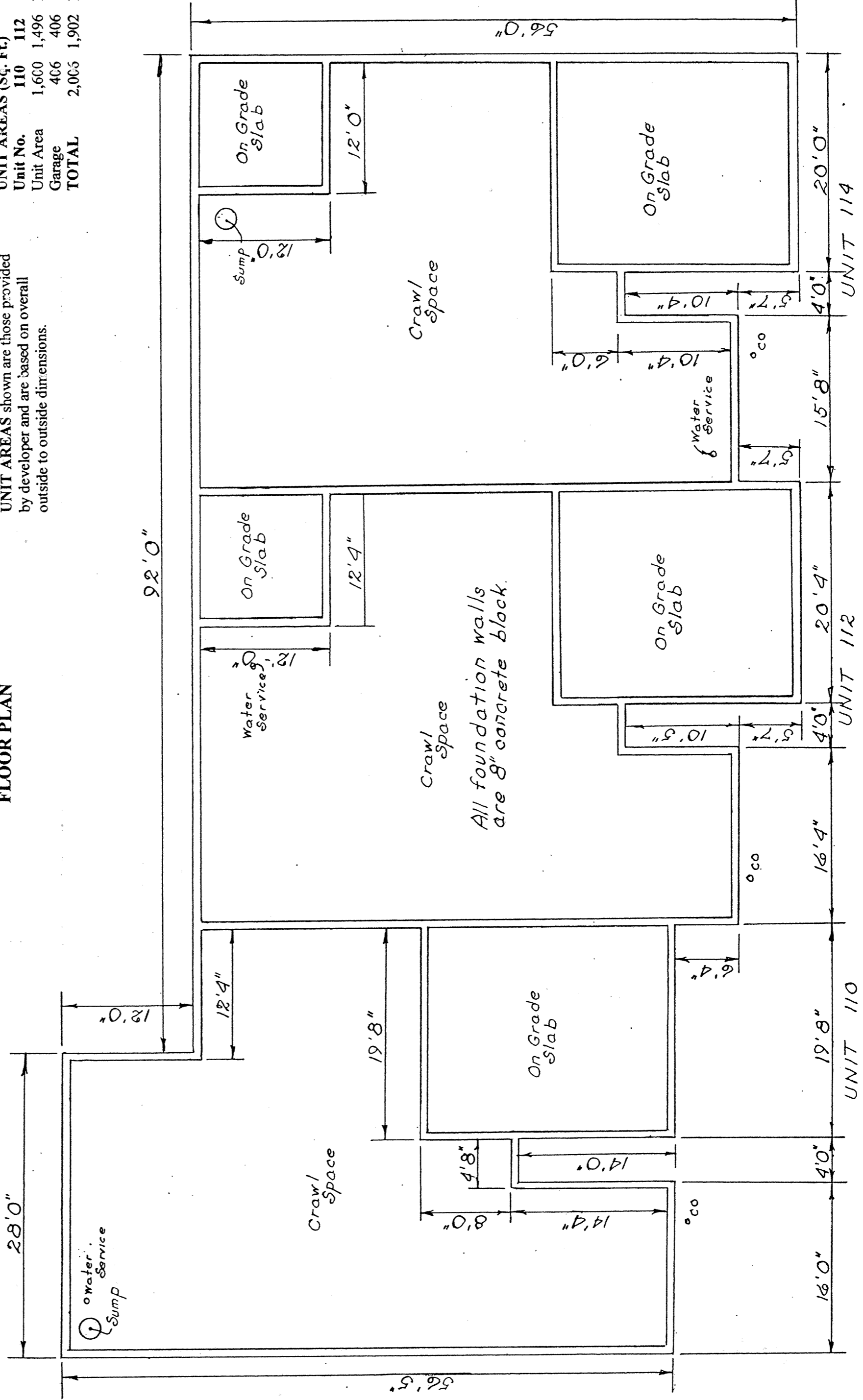
UNIT 112

UNIT 110

FLOOR PLAN

UNIT AREAS shown are those provided by developer and are based on overall outside to outside dimensions.

UNIT AREAS (Sq. Ft.)	110	112	114
Unit No.	1,600	1,496	1,496
Unit Area	406	406	406
Garage	2,065	1,902	1,902
TOTAL			



CRAWLSPACE

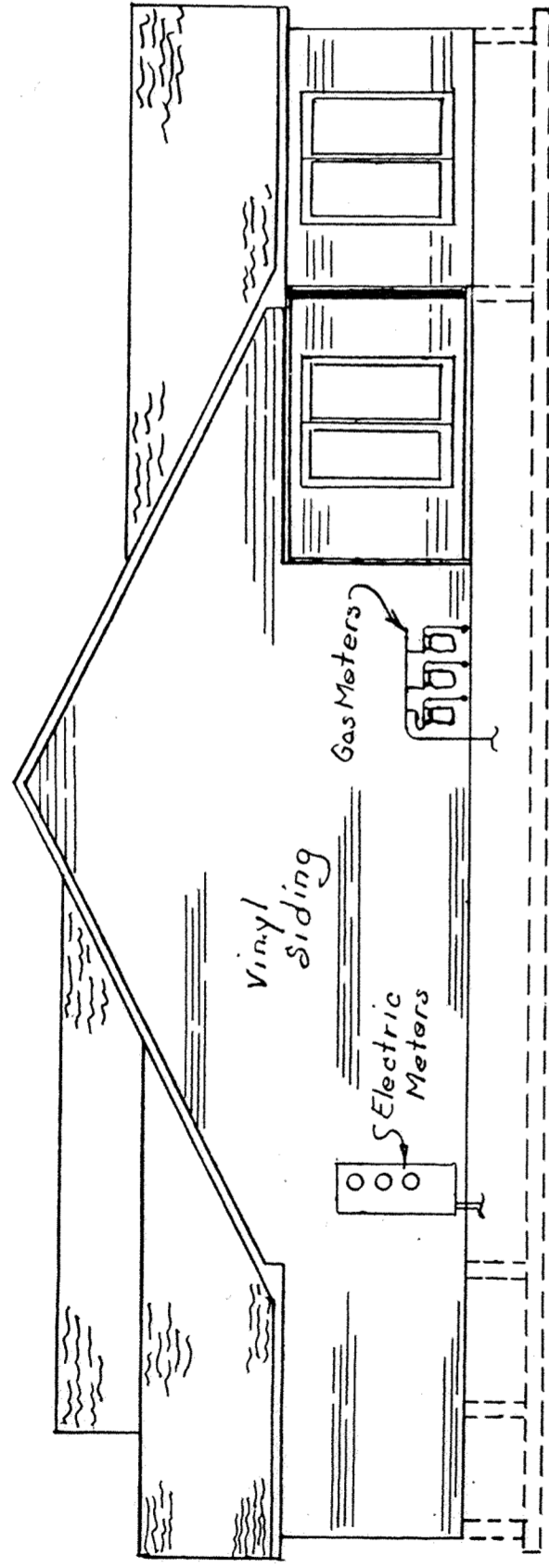
THE VILLAGE AT EAGLES POINT
 A CONDOMINIUM COMMUNITY - PHASE V

Part of Lot No. 4, Subdivision of John Bowersock's Farm, S.E. 1/4, Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio.

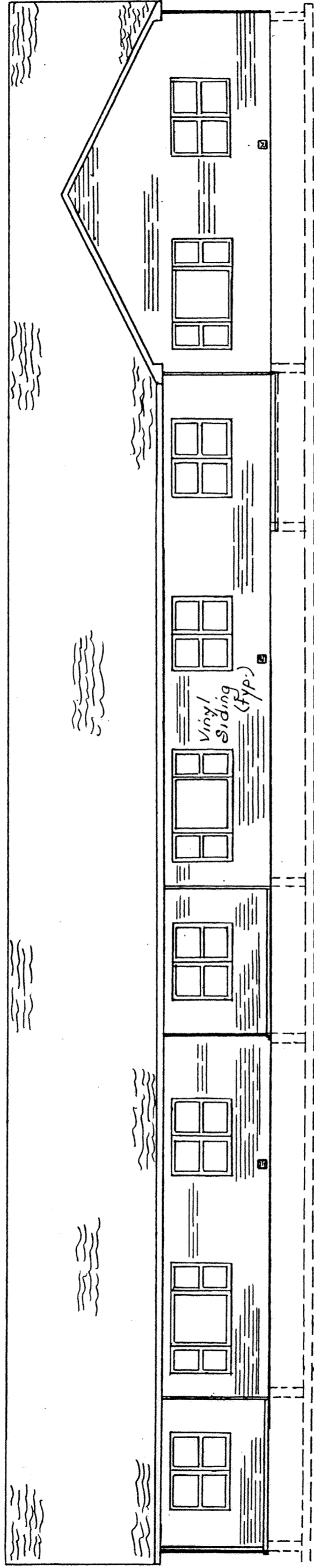
PREPARED BY:

KUCK and MORRISEY, INC.
 CONSULTING ENGINEERS & SURVEYORS - LMA, OHIO
 2807 Chapel Hill Drive, Lima, Ohio
 (419) 228-1735 Phone & Fax

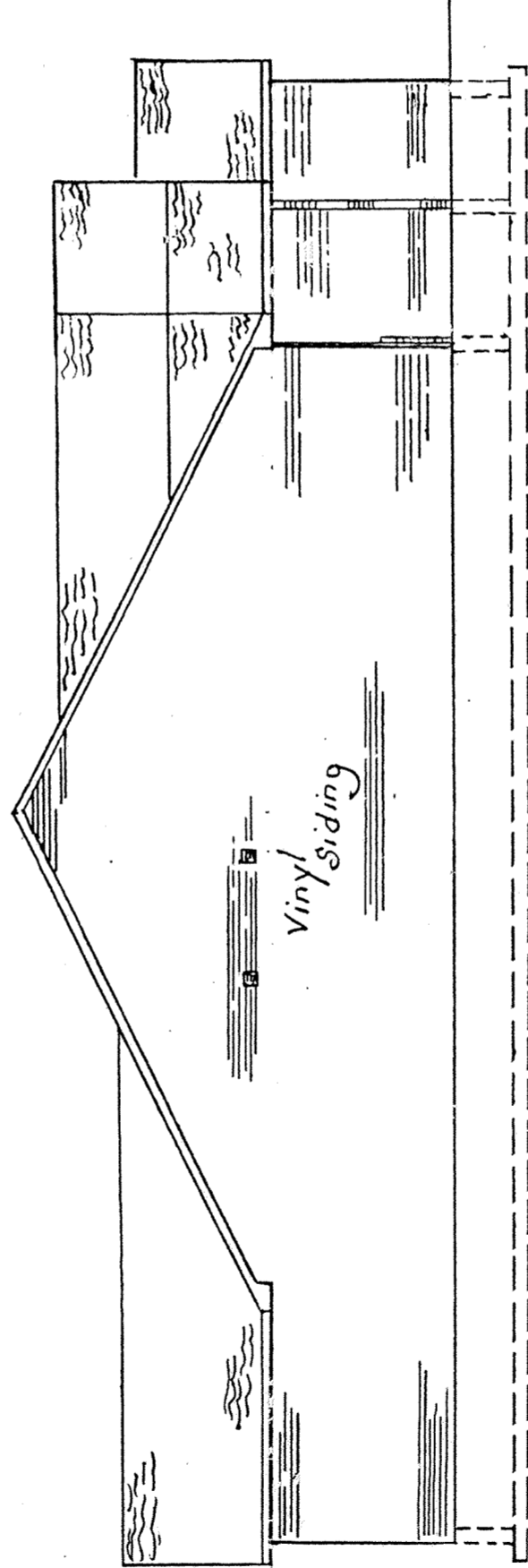
FLOOR PLAN



SOUTH ELEVATION



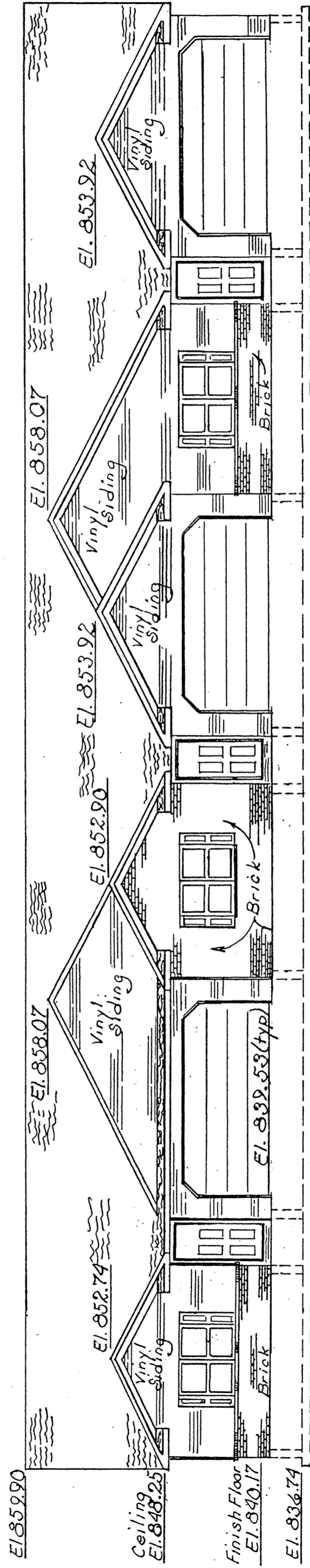
EAST ELEVATION



NORTH ELEVATION

BENCH MARK:
 Top of steamer Nozzle of Fire Hydrant
 No. 737 in the northeast quadrant of the
 intersection of Eagles Point South
 and Eagles Point West.
 Elev. 839.50

Note: Elevations shown in the
 West Elevation are typical
 for all Elevation views.



UNIT 110

UNIT 112

UNIT 114

WEST ELEVATION

**THE VILLAGE AT EAGLES POINT
 A CONDOMINIUM COMMUNITY - PHASE V**

Part of Lot No. 4, Subdivision of John Bowersock's Farm, S.E. 1/4,
 Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio.

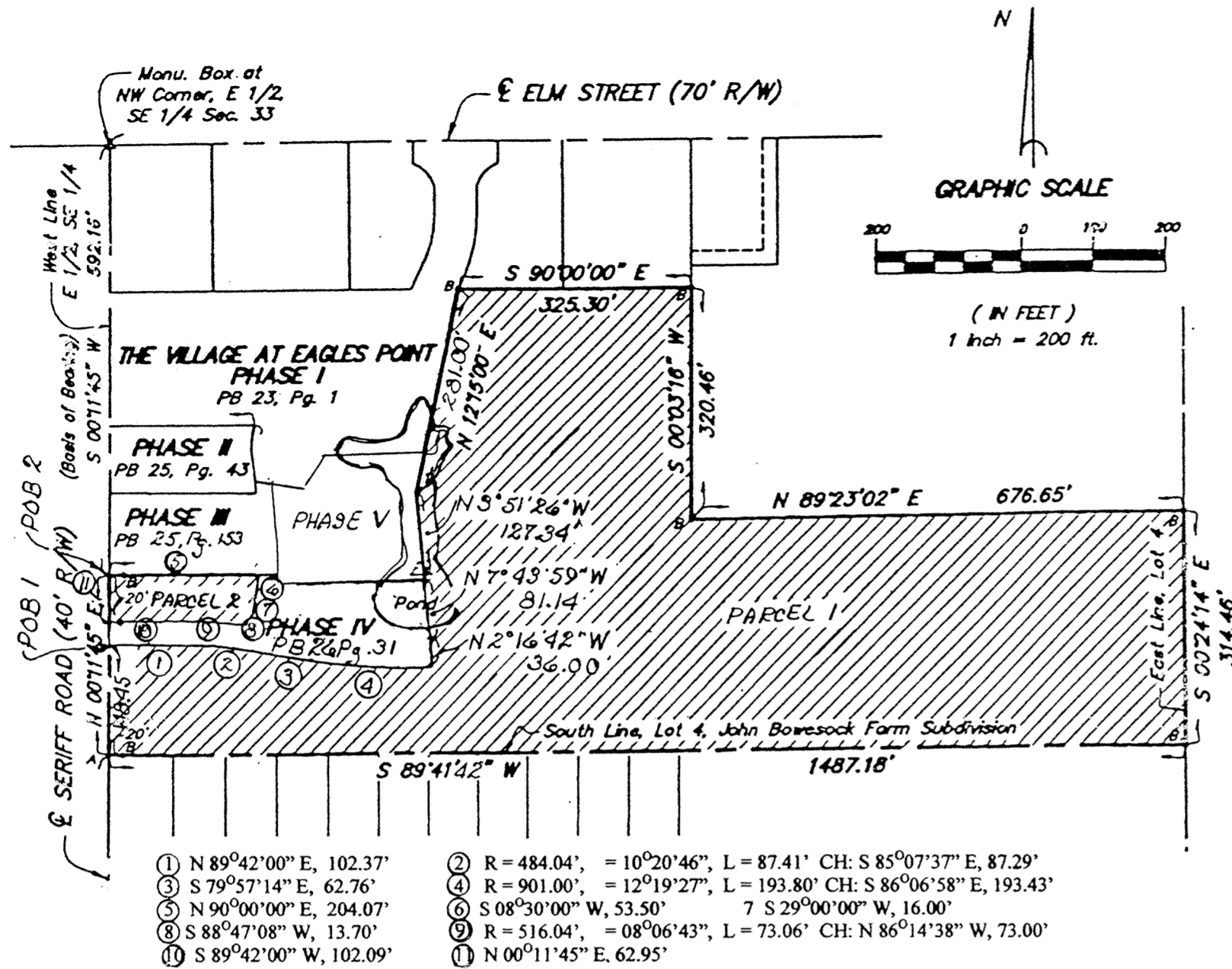
SHEET
 OF
 4

ELEVATIONS

PREPARED BY:

KUCK and MORRISEY, INC.
 CONSULTING ENGINEERS & SURVEYORS - LIMA, OHIO
 2807 Chapel Hill Drive, Lima, Ohio
 (419) 228-1735 Phone & Fax

EXPANSION AREA DELINEATION



- ① N 89°42'00" E, 102.37'
- ② R = 484.04', Δ = 10°20'46", L = 87.41' CH: S 85°07'37" E, 87.29'
- ③ S 79°57'14" E, 62.76'
- ④ R = 901.00', Δ = 12°19'27", L = 193.80' CH: S 86°06'58" E, 193.43'
- ⑤ N 90°00'00" E, 204.07'
- ⑥ S 08°30'00" W, 53.50'
- ⑦ S 29°00'00" W, 16.00'
- ⑧ S 88°47'08" W, 13.70'
- ⑨ R = 516.04', Δ = 08°06'43", L = 73.06' CH: N 86°14'38" W, 73.00'
- ⑩ S 89°42'00" W, 102.09'
- ⑪ N 00°11'45" E, 62.95'

DESCRIPTION - PARCEL No. 1

Being a part of Lot Number Four (4) in the subdivision of John Bowersock, situate in the Southeast quarter of Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a monument box found at the northwest corner of the east half of said Southeast quarter of said Section 33; thence S 00°11'45" W (basis of bearing - previous survey) with the west line of said east half (also the centerline of Sheriff Road), 687.11 feet to a PK nail and shiner found and the PLACE OF BEGINNING; thence N 89°42'00" E (passing through a PK nail and shiner found at 20.00 feet), 102.37 feet to a capped 5/8 inch rebar found; thence south-easterly with a tangent curve to the right having a radius of 484.04 feet, a central angle of 10°20'46" an arc length of 87.41 feet (chord being: S 85°07'37" E, 87.29 feet) to a capped 5/8 inch rebar found; thence S 79°57'14" E, 62.76 feet to a capped 5/8 inch rebar found; thence south-easterly with a tangent curve to the left having a radius of 901.00 feet, a central angle of 12°19'27" an arc length of 193.80 feet (chord being: S 86°06'58" E, 193.43 feet) to a capped 5/8 inch rebar found; thence N 02°16'42" W, 36.00 feet to a capped 5/8 inch rebar found; thence N 07°43'59" W, 81.14 feet to a point in an existing pond; thence N 03°51'26" W, 127.34 feet to a point in said pond; thence N 12°15'00" E, 281.00 feet to a capped 5/8 inch rebar found; thence N 90°00'00" E, 325.30 feet to a capped 5/8 inch rebar found; thence S 00°03'16" W, 320.46 feet to a capped 5/8 inch rebar found; thence N 89°23'02" E, 676.65 feet to a capped 5/8 inch rebar found at the southeast corner of said Lot Number 4; thence S 00°24'14" E with said east line, 314.46 feet to a capped 5/8 inch rebar found at the southeast corner of said Lot Number 4; thence S 89°44'42" W with the south line of said Lot Number 4 (passing through a capped 5/8 inch rebar found at 1,467.18 feet), 1,487.18 feet to a PK nail and shiner found at the southwest corner of said Lot Number 4; thence N 00°11'45" E with the west line of said Lot Number 4 (also the centerline of Sheriff Road), 148.45 feet to the PLACE OF BEGINNING containing 11.508 acres more or less and subject to all highway and other legal easements of record. Road right-of-way occupies 0.068 acre.

Deed reference: Volume 810, Page 148.
Surveyed by: KUCK and MORRISEY, Inc., Richard D. Morrisey, L.S. No. 6470 (Ohio)

DESCRIPTION - PARCEL No. 2

Being a part of Lot Number Four (4) in the subdivision of John Bowersock, situate in the Southeast quarter of Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a monument box found at the northwest corner of the east half of said Southeast quarter of said Section 33; thence S 00°11'45" W (basis of bearing - previous survey) with the west line of said east half (also the centerline of Sheriff Road), 592.16 feet to a PK nail and shiner found and the PLACE OF BEGINNING thence N 90°00'00" E (passing through a capped 5/8 inch rebar found at 20.00 feet), 204.07 feet to a PK nail and shiner found at the west edge of a private road known as Eagle Point West; thence southerly the following three courses that define a line along said west edge: S 08°30'00" W, 53.50 feet to a capped 5/8 inch rebar found; S 29°00'00" W, 16.00 feet to a capped 5/8 inch rebar found; S 88°47'08" W, 13.70 feet to a capped 5/8 inch rebar found on the north side of a private road known as Eagle Point South; thence westerly the following two courses that define said north line: a non-tangent curve to the left having a radius of 516.04 feet, a central angle of 8°06'43", an arc length of 73.06 feet (chord being: N 86°14'38" W, 73.00 feet) to a capped 5/8 inch rebar found; thence S 89°42'00" W (passing through a PK nail and shiner found at 82.09 feet), 102.09 feet to a PK nail and shiner found on the west line of said Lot Number 4; thence N 00°11'45" E with said west line (also the centerline of Sheriff Road), 62.95 feet to the PLACE OF BEGINNING containing 0.290 acre more or less and subject to all highway and other legal easements of record. Road right-of-way occupies 0.029 acre. Deed reference: Volume 810, Page 148.
Surveyed by: KUCK and MORRISEY, Inc., Richard D. Morrisey, L.S. No. 6470 (Ohio)

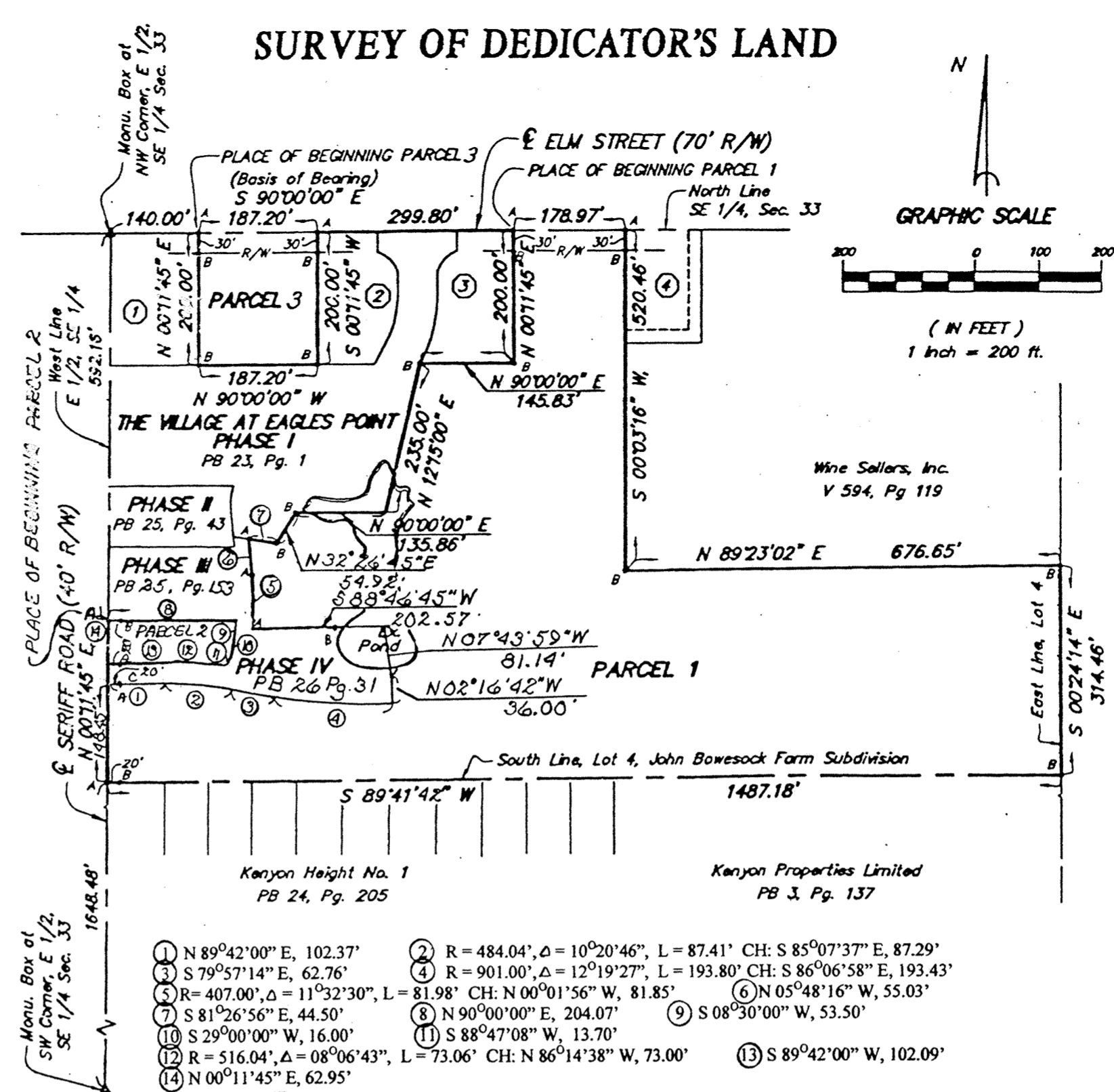
I hereby certify the accompanying map and survey which it represents to be correct to the best of my knowledge and belief. All rebar set and called for are topped with a plastic Permark cap stamped:
KUCK & MORRISEY L.S. 6470

Date: 9/28/04
Richard D. Morrisey, L.S. 6470
KUCK and MORRISEY, Inc.

REVIEWED BY: M. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEERS
DATE: 9-23-04



SURVEY OF DEDICATOR'S LAND



- ① N 89°42'00" E, 102.37'
- ② R = 484.04', Δ = 10°20'46", L = 87.41' CH: S 85°07'37" E, 87.29'
- ③ S 79°57'14" E, 62.76'
- ④ R = 901.00', Δ = 12°19'27", L = 193.80' CH: S 86°06'58" E, 193.43'
- ⑤ N 90°00'00" E, 204.07'
- ⑥ S 08°30'00" W, 53.50'
- ⑦ S 29°00'00" W, 16.00'
- ⑧ S 88°47'08" W, 13.70'
- ⑨ R = 516.04', Δ = 08°06'43", L = 73.06' CH: N 86°14'38" W, 73.00'
- ⑩ S 89°42'00" W, 102.09'
- ⑪ N 00°11'45" E, 62.95'

LEGEND:

- PK nail and shiner found
- Capped 5/8 inch rebar found

ADJOINING PROPERTY OWNERS

- ① Steven W. DOYLE Vol. 747, Pg. 427
- ② PPS Enterprises Vol. 887, Pg. 631
- ③ Jon C. & Brenda N. STOCKER Vol. 833, Pg. 260
- ④ Sharon A. GROVES Vol. 689, Pg. 570

DESCRIPTION - PARCEL No. 1

Being a part of Lot Number Four (4) in the subdivision of John Bowersock, situate in the Southeast quarter of Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a monument box found at the northwest corner of the east half of said Southeast quarter of said Section 33; thence N 90°00'00" E (basis of bearing - previous survey) with the north line of said east half (also the centerline of Elm Street), 627.00 feet to a PK nail and shiner found and the PLACE OF BEGINNING thence continuing N 90°00'00" E with said north line and centerline, 178.97 feet to a PK nail and shiner found; thence S 00°03'16" W (passing through a capped 5/8 inch rebar found at 30.00 feet), 520.46 feet to a capped 5/8 inch rebar found; thence N 89°23'02" E, 676.65 feet to a capped 5/8 inch rebar found on the east line of said Lot Number 4; thence S 89°41'42" W with the south line of said Lot Number 4 (passing through a capped 5/8 inch rebar found at 1,467.18 feet), 1,487.18 feet to a PK nail and shiner found at the southwest corner of said Lot Number 4; thence N 00°11'45" E with the west line of said Lot Number 4 (also the centerline of Sheriff Road), 148.45 feet to a PK nail and shiner found; thence N 89°42'00" E (passing through a PK nail and shiner found at 20.00 feet), 102.37 feet to a capped 5/8 inch rebar found; thence south-easterly with a tangent curve to the right having a radius of 484.04 feet, a central angle of 10°20'46" an arc length of 87.41 feet (chord being: S 85°07'37" E, 87.29 feet) to a capped 5/8 inch rebar found; thence S 79°57'14" E, 62.76 feet to a capped 5/8 inch rebar found; thence south-easterly with a tangent curve to the left having a radius of 901.00 feet, a central angle of 12°19'27" an arc length of 193.80 feet (chord being: S 86°06'58" E, 193.43 feet) to a capped 5/8 inch rebar found; thence N 02°16'42" W, 36.00 feet to a capped 5/8 inch rebar found; thence N 07°43'59" W, 81.14 feet to a point in an existing pond; thence N 03°51'26" W, 127.34 feet to a point in said pond; thence N 12°15'00" E, 235.00 feet to a capped 5/8 inch rebar found; thence N 90°00'00" E, 145.83 feet to a capped 5/8 inch rebar found; thence N 00°11'45" E (passing through a capped 5/8 inch rebar found at 170.00 feet), 200.00 feet to the PLACE OF BEGINNING containing 13.071 acres more or less and subject to all highway and other legal easements of record. Road right-of-way occupies 0.191 acre. Deed reference: Volume 810, Page 148.
Surveyed by: KUCK and MORRISEY, Inc., Richard D. Morrisey, L.S. No. 6470 (Ohio)

DESCRIPTION - PARCEL No. 2

Being a part of Lot Number Four (4) in the subdivision of John Bowersock, situate in the Southeast quarter of Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a monument box found at the northwest corner of the east half of said Southeast quarter of said Section 33; thence S 00°11'45" W (basis of bearing - previous survey) with the west line of said east half (also the centerline of Sheriff Road), 592.16 feet to a PK nail and shiner found and the PLACE OF BEGINNING thence N 90°00'00" E (passing through a capped 5/8 inch rebar found at 20.00 feet), 204.07 feet to a PK nail and shiner found at the west edge of a private road known as Eagle Point West; thence southerly the following three courses that define a line along said west edge: S 08°30'00" W, 53.50 feet to a capped 5/8 inch rebar found; S 29°00'00" W, 16.00 feet to a capped 5/8 inch rebar found; S 88°47'08" W, 13.70 feet to a capped 5/8 inch rebar found on the north side of a private road known as Eagle Point South; thence westerly the following two courses that define said north line: a non-tangent curve to the left having a radius of 516.04 feet, a central angle of 8°06'43", an arc length of 73.06 feet (chord being: N 86°14'38" W, 73.00 feet) to a capped 5/8 inch rebar found; thence S 89°42'00" W (passing through a PK nail and shiner found at 82.09 feet), 102.09 feet to a PK nail and shiner found on the west line of said Lot Number 4; thence N 00°11'45" E with said west line (also the centerline of Sheriff Road), 62.95 feet to the PLACE OF BEGINNING containing 0.290 acre more or less and subject to all highway and other legal easements of record. Road right-of-way occupies 0.029 acre. Deed reference: Volume 810, Page 148.
Surveyed by: KUCK and MORRISEY, Inc., Richard D. Morrisey, L.S. No. 6470 (Ohio)

DESCRIPTION - PARCEL No. 3

Being a part of Lot Number Four (4) in the subdivision of John Bowersock, situate in the Southeast quarter of Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a monument box found at the northwest corner of the east half of said Southeast quarter of said Section 33; thence N 90°00'00" E (basis of bearing - previous survey) with the north line of said east half (also the centerline of Elm Street), 140.00 feet to a PK nail and shiner found and the PLACE OF BEGINNING thence continuing N 90°00'00" E with said north line and centerline, 187.20 feet to a PK nail and shiner found; thence S 00°11'45" W (passing through a capped 5/8 inch rebar found at 30.00 feet), 200.00 feet to a capped 5/8 inch rebar found; thence S 90°00'00" W, 187.20 feet to a capped 5/8 inch rebar found; thence N 00°11'45" E (passing through a capped 5/8 inch rebar found at 170.00 feet), 200.00 feet to the PLACE OF BEGINNING containing 0.860 acre more or less and subject to all highway and other legal easements of record. Road right-of-way occupies 0.129 acre. Deed reference: Volume 810, Page 148.
Surveyed by: KUCK and MORRISEY, Inc., Richard D. Morrisey, L.S. No. 6470 (Ohio)

SURVEY OF DEDICATOR'S LAND & EXPANSION AREA DELINEATION

THE VILLAGE AT EAGLES POINT A CONDOMINIUM COMMUNITY - PHASE V

Part of Lot No. 4, Subdivision of John Bowersock's Farm, S.E. 1/4, Section 33, T-3-S, R-6-E, American Township, Allen County, Ohio.

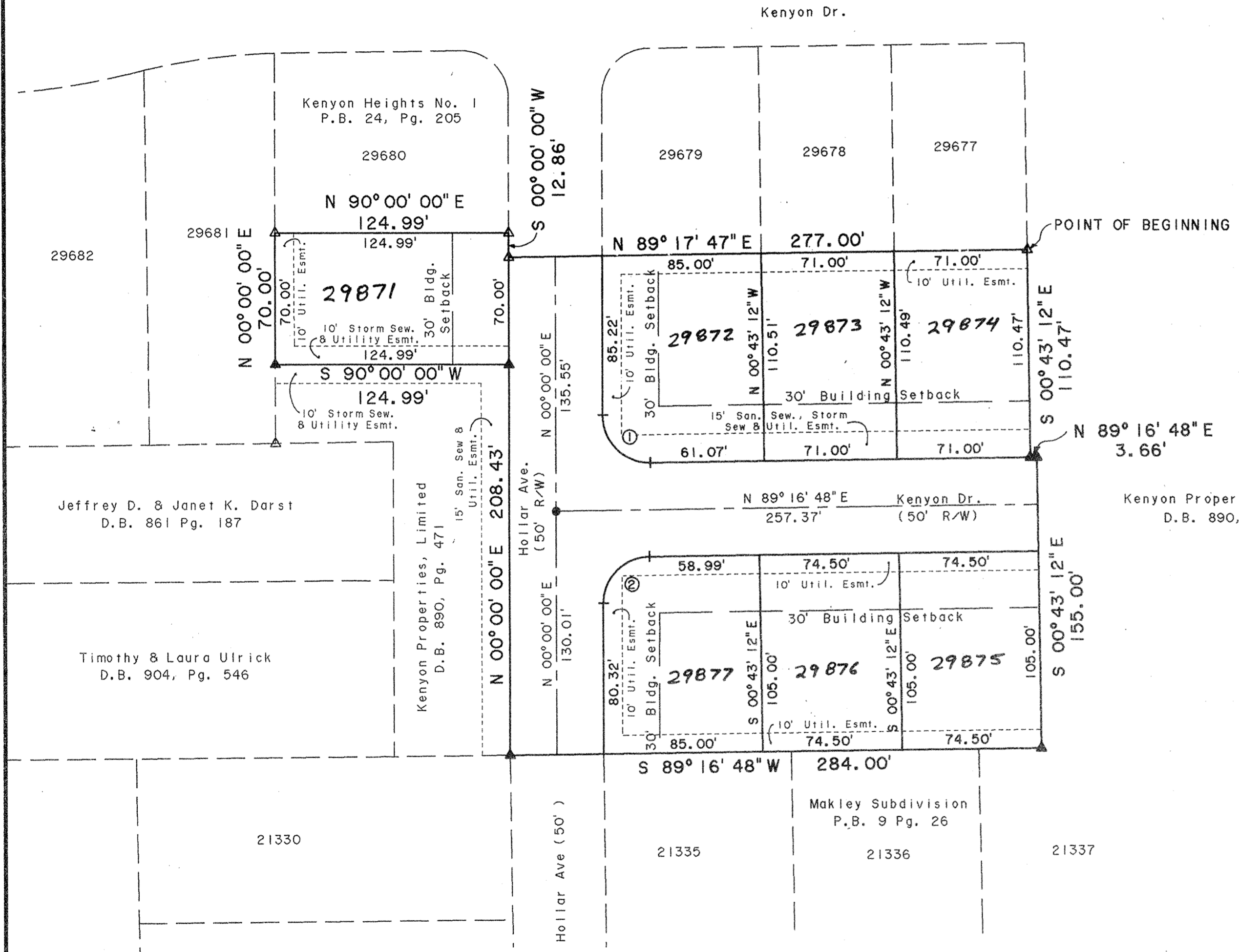
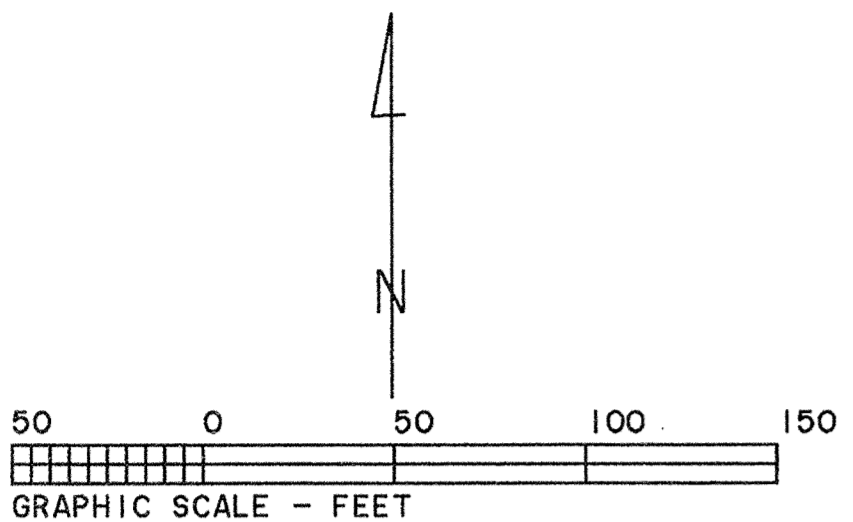
SHEET 4 OF 4

PREPARED BY:

KUCK and MORRISEY, INC.
CONSULTING ENGINEERS & SURVEYORS - LIMA, OHIO
2807 Chapel Hill Drive, Lima, Ohio
(419) 228-7335 Phone & Fax

KENYON HEIGHTS NO. 2

Part of the SE 1/4 of Section 33, T3S, R6E
American Twp., Allen Co., Ohio



DESCRIPTION
(Kenyon Heights No. 2)

Being a parcel of land in the SE 1/4 of Section 33, T3S, R6E, American Township, Allen County, Ohio and more particularly described as follows:

BEGINNING at a found concrete monument at the Southeast corner of Kenyon Heights No. 1 (also being the Southeast corner of Lot No. 29677) as recorded in P.E. 24, Pg. 205 in the Allen County Recorder's Office, thence the following courses:

1. S00°43'12"E, 110.47' to a set concrete monument;
2. N89°16'48"E, 3.66' to a set concrete monument;
3. S00°43'12"E, 155.00' to a set concrete monument;
4. S89°16'48"W, with the north line of the Makley Subdivision, 284.00' to a set concrete monument;
5. N00°00'00"E, 208.43' to a set concrete monument;
6. S90°00'00"W, 124.99' to a set concrete monument;
7. N00°00'00"E, 70.00' to a found concrete monument at the Southwest corner of Lot No. 29680;
8. N90°00'00"E with the south line of said Lot No. 29680, 124.99' to a found concrete monument;
9. S00°00'00"W, 12.86' to a found concrete monument;
10. N89°17'47"E with the south line of said Kenyon Heights No. 1, 277.00' to the POINT OF BEGINNING.

The above described parcel contains 1.912 acres more or less, subject to all legal highways and easements of record.

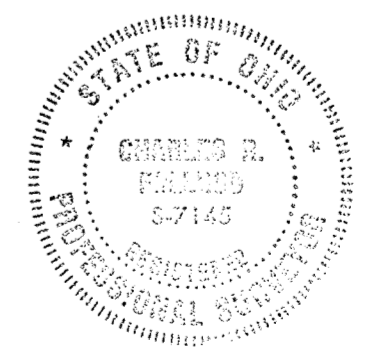
R/W Area = 0.578 acres
Lot Area = 1.334 acres

Basis of Bearings: The centerline of Sheriff Rd. (S00°00'00"W)

Prior Deedholder: Kenyon Properties, Limited (D.B. 890, Pg. 471)

Parcel No.: Part of 36-3304-01-005

For amendment see Vol. 28 Pg. 48



- △ - Found Concrete Mon.
- ▲ - Set Concrete Mon.
- - Set P.K. Nail

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	25.00'	39.58'	90° 43' 12"	35.58'	S 45° 21' 36" E
C-2	25.00'	38.96'	89° 16' 48"	35.13'	N 44° 38' 24" E

This plat is based on an actual field survey performed by me in June, 2001.

A #5 rebar will be set at all lot corners.

R/W Area = 0.578 ac.
Lot Area = 1.334 ac.

Charles R. Follrod
Charles R. Follrod, P.S. #7145

KENYON HEIGHTS NO. 2

DEDICATION

Kenyon Properties, Limited being the owner of the described premises, does hereby voluntarily consent to the execution of said plat, and dedicate the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

OWNERS

R. Jeffrey Stone
R. Jeffrey Stone - Kenyon Properties, Limited

WITNESS

Charles R. Follrod

Anthony W. Depalma
Anthony W. Depalma - Kenyon Properties, Limited

Cynthia M. Cramer

ACKNOWLEDGMENT

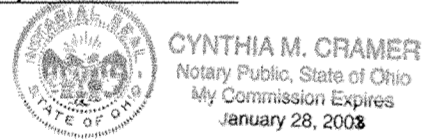
State of Ohio
County of Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNERS who acknowledged that they signed the hereon plat and the signing thereof was their free act and deed.

IN WITNESS thereof, I affix my hand and seal this 5th day of October, 2004.

My Commission Expires

1/28/08



Cynthia M. Cramer
Notary Public

APPROVAL OF THE REGIONAL PLANNING COMMISSION

This plat having been approved by the Regional Planning Commission of Allen County, Ohio and Executive Director of the Regional Planning Commission, hereby on behalf of said Commission, approve and accept this plat this 6th day of October, 2004.

Thomas M. Magan
Exec. Director, Regional Planning Commission

COUNTY RECORDER'S CERTIFICATION

200419894

Filed for record this 7th day of October, 2004, at 11:22 AM o'clock in the office of the County Recorder and recorded in Plat Book 26, on Page 56.

Edward P. Kuhn
Recorder, Allen County, Ohio

COUNTY AUDITOR'S CERTIFICATION

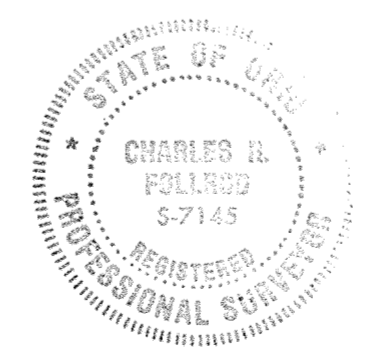
This plat filed for transfer this 7th day of October, 2004.

Ben E. Dripenbrock
Auditor, Allen County, Ohio
Fee 3.50

SURVEYOR'S CERTIFICATION

I hereby certify that this plat is based on a true and accurate survey made by me in June 2001. A 5/8 inch rebar topped with a plastic cap stamped P.S. 7145 will be set at all lot corners. All markers are or will be in place within six (6) months from the date of recording.

Charles R. Follrod
Charles R. Follrod, P.S. #7145
R & A Engineers Inc.
298 Brookview Ct.
Lima, Ohio 45801



DESCRIPTION (Survey of Dedicator's Land)

Being a parcel of land in the SE 1/4 of Section 33, T3S, R6E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the intersection of W. Elm St. and Sheriff Rd. thence S00°00'00"W with the centerline of Sheriff Rd., 835.56' to a found P.K. nail; thence N89°17'47"E with the north line of Kenyon Heights No. 1 as recorded in P.B. 24, Pg. 205 at the Allen County Recorder's Office, 787.00' to a found concrete monument at the Northeast corner of said subdivision (also being the Northeast corner of Lot No. 29676) and being the POINT OF BEGINNING, thence the following courses:

1. N89°17'47"E, 697.62' to a found #5 rebar;
2. S00°25'10"E, with the east line of the SE 1/4, 530.18 to a found #5 rebar;
3. S89°16'48"W, 1030.51' to a found #5 rebar;
4. N00°00'00"E, 168.00' to a found #5 rebar;
5. S89°16'48"W, 63.00' to a found concrete monument;
6. N00°00'00"E, 112.00' to a found concrete monument;
7. N90°00'00"E, 124.99' to a found concrete monument;
8. S00°00'00"W, 12.86' to a found concrete monument;
9. N89°17'47"E, 277.00' to a found concrete monument;
10. N00°42'13"W, 159.92' to a found concrete monument;
11. S89°17'47"W, 6.75' to a found concrete monument;
12. N00°42'13"W, 104.99' to the POINT OF BEGINNING.

The above described parcel contains 10.667 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: The centerline of Sheriff Rd. (S00°00'00"W)

Prior Deedholder: Kenyon Properties, Limited (D.B. 890, Pg. 471)

Parcel No.: 36-3304-01-005

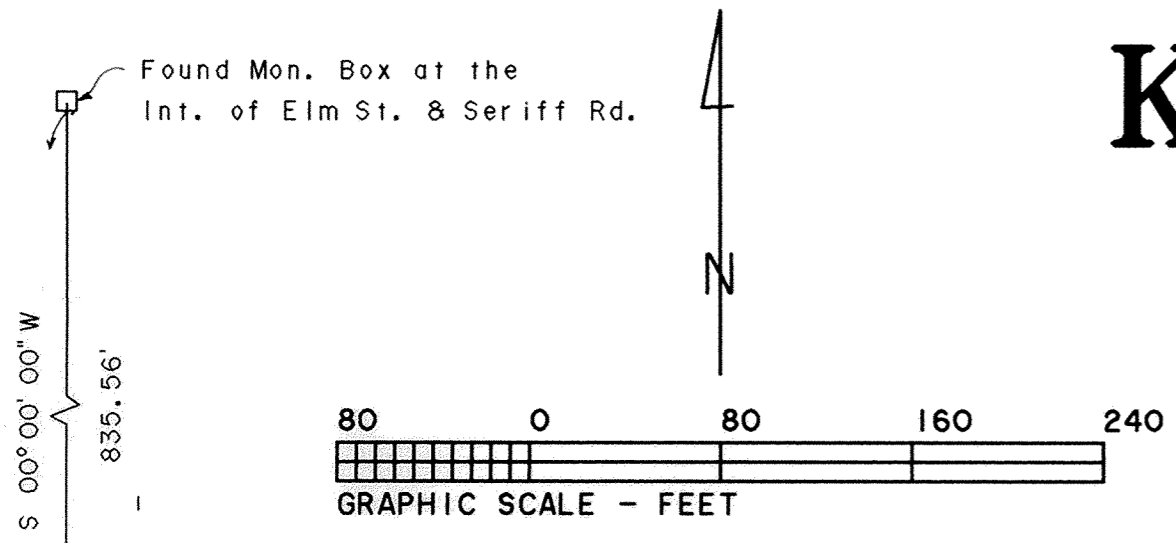
KENYON HEIGHTS NO. 2

DEED RESTRICTIONS

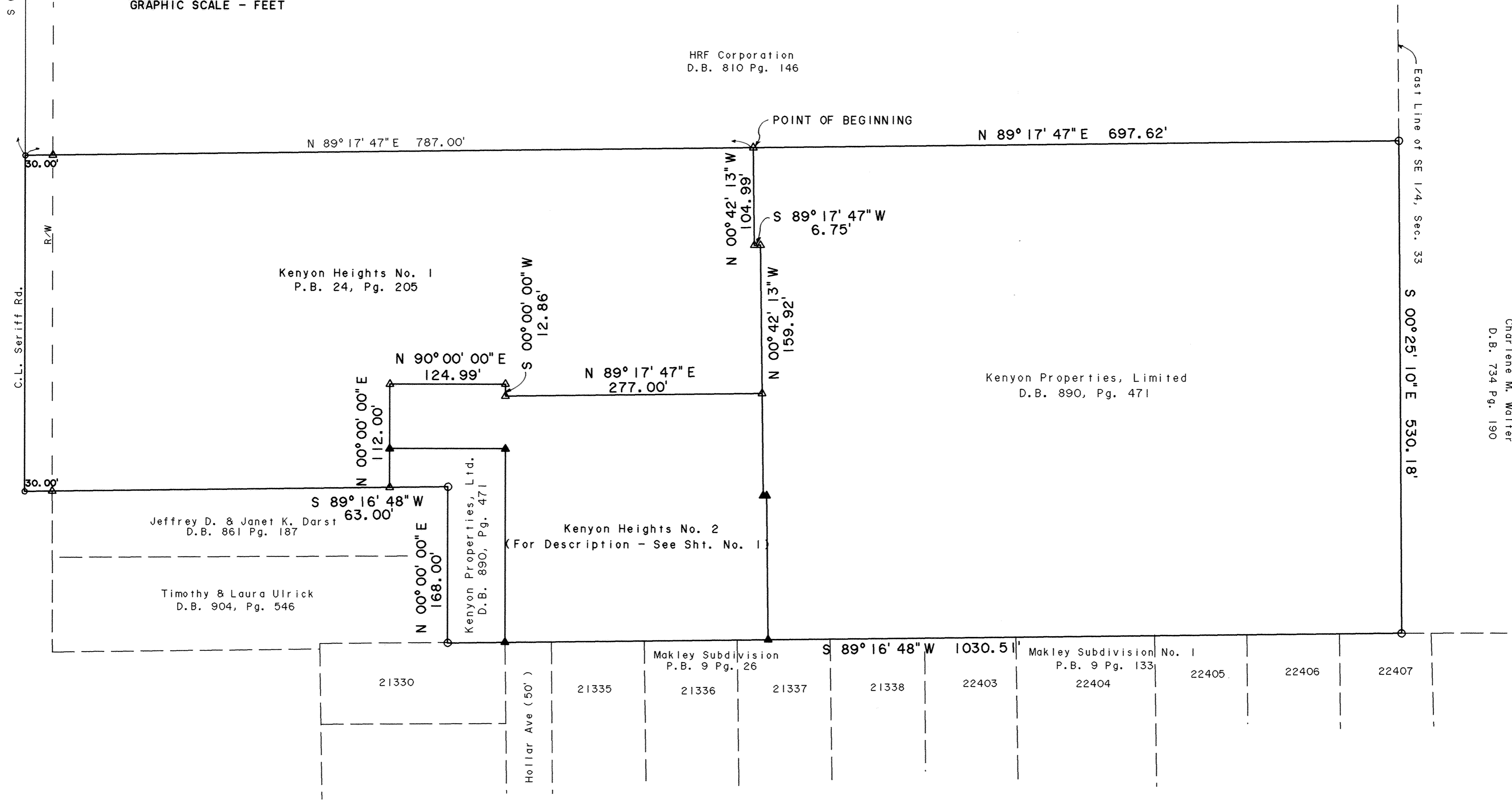
1. Lots shall be used for residence purposes only and shall not be used for any trade, business or industrial purposes, except for home workshops and home greenhouses incidental to the residential use.
2. No residential one-story dwelling having an area above ground of the main structure, exclusive of open porches, verandas, porte cocheres, and garage, of less than 1,300 square feet shall be erected, altered, placed or permitted to remain on any lot. No residential two-story or bi-level dwelling having an area above ground of the main structure, exclusive of open porches, verandas, porte cocheres, and garage, of less than 1,600 square feet shall be erected, altered, placed or permitted to remain on any lot.
3. No structure other than a detached single-family dwelling with a minimum of a two-car garage shall be erected, maintained or permitted to remain on the premises. No old buildings or structures shall be moved onto any of the building plots in said subdivision either temporarily or permanently and no structure of a temporary character, trailer, recreational vehicle, basement, tent, shack, garage or other outbuilding shall be used on any lot at any time as a residence, either temporarily or permanently. The dwelling, including installation of lawn, driveway and sidewalks, must be completed within a nine-month period from the start of construction. Garages shall not be used or converted to finished living space.
4. Out buildings, such as storage sheds or barns, home workshops, and greenhouses, shall be no larger than 10' x 16' or no more than 160 square feet and shall conform in style and architecture to the appearance of the residence.
5. No building shall be erected, placed or altered on any lot in this subdivision until construction plans and specifications and a lot plan showing the location of the structure shall have been approved in writing by the Architectural Committee as to the construction materials, harmony of exterior design with the existing structures and as to location with respect to topographic and finish grade elevation.
6. The top of the house foundation shall be two (2') feet minimum and three (3') feet maximum higher than the elevation of the top of the curb at the midpoint of the lot on which the house is to be built. Any deviation from this requirement must have the written approval of the Architectural Committee. All foundations shall be of poured concrete.
7. All driveways shall be constructed of concrete. Any alternate surface must have the prior written approval of the Architectural Committee.
8. Only open-type fences or hedges not to exceed four (4') feet in height above ground level shall be erected or planted on said lots and shall not extend closer to the street than the front of the house. A privacy fence of wood construction with a minimum height of six (6') feet may be used around a pool or patio area.
9. No animals, livestock or poultry shall be kept or maintained on any part of this subdivision, except that ordinary household pets may be kept provided they are not kept, bred or maintained for any commercial purpose and do not constitute an annoyance or nuisance.
10. No nuisance, advertising signs, billboards and/or other advertising devices, except such as pertain to the sale of land upon which said sign is located, shall be permitted on said lots, nor shall said lots be used in any way which may endanger the health or unreasonably distract the quiet of any adjacent lots.
11. No intoxicating beverages or habit-producing drugs shall be manufactured or sold nor shall commercial gambling be permitted in said subdivision.
12. Nothing shall be permitted on said lots which may be or become an annoyance or nuisance to the neighborhood. All vehicles belonging to residents shall be parked in the garage or driveway. No on-street parking is permitted except for visitors for a maximum of seven (7) days.
13. There shall be no satellite dishes placed in yard areas. Small dishes mounted to homes are permitted.
14. All utility services to homes must be underground.
15. Sidewalks shall be installed along all street frontages to meet Allen County specifications.
16. The Architectural Committee for this subdivision shall be composed of Tony DePalma, Jeff Stone and Chuck Follrod. Majority vote of the Committee rules. If any member of the Committee chooses to resign or is unable to fulfill his duties, a replacement member will be selected by the remaining members.
17. When approval of the Architectural Committee is required, application shall be made in writing to the Committee by the lot owner(s) requesting the necessary approval. Application shall be deemed to be filed when it has been delivered to a Committee member and receipt obtained indicating proof of delivery. Sufficient information shall be provided to the Committee to enable it to make a proper decision on the matter. The Committee shall either approve or disapprove the application in writing on or before ten (10) days from the date that the application and all necessary information to make a decision is filed with the Committee. The ten (10) day period may be extended by the Committee for good cause related to the decision-making process for the application.
18. Enforcement of the within conditions or restrictions shall be by proceedings at law in equity against any person or persons violating or attempting to violate the same, either to restrain violation or to recover damages.
19. Invalidation of any of these covenants by judgment or court order shall in no way affect any of the other provisions which shall remain in full force and effect.
20. These covenants, restrictions, and limitations shall be binding on all parties hereto and on all owners of lots in said subdivision for a period of twenty-five (25) years from the date of recording, after which time such covenants, restrictions, and limitations shall automatically extend for successive periods of ten (10) years each.
21. Easements and right-of-ways are reserved under, in and over lots as shown on plat for the construction, operation and maintenance of electric power, telephone facilities, pipelines supplying natural gas, roads, drainage facilities, sanitary sewers, waterlines and cablevision. Easements shown on plat may be used by public and private utilities as circumstances require without incurring any liability from property owners for damage to sod, shrubbery or other surface improvements. No permanent structures or permanent plantings of trees or shrubs shall be placed on easements designated on plat.
22. All fee holders and all receiving title to the fee through them are subject to payment of drainage maintenance fees assessed or to be assessed by the County pursuant to Ohio Revised Code Sections 6131 and 6137. A specific and distinct ditch maintenance fund shall be created as per the referenced sections of the Ohio Revised Code for this project.

KENYON HEIGHTS NO. 2

SURVEY OF DEDICATOR'S LAND



HRF Corporation
D.B. 810 Pg. 146



Charlene M. Walter
D.B. 734 Pg. 190


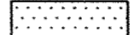
Kenyon Properties, Limited
D.B. 890, Pg. 471

REVIEWED BY:
[Signature]
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEERS
DATE: 10/7/04

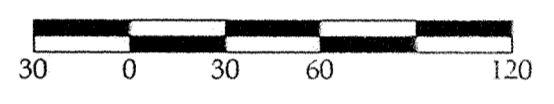
- - Set P.K. Nail
- ▲ - Set Concrete Mon.
- - Set #5 Rebar
- △ - Found Concrete Mon.

AREA DELINEATION SHEET
UNIVERSITY HEIGHTS CONDOMINIUMS #26,
PHASE 2

LEGEND

-  = Common Area
-  = Limited Common Area
- A = Monument Box found at the NE corner of Section 34
- B = Railroad Spike found at the NE corner of the SE 1/4 of Sec 34
- C = Existing PK Nail
- D = Existing MAG Nail
- E = Existing 1/2" rebar
- F = Existing #5 rebar
- G = Existing Railroad Spike at the intersection of the centerlines of Mumaugh Road and Yale Avenue
- H = Existing Railroad Spike
- I = #5 rebar removed by Catch Basin
- J = Set #5 rebar

SCALE: 1" = 60'



Utility Easements:

There is hereby created upon, over and under all of the common area of the condominium property, an easement for public improvements and underground utility facilities as set forth in Ohio Revised Code Section 153.64.

CERTIFICATION

I, Brad J. Core, P.E., P.S., do hereby certify that this sheet correctly represents the location and the configuration of the improvements within the boundaries of University Heights Condominiums #26, Phase 2 as they existed on the date shown on this drawing.

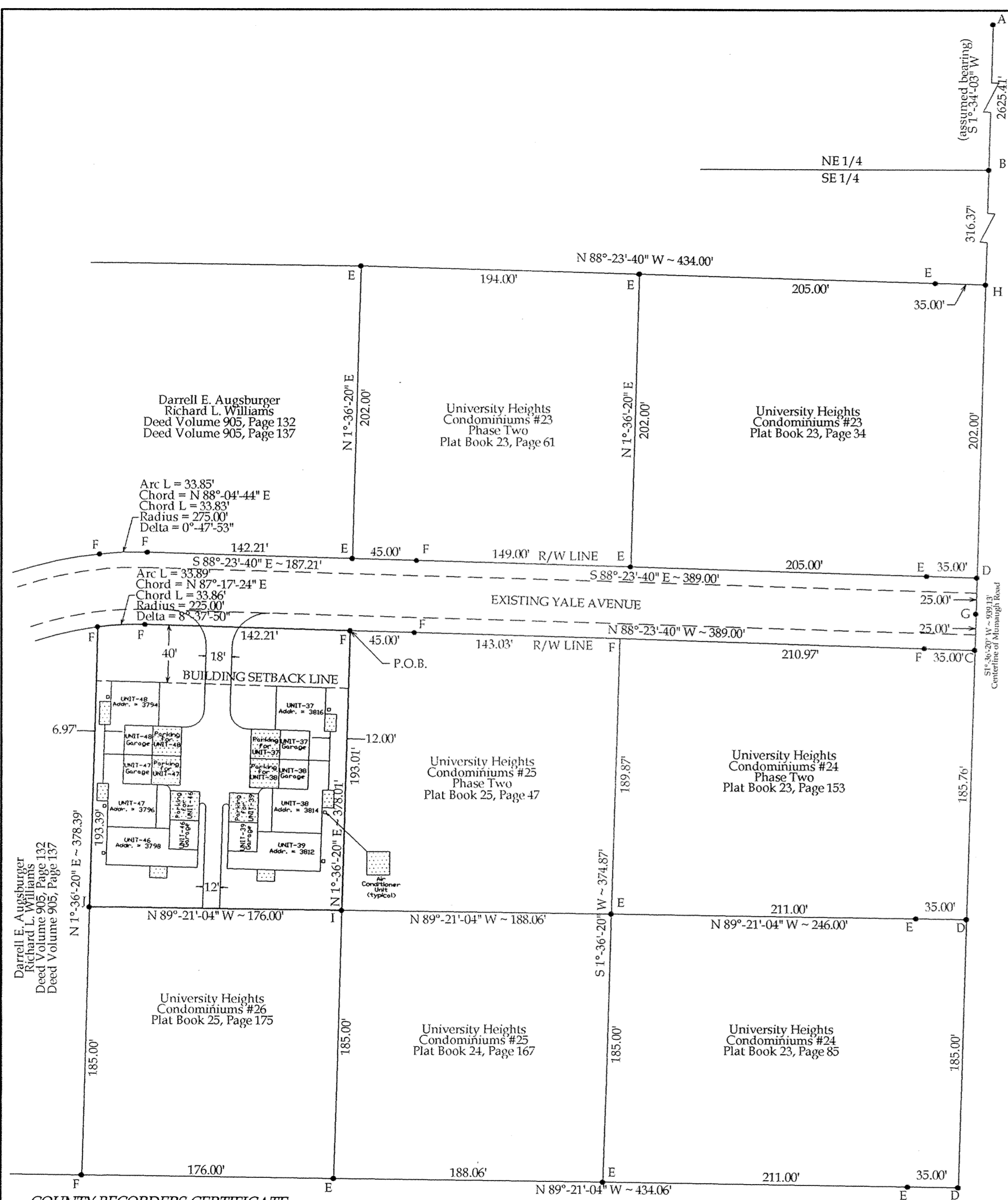

Brad J. Core, P.E., P.S.

Notes: Units 37, 38, & 39 make up Building No. 15
Units 46, 47, & 48 make up Building No. 16

Building No. 1 through Building No. 14 are not used due to the fact that they were used in previous plats.

Units 1 through 36 are not used due to the fact that they were used in previous plats

Units 40 through 45 are not used due to the fact that they were used in University Heights Condominiums #26, Phase One.



COUNTY RECORDERS CERTIFICATE

No. 200419980

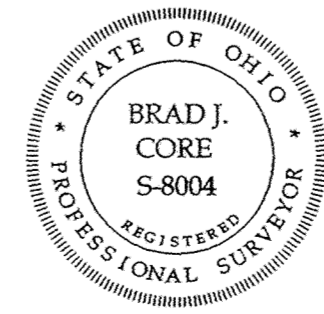
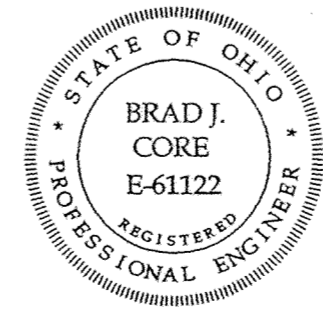
Filed for record in Allen County, Ohio Recorders Office this 8th day of Oct, 2004 at 12:47 O'Clock P.M. and recorded in Allen County, Ohio.

Plat Book 26 on Page 60.
Deed Vol. 932 Page 393.

Fee \$ 289.80

Edward P. Kuik
Recorder mb

University Heights Development Company
Hampton Green Apartments
Deed Volume 556, Page 46



ENGINEER/SURVEYOR:
CORE CONSULTING
A Division of Materials Testing, Inc.
1660 S. Defiance Trail
Spencerville, Ohio 45887
(419) 647-6163

REVISED	AREA DELINEATION SHEET		
	UNIVERSITY HEIGHTS CONDOMINIUMS #26, PHASE 2		
	SE 1/4, SECTION 34, T3S, R7E, BATH TOWNSHIP, ALLEN COUNTY, OHIO		
DATE	BY	CHECKED	
9-14-2004	D.J.D.	B.J.C.	

University Heights Condominiums #26, Phase 2

LEGAL DESCRIPTION

Being a part of Parcel # 37-3409-01-002.000 situated in the SE ¼ of Section 34, T3S, R7E, Bath Township, Allen County, Ohio, as referenced in prior Deed Volume 914, Page 152 and more particularly described as follows:

Commencing at a monument box found at the NE corner of Section 34 (intersection of the centerlines of Reservoir Road and Mumaugh Road; thence S 1°-34'-03" W (assumed bearing) on the centerline of Mumaugh Road and the east line of the NE ¼ of Section 34, 2,625.41' to an existing Railroad Spike at the NE corner of the SE ¼ of Section 34, thence S 1°-36'-20" W, on the centerline of Mumaugh Road and the east line of the SE ¼ of Section 34, 568.37' to an existing PK Nail at the intersection of said fractional section line and the south line of Yale Avenue, thence N 88°-23'-40" W on the south line of Yale Avenue, 434.00' to an existing #5 rebar at the POINT OF BEGINNING, thence the following courses:

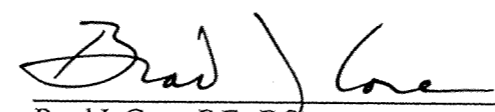
1. S 1°-36'-20" W, 193.01' to an existing #5 rebar;
2. N 89°-21'-04" W, 176.00' to a set #5 rebar;
3. N 1°-36'-20" E, 193.39' to a set #5 rebar;
4. Northeasterly on the arc of a curve to the right, 33.86' to a set #5 rebar, said curve having a radius of 225.00' and a chord bearing and distance of N 87°-17'-24" E, 33.86';
5. S 88°-23'-40" E, 142.21' to the POINT OF BEGINNING.

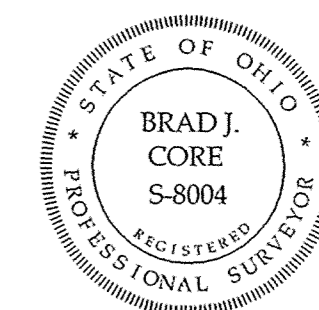
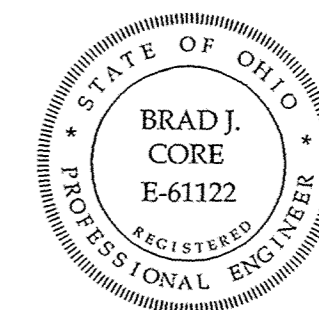
The above-described parcel contains 0.785 acres, more or less, of which 0.000 acres is occupied by road right-of-way. This parcel is subject to all legal highways and easements of record.

The system of bearings for this legal description assumes the east line of the NE ¼ of Section 34, also being the centerline of Mumaugh Road, as S 1°-34'-03" W. This legal description and accompanying plat represent an actual boundary survey completed under the direct supervision of Brad J. Core, P.S. #8004 on January 14, 2004. All markers called for above are in place.

CERTIFICATION

I, Brad J. Core, P.E., P.S., do hereby certify that this description correctly represents the location of the boundary of UNIVERSITY HEIGHTS CONDOMINIUMS #26 PHASE 2.


Brad J. Core, P.E., P.S.

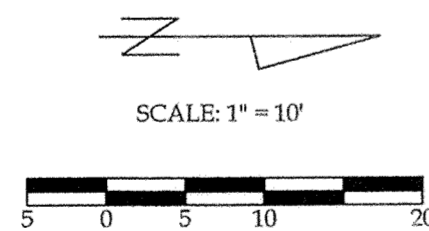
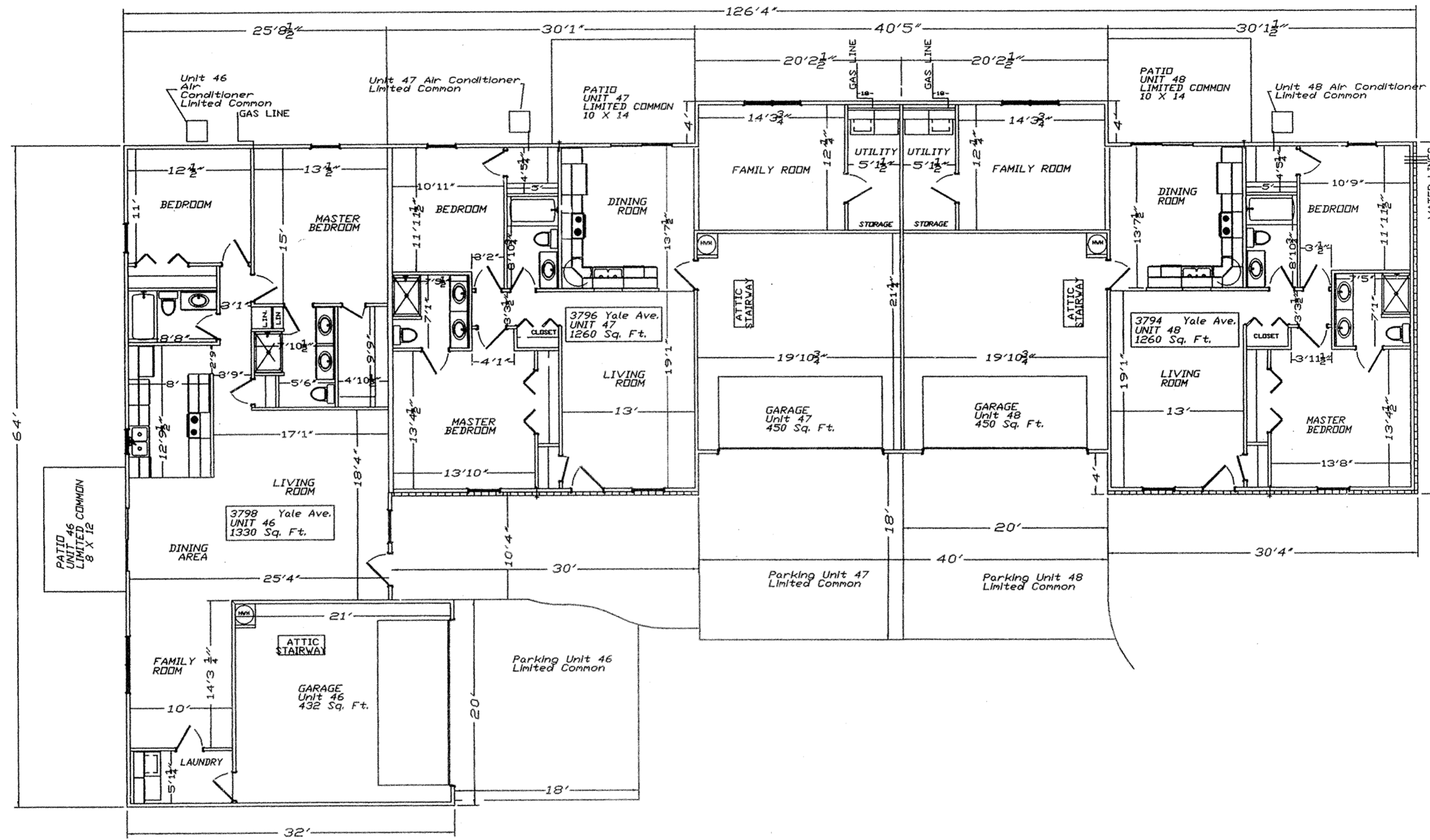


ENGINEER/SURVEYOR:

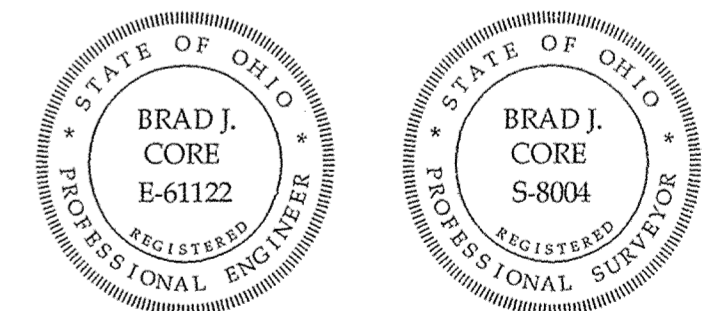
CORE CONSULTING
A Division of Materials Testing, Inc.
1660 S. Defiance Trail
Spencerville, Ohio 45887
(419) 647-6163

REVISED	LEGAL DESCRIPTIONS		
	UNIVERSITY HEIGHTS CONDOMINIUMS #26, PHASE 2		
	S.E.1/4, SECTION 34, T3S, R7E, BATH TOWNSHIP, ALLEN COUNTY, OHIO		
DATE	BY	CHECKED	DATE
9-14-2004	D.J.D.	B.J.C.	

University Heights Condominiums #26, Phase 2



Floor Plan Layout Building No. 16

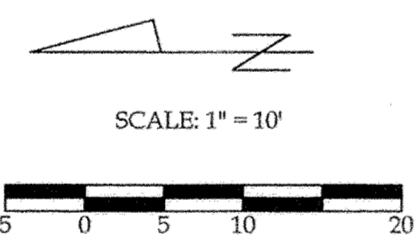
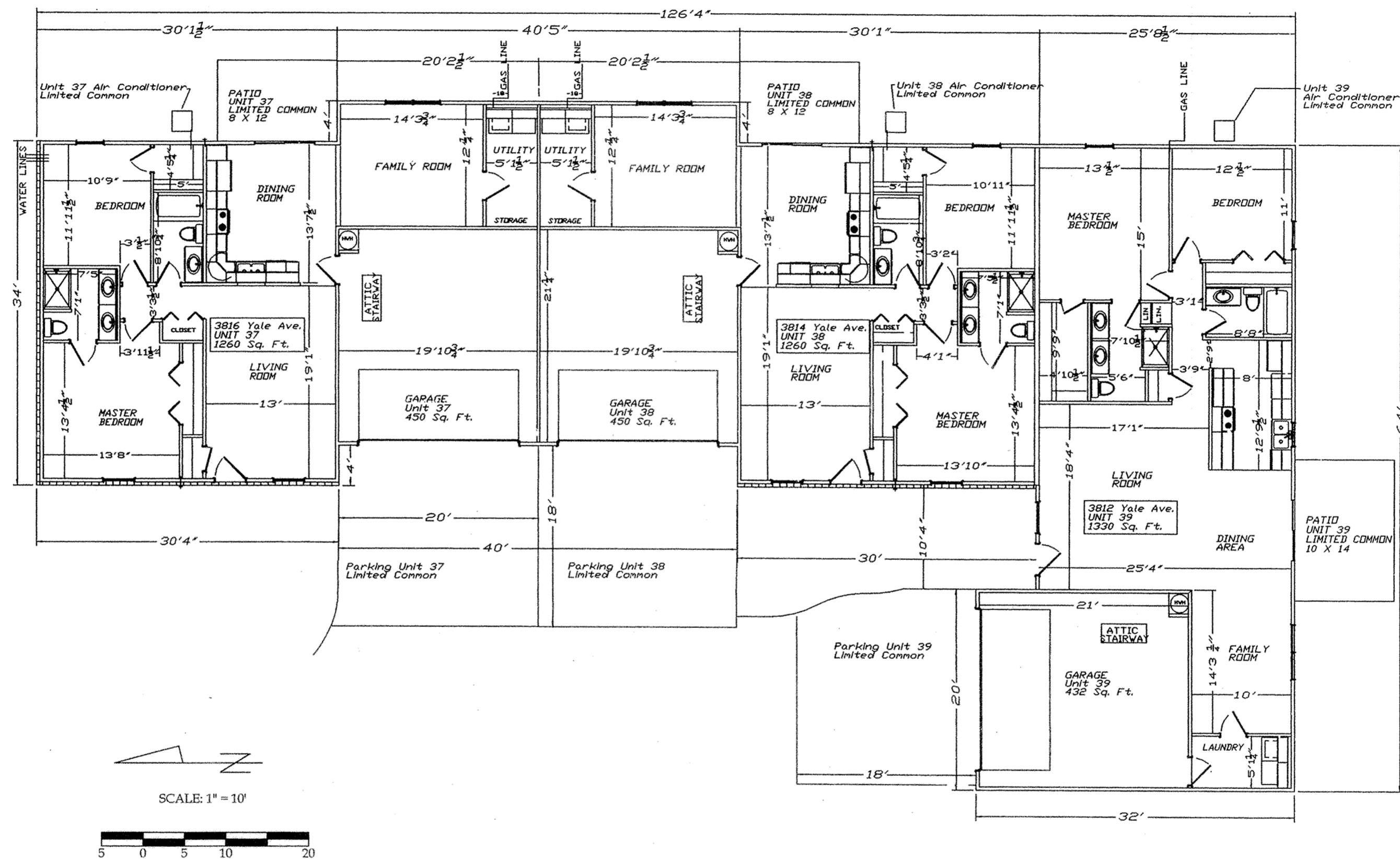


Brad J. Core

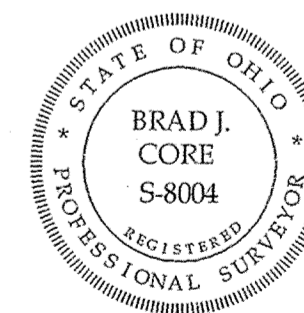
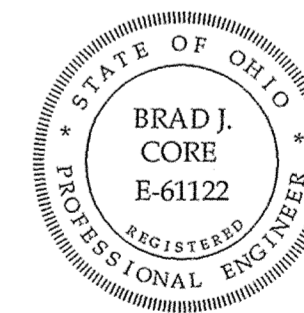
ENGINEER/SURVEYOR:
CORE CONSULTING
A Division of Materials Testing, Inc.
1660 S. Defiance Trail
Spencerville, Ohio 45887
(419) 647-6163

REVISED	FLOOR PLAN LAYOUT	
10/7/2004	UNIVERSITY HEIGHTS CONDOMINIUMS #26, PHASE 2	
	S.E. 1/4, SECTION 34, T3S, R7E, BATH TOWNSHIP, ALLEN COUNTY, OHIO	
DATE PLOTTED	DATE	DRAWN BY
9-14-2004	D.J.D.	B.J.C.

University Heights Condominiums #26, Phase 2



Floor Plan Layout Building No. 15

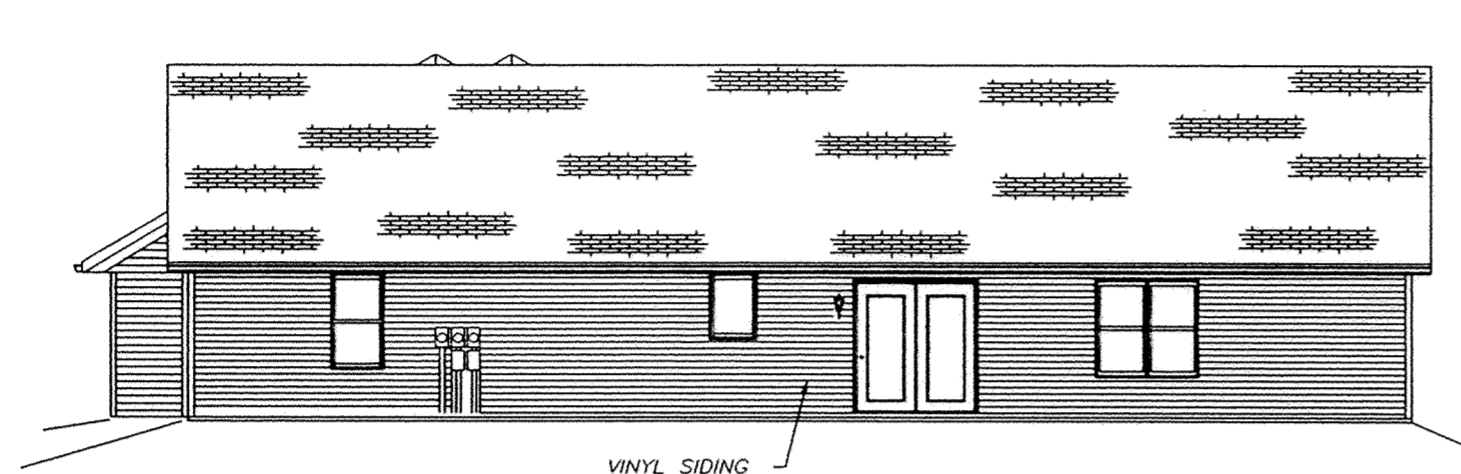


Brad J. Core

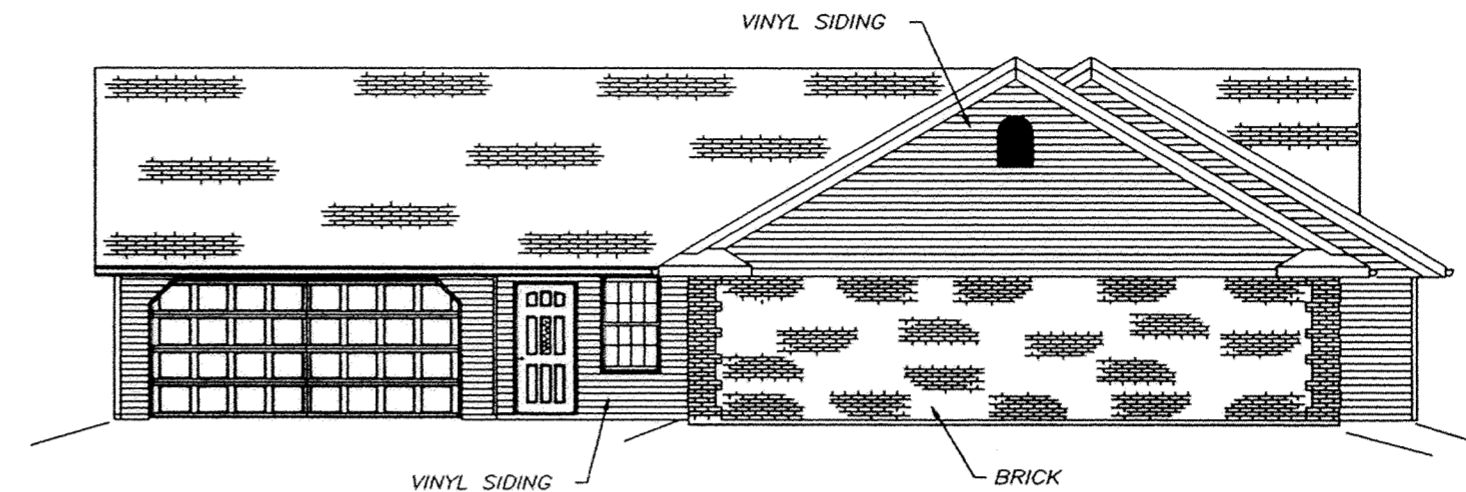
ENGINEER/SURVEYOR:
CORE CONSULTING
A Division of Materials Testing, Inc.
1660 S. Defiance Trail
Spencerville, Ohio 45887
(419) 647-6163

REVISED	FLOOR PLAN LAYOUT	
10/7/2004	UNIVERSITY HEIGHTS CONDOMINIUMS #26, PHASE 2	
	S.E.1/4, SECTION 34, T3S, R7E, BATH TOWNSHIP, ALLEN COUNTY, OHIO	
DATE:	9-14-2004	DRAWN BY: B.J.C.

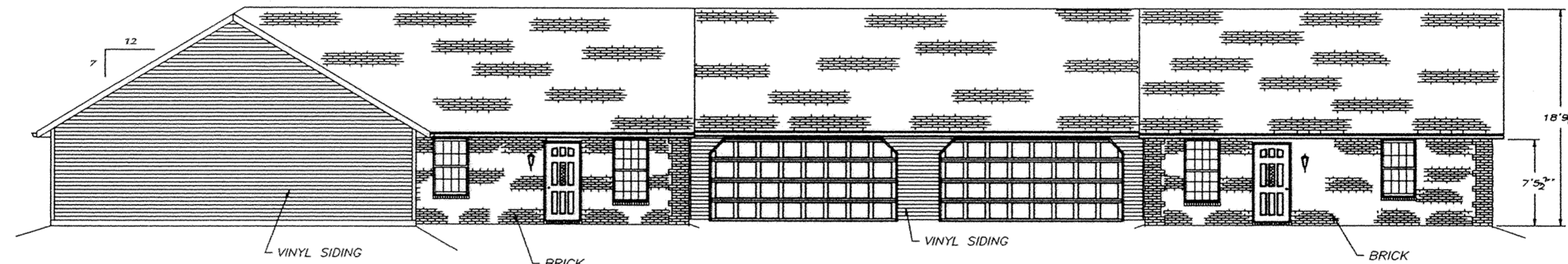
University Heights Condominiums #26, Phase 2



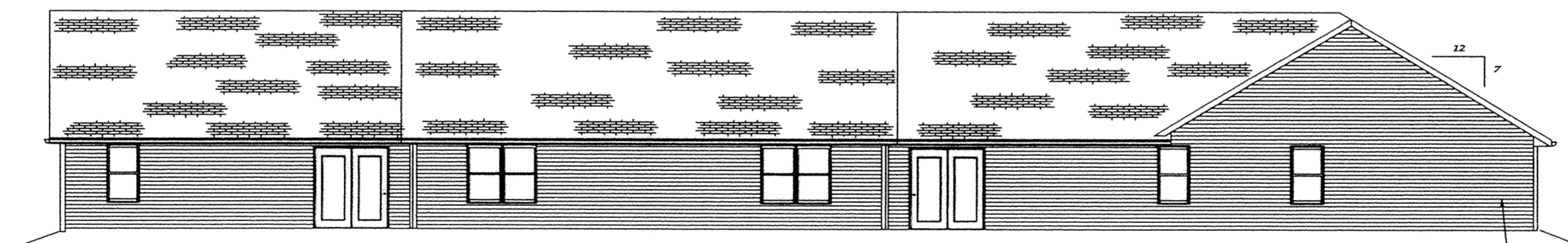
SOUTH END ELEVATION



NORTH END ELEVATION

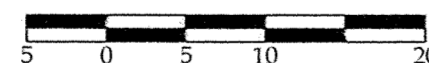


EAST SIDE ELEVATION

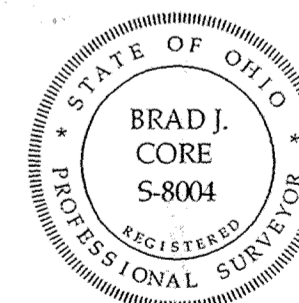
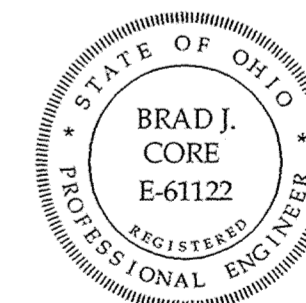


WEST SIDE ELEVATION

SCALE: 1" = 10'



Elevations Building No. 16



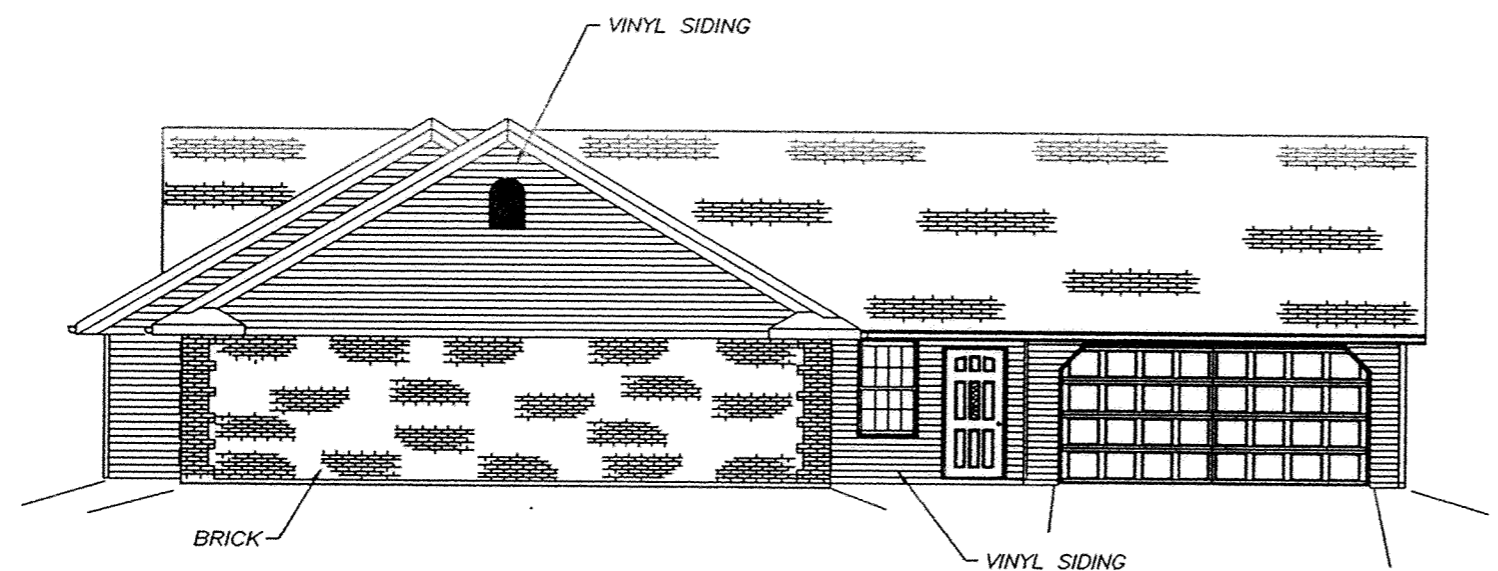
Brad J. Core

ENGINEER:
CORE CONSULTING
A Division of Materials Testing, Inc.
1660 S. Defiance Trail
Spencerville, Ohio 45887
(419) 647-6163

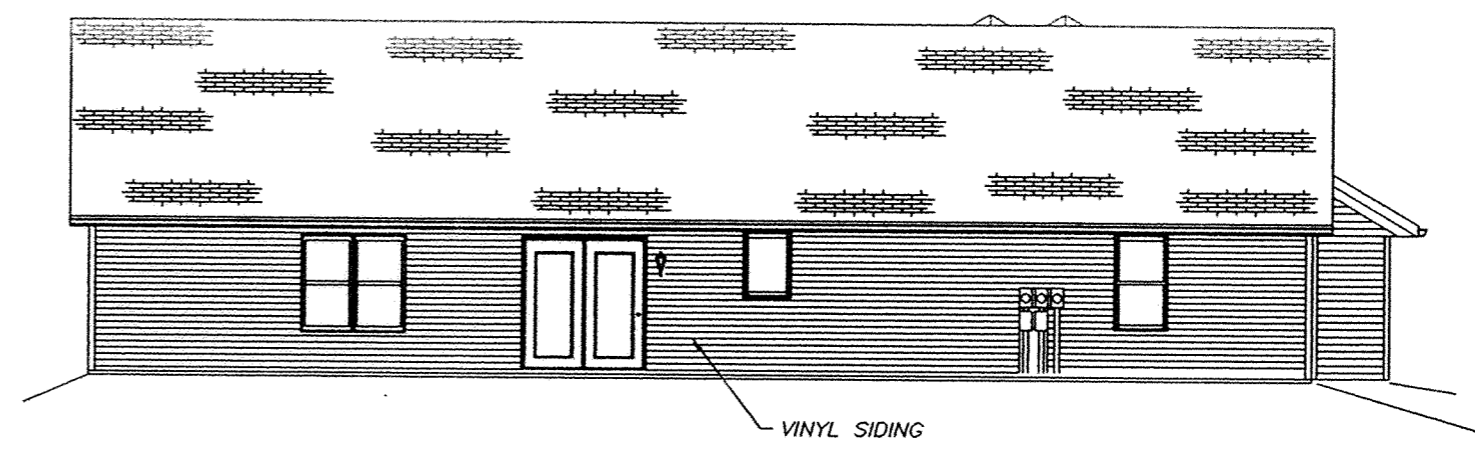
REVISED	ELEVATIONS	
	UNIVERSITY HEIGHTS CONDOMINIUMS #26, PHASE 2	
	SE 1/4, SECTION 34, T18, R7E, BATH TOWNSHIP, ALLEN COUNTY, OHIO	
DATE	DRAWN BY	CHECKED BY
9-14-2004	D.J.D.	B.J.C.

University Heights Condominiums #26, Phase 2

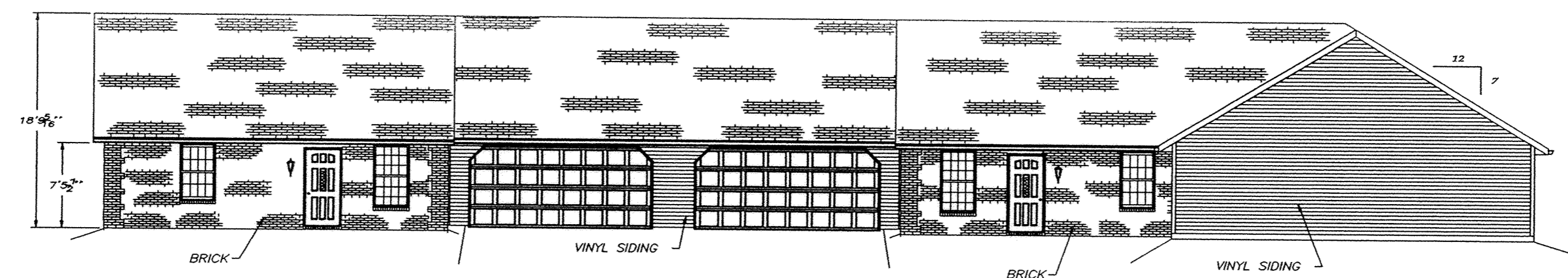
6
7



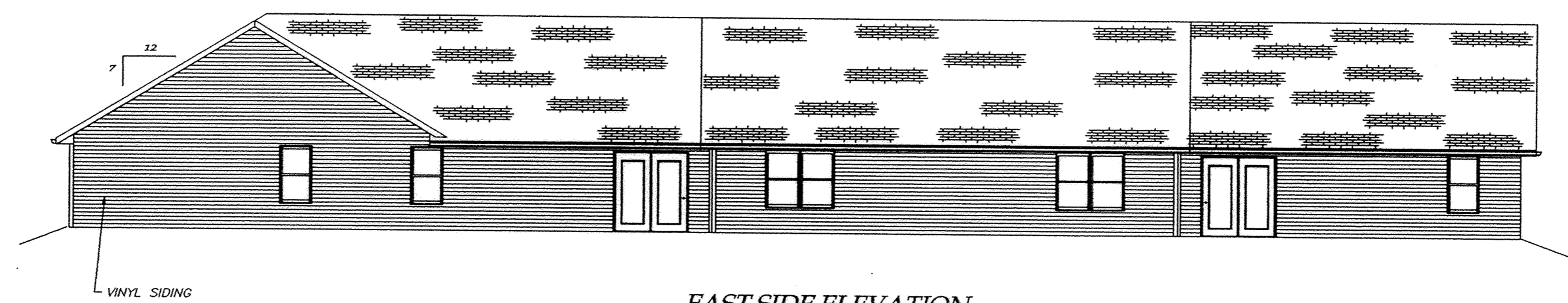
NORTH END ELEVATION



SOUTH END ELEVATION



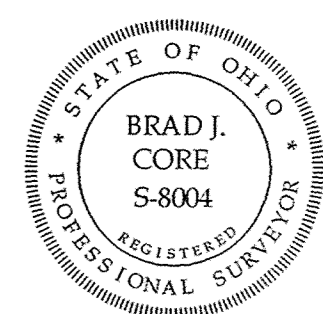
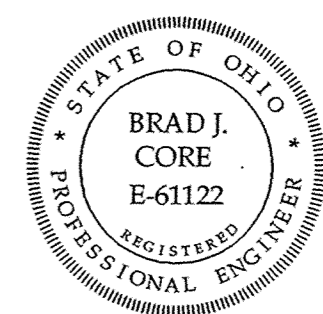
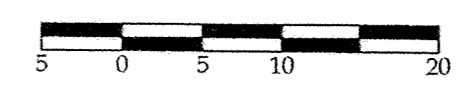
WEST SIDE ELEVATION



EAST SIDE ELEVATION

Elevations Building No. 15

SCALE: 1" = 10'

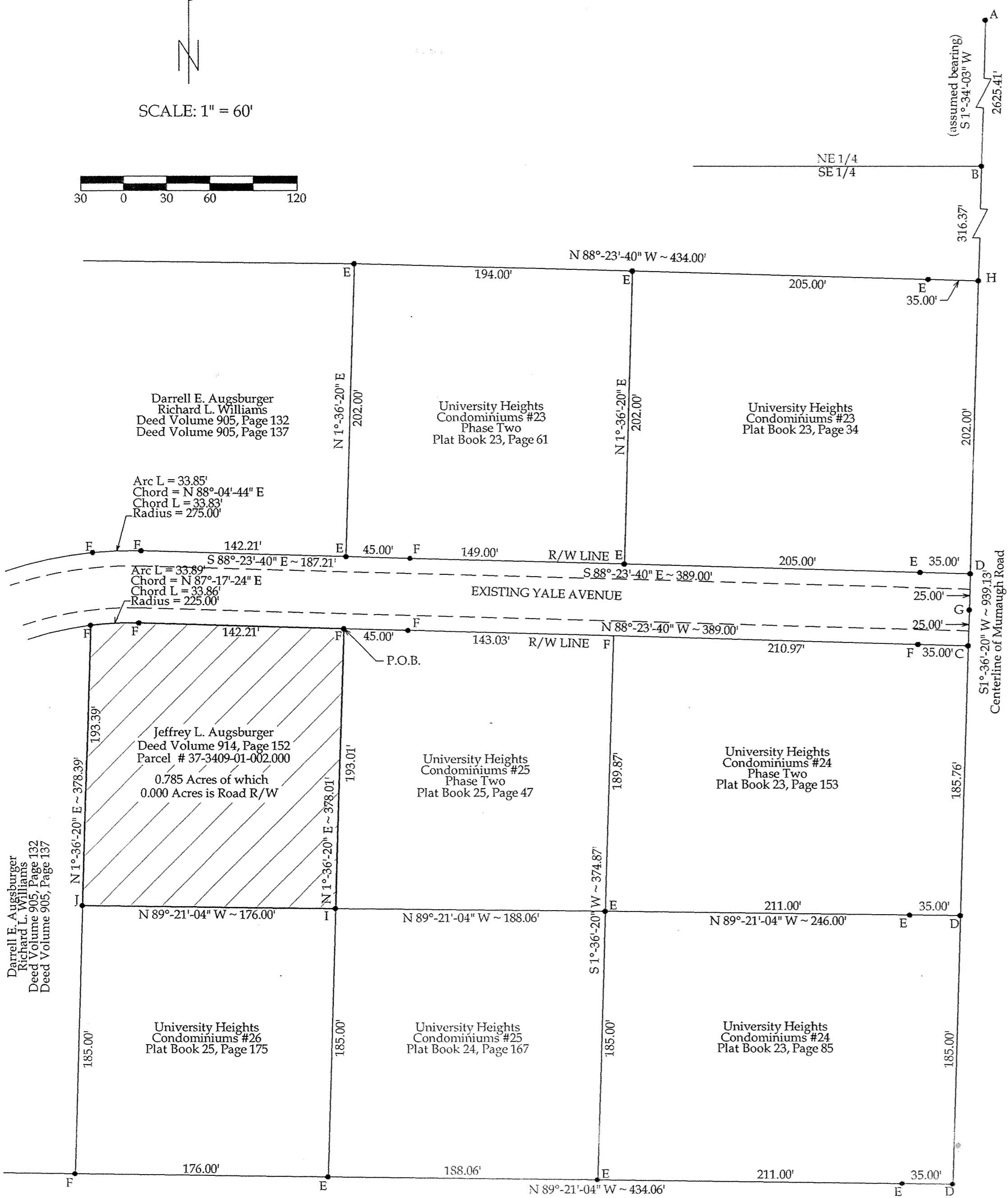
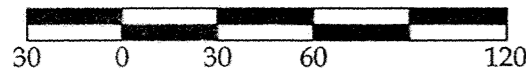


Brad J. Core

ENGINEER:
CORE CONSULTING
A Division of Materials Testing, Inc.
1660 S. Defiance Trail
Spencerville, Ohio 45887
(419) 647-6163

REVISED	ELEVATIONS	
	UNIVERSITY HEIGHTS CONDOMINIUMS #26, PHASE 2	
	S.E. 1/4, SECTION 34, T35, R7E, BATH TOWNSHIP, ALLEN COUNTY, OHIO	
DATE:	9-14-2004	BY: D.J.D. B.J.C.

SCALE: 1" = 60'



PLAT OF DEDICATOR'S LAND FOR UNIVERSITY HEIGHTS CONDOMINIUMS #26, PHASE 2

Being a part of Parcel # 37-3409-01-002.000 situated in the SE 1/4 of Section 34, T3S, R7E, Bath Township, Allen County, Ohio, as referenced in prior Deed Volume 914, Page 152 and more particularly described as follows:

Commencing at a monument box found at the NE corner of Section 34 (intersection of the centerlines of Reservoir Road and Mumaugh Road; thence S 1°-34'-03" W (assumed bearing) on the centerline of Mumaugh Road and the east line of the NE 1/4 of Section 34, 2,625.41' to an existing Railroad Spike at the NE corner of the SE 1/4 of Section 34, thence S 1°-36'-20" W, on the centerline of Mumaugh Road and the east line of the SE 1/4 of Section 34, 568.37' to an existing PK Nail at the intersection of said fractional section line and the south line of Yale Avenue, thence N 88°-23'-40" W on the south line of Yale Avenue, 434.00' to an existing #5 rebar at the POINT OF BEGINNING, thence the following courses:

1. S 1°-36'-20" W, 193.01' to an existing #5 rebar;
2. N 89°-21'-04" W, 176.00' to a set #5 rebar;
3. N 1°-36'-20" E, 193.39' to a set #5 rebar;
4. Northeasterly on the arc of a curve to the right, 33.86' to a set #5 rebar, said curve having a radius of 225.00' and a chord bearing and distance of N 87°-17'-24" E, 33.86';
5. S 88°-23'-40" E, 142.21' the POINT OF BEGINNING.

The above-described parcel contains 0.785 acres, more or less, of which 0.000 acres is occupied by road right-of-way. This parcel is subject to all legal highways and easements of record.

The system of bearings for this legal description assumes the east line of the NE 1/4 of Section 34, also being the centerline of Mumaugh Road, as S 1°-34'-03" W. This legal description and accompanying plat represent an actual boundary survey completed under the direct supervision of Brad J. Core, P.S. #8004 on January 14, 2004. All markers called for above are in place.

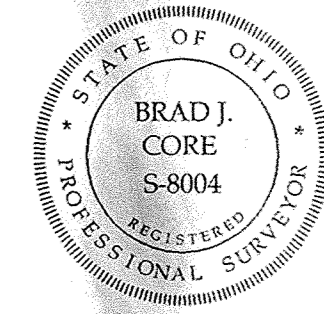
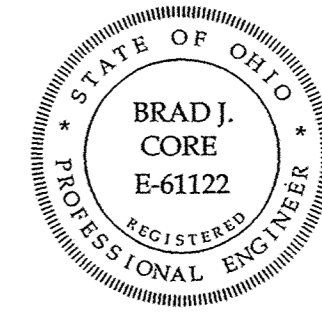
REVIEWED BY:

 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEERS
 DATE: 10/7/04

LEGEND

- A = Monument Box found at the NE corner of Section 34
- B = Railroad Spike found at the NE corner of the SE 1/4 of Sec 34
- C = Existing PK Nail
- D = Existing MAG Nail
- E = Existing 1/2" rebar
- F = Existing #5 rebar
- G = Existing Railroad Spike at the intersection of the centerlines of Mumaugh Road and Yale Avenue
- H = Existing Railroad Spike
- I = #5 rebar removed by Catch Basin
- J = Set #5 rebar

Brad J. Core, P.E., P.S.



ENGINEER/SURVEYOR:

CORE CONSULTING
 A Division of Materials Testing, Inc.
 1660 S. Defiance Trail
 Spencerville, Ohio 45887
 (419) 647-6163

REVISED	DEDICATOR'S PLAT		
	UNIVERSITY HEIGHTS CONDOMINIUMS #26, PHASE 2		
	S.E. 1/4, SECTION 34, T3S, R7E, BATH TOWNSHIP, ALLEN COUNTY, OHIO		
DATE	DRAWN	CHECKED	BY
9-14-2004	D.J.D.		B.J.C.

University Heights Development Company
 Hampton Green Apartments
 Deed Volume 556, Page 46

Darrell E. Augsburger
 Richard L. Williams
 Deed Volume 905, Page 132
 Deed Volume 905, Page 137

Darrell E. Augsburger
 Richard L. Williams
 Deed Volume 905, Page 132
 Deed Volume 905, Page 137

Arc L = 33.85'
 Chord = N 88°-04'-44" E
 Chord L = 33.83'
 Radius = 275.00'

Arc L = 33.89'
 Chord = N 87°-17'-24" E
 Chord L = 33.86'
 Radius = 225.00'

Jeffrey L. Augsburger
 Deed Volume 914, Page 152
 Parcel # 37-3409-01-002.000
 0.785 Acres of which
 0.000 Acres is Road R/W

Darrell E. Augsburger
 Richard L. Williams
 Deed Volume 905, Page 132
 Deed Volume 905, Page 137

University Heights Condominiums #26
 Plat Book 25, Page 175

University Heights Condominiums #25
 Plat Book 24, Page 167

University Heights Condominiums #25
 Phase Two
 Plat Book 25, Page 47

University Heights Condominiums #24
 Phase Two
 Plat Book 23, Page 153

University Heights Condominiums #24
 Plat Book 23, Page 85

750 HIGH STREET PROFESSIONAL BUILDING CONDOMINIUM

ST. RITA'S MEDICAL CENTER, LIMA, OHIO

Architectural

Civil



Engberg Anderson Design
Partnership, Inc.

611 North Broadway
Suite 517
Milwaukee, Wisconsin 53202

Ph 414-944-9000
Fx 414-944-9100

Kohli & Kaliher
Associates, Inc.

311 E. Market Street
Lima, Ohio 45801

Ph 419-227-1135
Fx 419-227-4674

- Title Sheet
- Property Map
- First Floor Plan
- Second Floor Plan
- Third Floor Plan
- Fourth Floor Plan
- Roof Plan
- Exterior Elevations
- Exterior Elevations
- Building Sections
- Building Sections
- Wall Sections
- Wall Sections
- Enlarged Stair and Elevator Sections
- Canopy Details
- Canopy Details
- Canopy Details
- Canopy Details
- Transformer Pad Details

COUNTY RECORDERS CERTIFICATE

No. 200420210
Filed for record in the Allen County, Ohio, Recorder's Office this 13th day
of Oct., 2004 at 3:53 P.M. and recorded in Allen County, Ohio,
Plat Book 26 on Page 67.
Fee: 786.60

Edward P. Keik
Recorder of Allen County, Ohio *by MH*

See Deed Vol 932 Pg 530



CERTIFICATION

We, Keith Anderson, Registered Architect, State of Ohio No. 11790, and Michael G. Buettner, Registered Surveyor, State of Ohio No. 6881 do hereby certify that the drawings herein, consisting of sheets numbered 1 through 19 of 19, correctly represent the location, dimensions and configurations of the 750 HIGH STREET PROFESSIONAL BUILDING CONDOMINIUM, as it existed on the date shown.

Dated at Milwaukee, Wisconsin, September 28, 2004

ENGBERG ANDERSON DESIGN PARTNERSHIP, INC.

By *Keith Anderson*
Registered Architect No. 11790

Dated at Lima, Ohio, September 29, 2004

KOHLI & KALIHAR ASSOCIATES, INC.

By *Michael G. Buettner*
Registered Surveyor No. 6881



CONDOMINIUM AREA DESCRIPTION

W. NORTH STREET (66')

Part of Lots 869, 878, 879, 880 and 881 of Haller & Baxter's Addition (Plat Book 1, Page 65) and Part of Lots 2046, 2047, 2048 and 2049 of Orson Cook Addition (Plat Book 2, Page 224) and Part of Outlot 85 of Baxter & Cherry Addition (Plat Book 1, Page 18) in the City of Lima, Allen County, Ohio, together described by metes and bounds as follows:

Commencing at a 3/4" iron pipe of record at the intersection of the north line of W. High Street and the east line of vacated N. Baxter Street (Vacated 4-2-96 by Ordinance #38-96; see Deed Volume 815, Page 109, and Plat Book 22, Page 25);
thence easterly with said north line of W. High Street at N 89°56'36"E, 281.45 feet;
thence northerly and into said Lot 869 at N 00°00'00"E, 40.32 feet to a Mag Nail (set) at the southwest corner of the area herein described, and the POINT OF BEGINNING;
thence continuing northerly at N 00°00'00"E, 81.91 feet to an iron pipe (set);
thence northwesterly and at a 45° angle to the previous course at N 45°00'00"W, 14.47 feet (point falls in building);
thence northerly and at a 45° angle to the previous course at N 00°00'00"E, 39.08 feet (point falls in building);
thence northeasterly and at a 45° angle to the previous course at N 45°00'00"E, 14.47 feet to an iron pipe (set);
thence easterly and at a 45° angle to the previous course at N 90°00'00"E, 11.14 feet to an iron pipe (set);
thence northerly and at a right angle to the previous course at N 00°00'00"E, 43.56 feet to a Mag Nail (set);
thence easterly and at a right angle to the previous course at N 90°00'00"E, 41.17 feet to a Mag Nail (set);
thence northerly and at a right angle to the previous course at N 00°00'00"E, 129.92 feet to a Mag Nail (set);
thence easterly and at a right angle to the previous course at N 90°00'00"E, 106.50 feet to an iron pipe (set);
thence southerly and at a right angle to the previous course at S 00°00'00"W, 97.47 feet to a Mag Nail (set);
thence easterly and at a right angle to the previous course at N 90°00'00"E, 24.85 feet to a Mag Nail (set);
thence southerly and at a right angle to the previous course at S 00°00'00"W, 84.00 feet to a Mag Nail (set);
thence westerly and at a right angle to the previous course at S 90°00'00"W, 24.85 feet to a Mag Nail (set);
thence southerly and at a right angle to the previous course at S 00°00'00"W, 85.03 feet to a Mag Nail (set);
thence westerly and at a right angle to the previous course at S 90°00'00"W, 128.47 feet to a Mag Nail (set);
thence southerly and at a right angle to the previous course at S 00°00'00"W, 48.44 feet to a Mag Nail (set);
thence westerly and at a right angle to the previous course at S 90°00'00"W, 30.34 feet to the POINT OF BEGINNING.

The area described contains 39,103 square feet, or 0.898 acres, subject to all legal easements or restrictions of record. All of this 0.898 acres is within present Tax Parcel #36-3605-17-004.000.

This description is based on surveying work performed in this area thru September 27, 2004, by Kohli & Kaliher Associates, Inc. Bearings are based on an assumed cardinal bearing for the north line of W. High Street in the block between N. Baxter Street and N. Collett Street. Iron pipes set this survey are 3/4-inch diameter by 30-inch long iron pipes with an orange plastic "K&K/LIMA" plug.

Michael C. Buettner
Michael C. Buettner
Ohio Registered Surveyor No. 6881

REVIEWED BY:
M. How
MICHAEL L. HOWERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 10/12/04

EASEMENT AREA DESCRIPTION

Part of Lot 869 of Haller & Baxter's Addition (Plat Book 1, Page 65) and Part of Lots 2046, 2047 and 2048 of Orson Cook Addition (Plat Book 2, Page 224) and Part of Outlot 85 of Baxter & Cherry Addition (Plat Book 1, Page 18) in the City of Lima, Allen County, Ohio, together described by metes and bounds as follows:

Commencing at a 3/4" iron pipe of record at the intersection of the north line of W. High Street and the east line of vacated N. Baxter Street (Vacated 4-2-96 by Ordinance #38-96; see Deed Volume 815, Page 109, and Plat Book 22, Page 25);

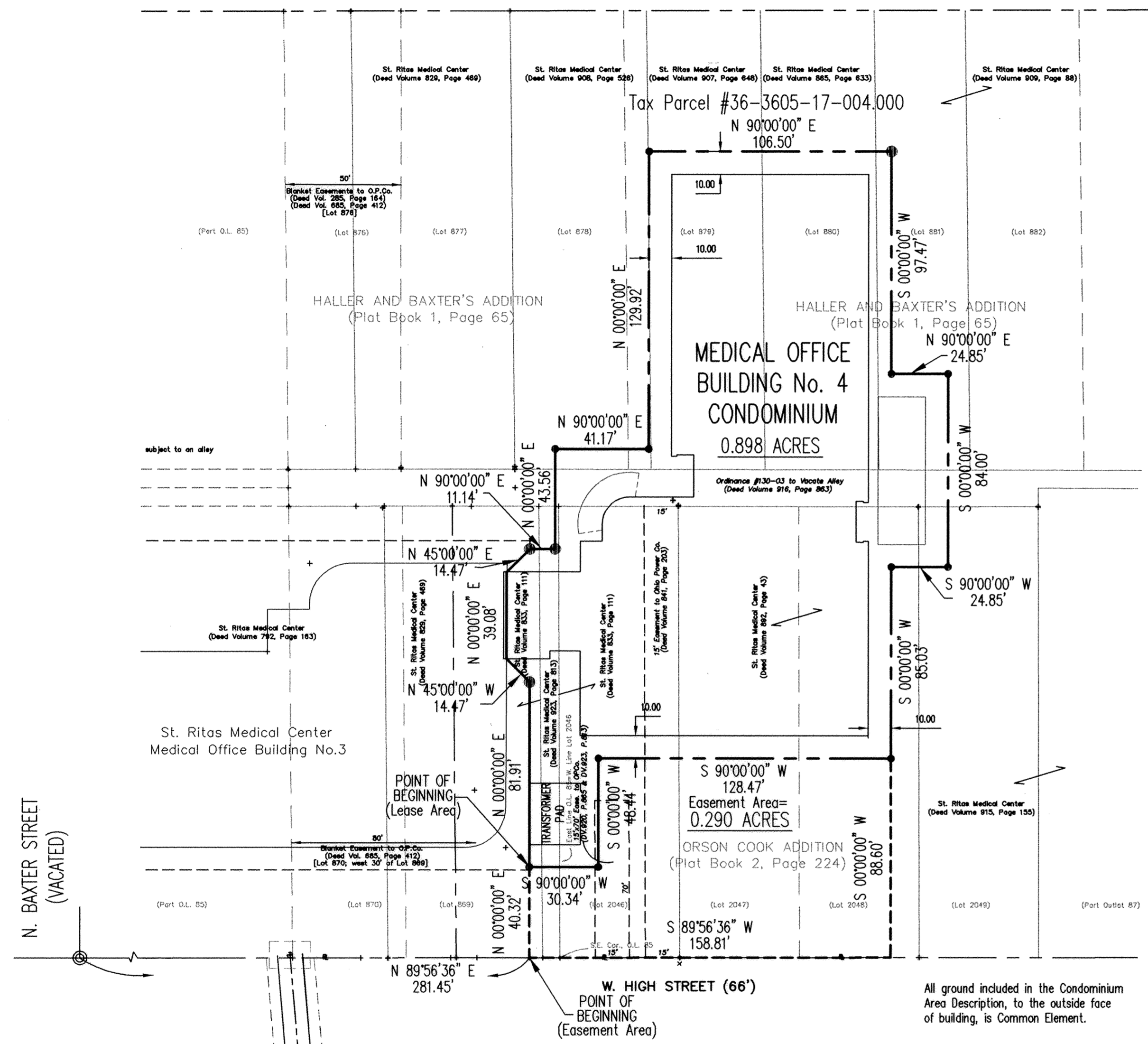
thence easterly with said north line of W. High Street at N 89°56'36"E, 281.45 feet, to the southwest corner of the area herein described, and the POINT OF BEGINNING;
thence northerly and into said Lot 869 at N 00°00'00"E, 40.32 feet;
thence easterly and at a right angle to the previous course at N 90°00'00"E, 30.34 feet;
thence northerly and at a right angle to the previous course at N 00°00'00"E, 48.44 feet;
thence easterly and at a right angle to the previous course at N 90°00'00"E, 128.47 feet;
thence southerly and at a right angle to the previous course at S 00°00'00"W, 88.60 feet to said north line of W. High Street;
thence westerly with said north line of W. High Street at S 89°56'36"W, 158.81 feet to the POINT OF BEGINNING.

The area described contains 12,614 square feet, or 0.290 acres, subject to all legal easements or restrictions of record.

This description is based on surveying work performed in this area thru September 27, 2004, by Kohli & Kaliher Associates, Inc. Bearings are based on an assumed cardinal bearing for the north line of W. High Street in the block between N. Baxter Street and N. Collett Street.

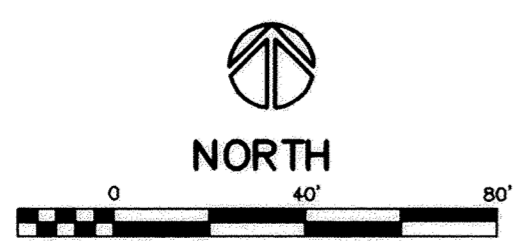
Michael C. Buettner
Michael C. Buettner
Ohio Registered Surveyor No. 6881

K&K
KOHLI & KALIHAR ASSOCIATES, INC.
ENGINEERS AND SURVEYORS
311 East Market Street, Lima, Ohio 45801 419-227-1135

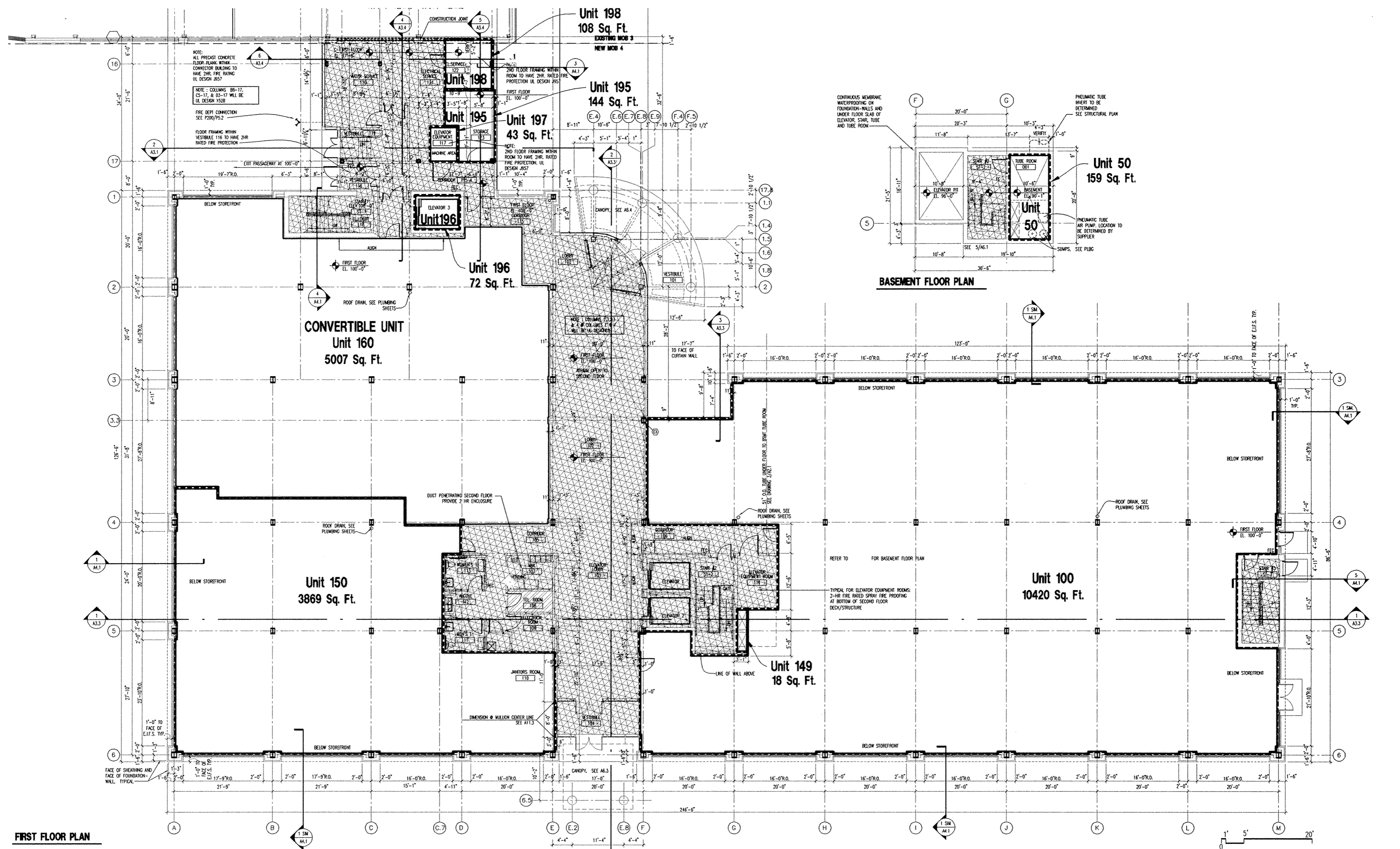


**ST. RITA'S MEDICAL CENTER
MEDICAL OFFICE BUILDING No. 4 - CONDOMINIUM**

Part of Lots 869, 878, 879, 880 and 881 of Haller & Baxter's Addition,
Part of Lots 2046, 2047, 2048 and 2049 of Orson Cook Addition and
Part of Outlot 85 of Baxter & Cherry Addition in the City of Lima, Allen County,



- LEGEND
- ⊙ 3/4" IRON PIPE (FOUND)
 - 3/4 INCH DIAMETER BY 30" LONG IRON PIPE (SET) W/ ORANGE PLASTIC "K&K/LIMA" PLUG
 - MAG NAIL (SET)



FIRST FLOOR PLAN


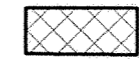

750 HIGH STREET PROFESSIONAL BUILDING CONDOMINIUM

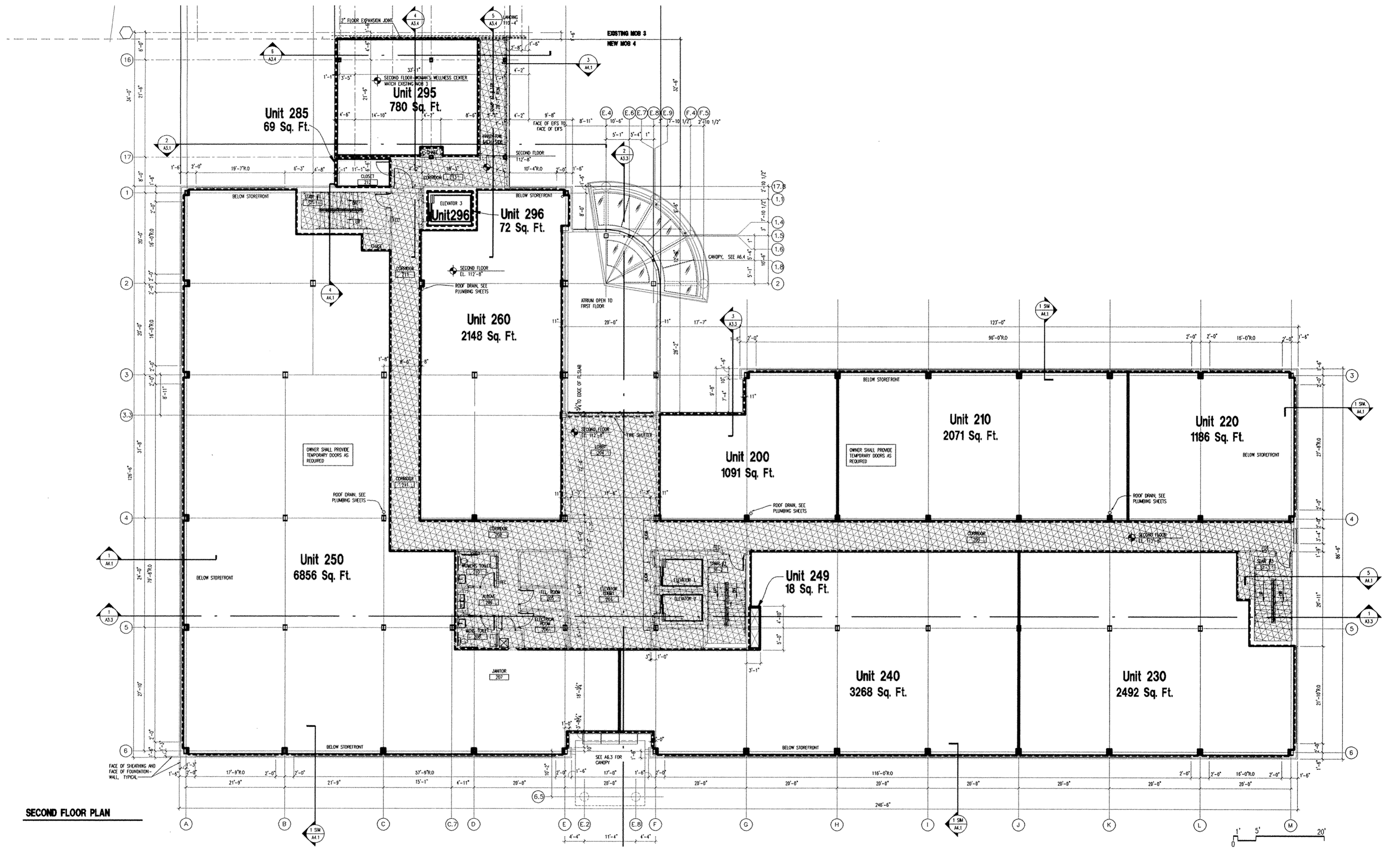
Condominium Documents
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 LIMA, OHIO

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August 30, 2004

USAGE LEGEND

PARTITION WALL	
COMMON ELEMENTS	
LIMITED COMMON ELEMENTS	



750 HIGH STREET PROFESSIONAL BUILDING CONDOMINIUM

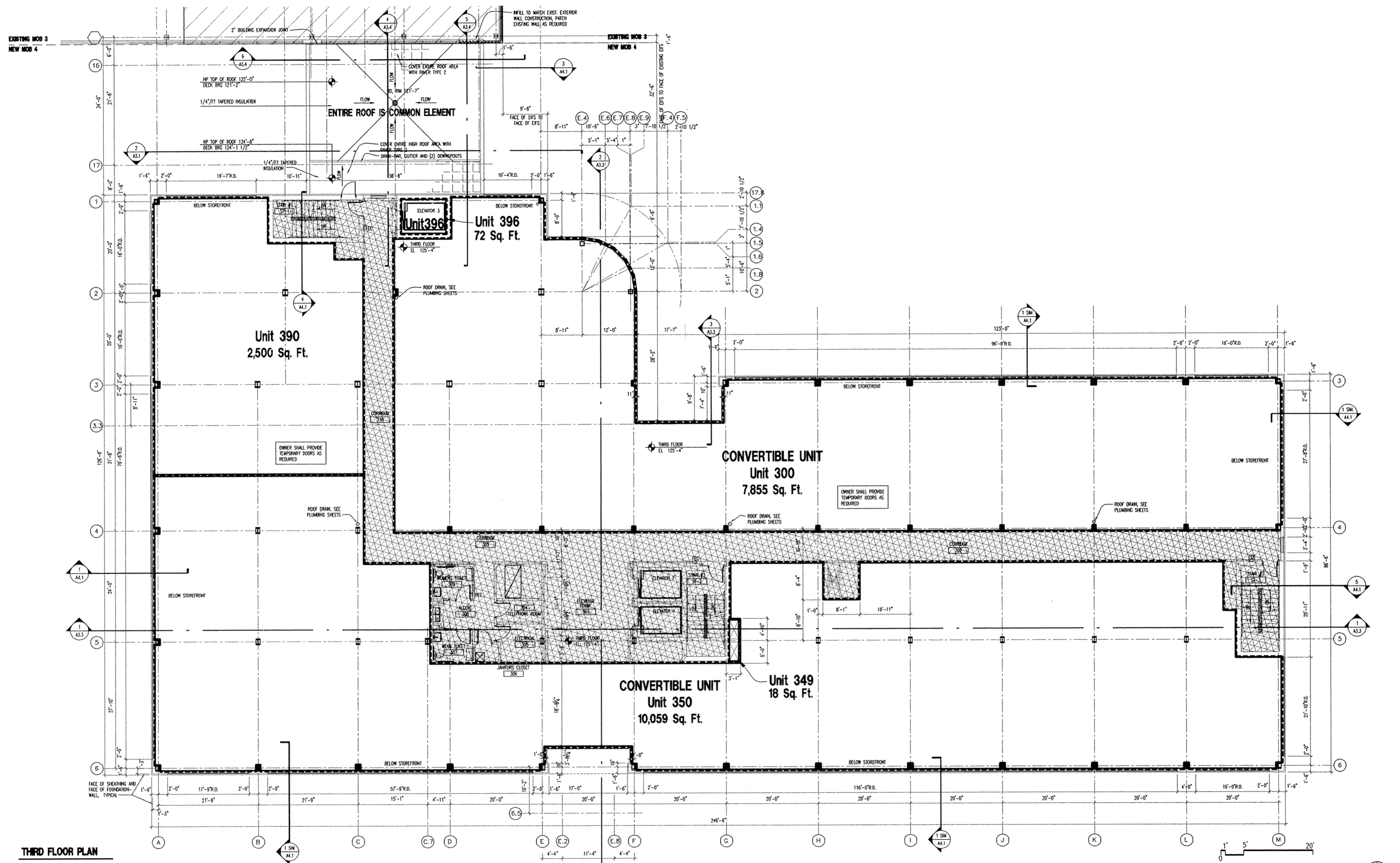
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USAGE LEGEND

- PARTITION WALL
- COMMON ELEMENTS
- LIMITED COMMON ELEMENTS





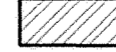
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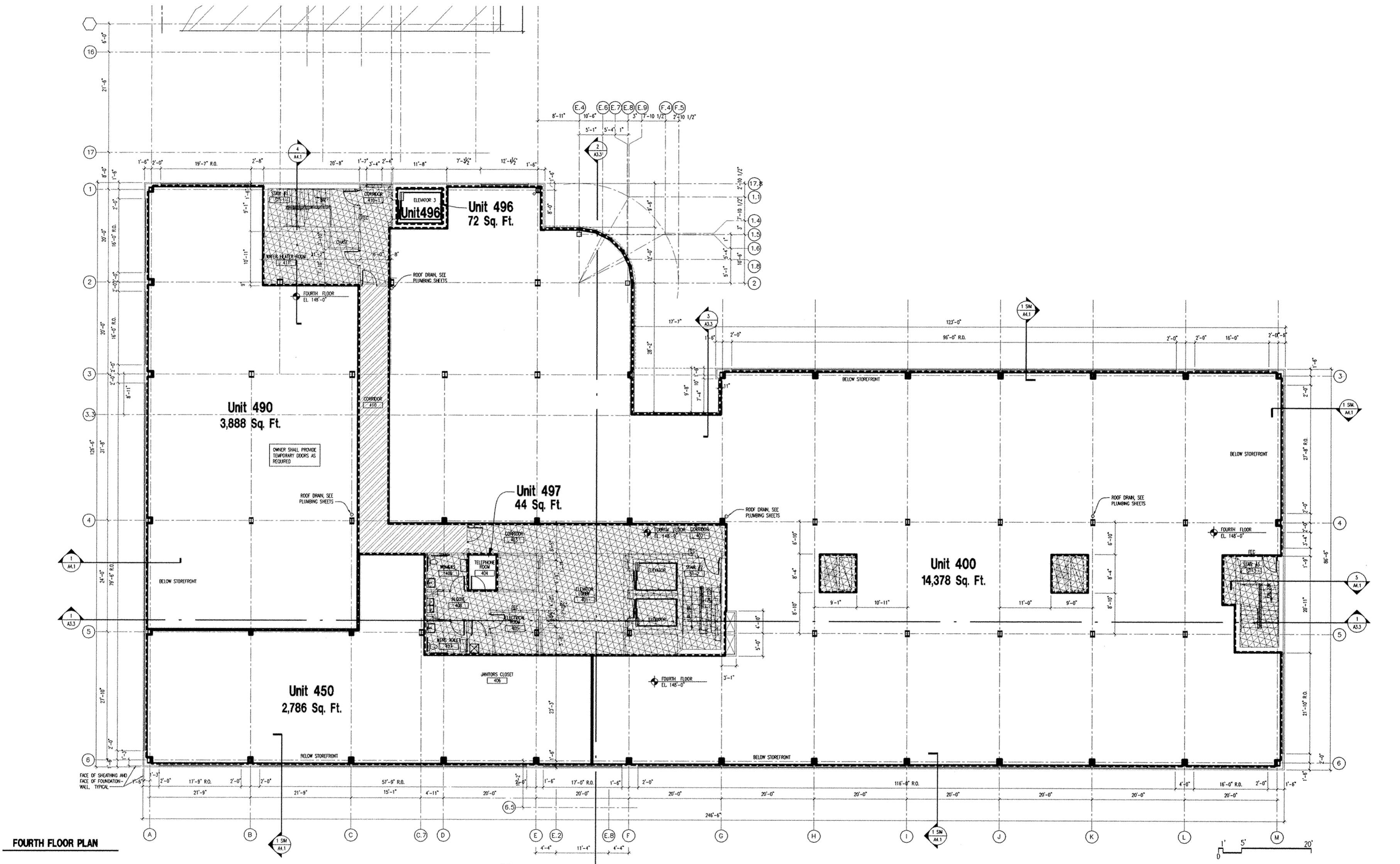
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USAGE LEGEND

PARTITION WALL	
COMMON ELEMENTS	
LIMITED COMMON ELEMENTS	






750 HIGH STREET PROFESSIONAL BUILDING CONDOMINIUM

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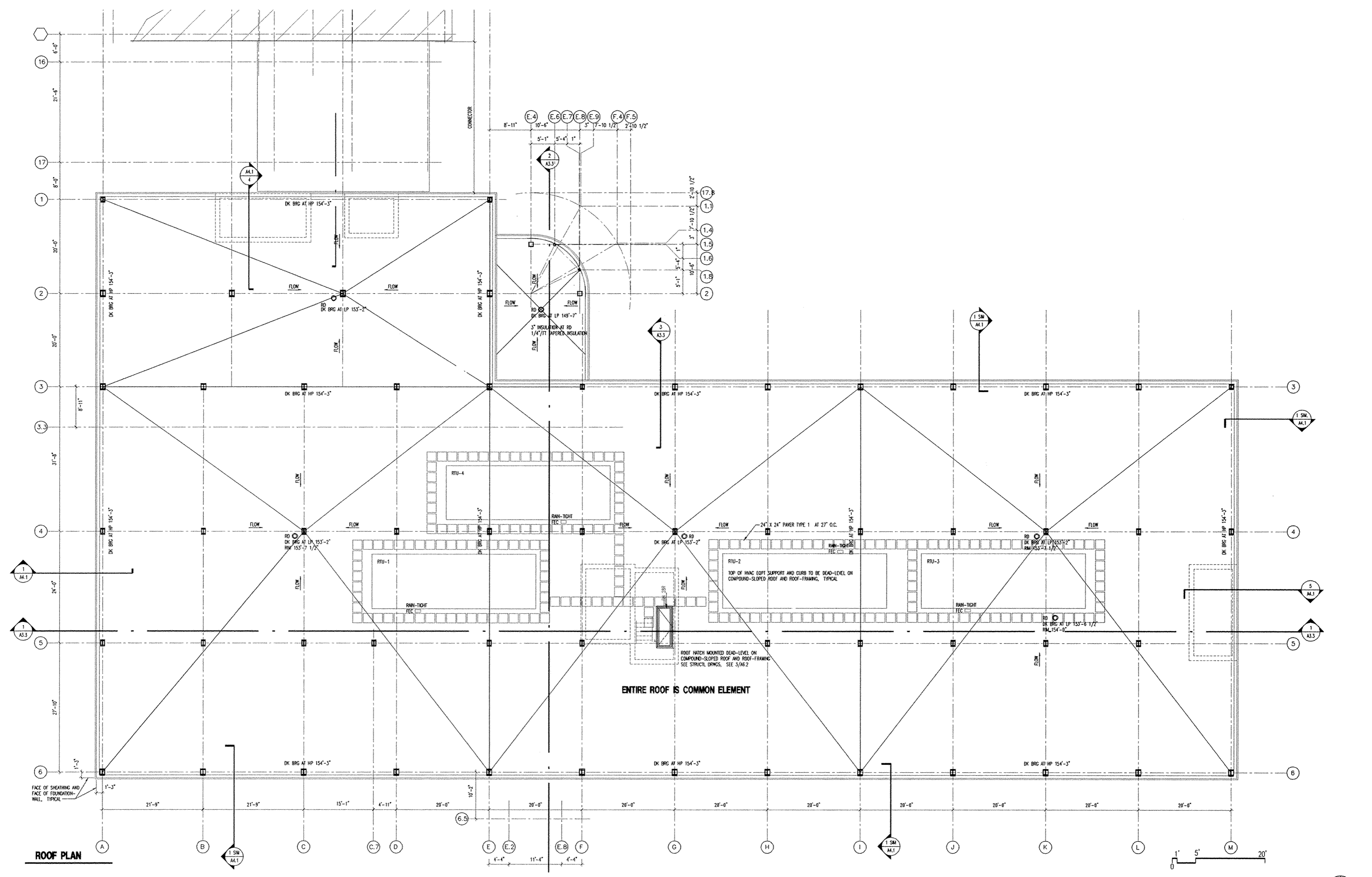
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USAGE LEGEND

- PARTITION WALL 
- COMMON ELEMENTS 
- LIMITED COMMON ELEMENTS 

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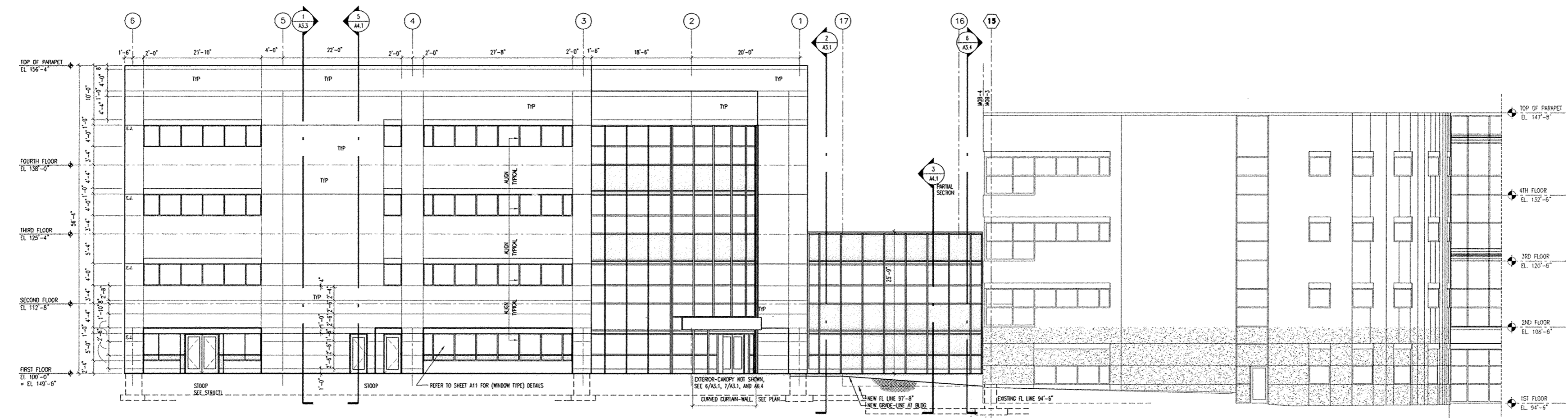


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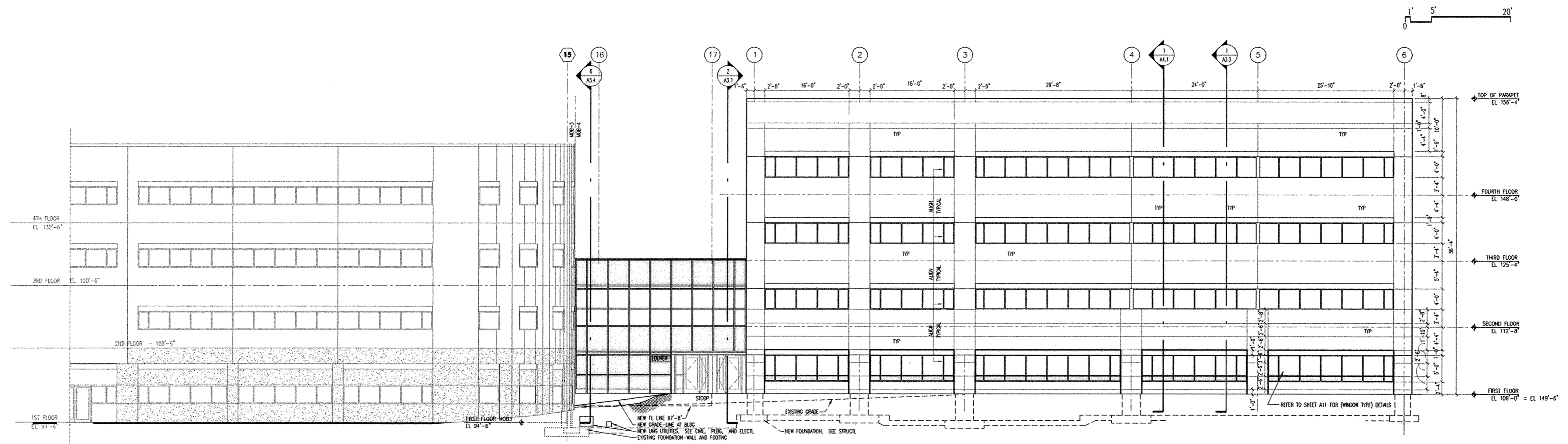
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NORTH ELEVATION



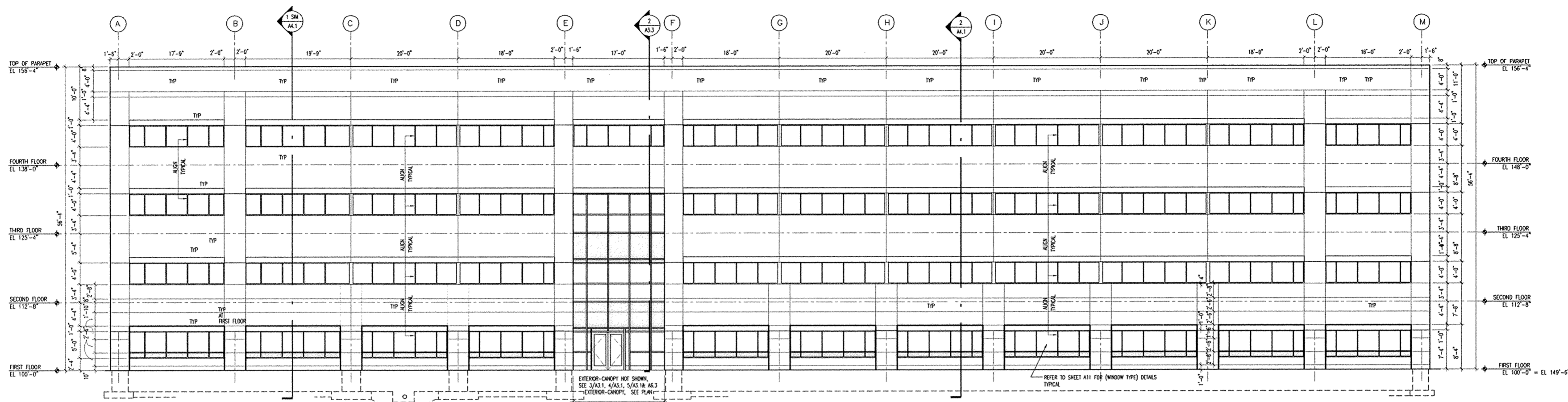
SOUTH ELEVATION

750 HIGH STREET PROFESSIONAL BUILDING CONDOMINIUM

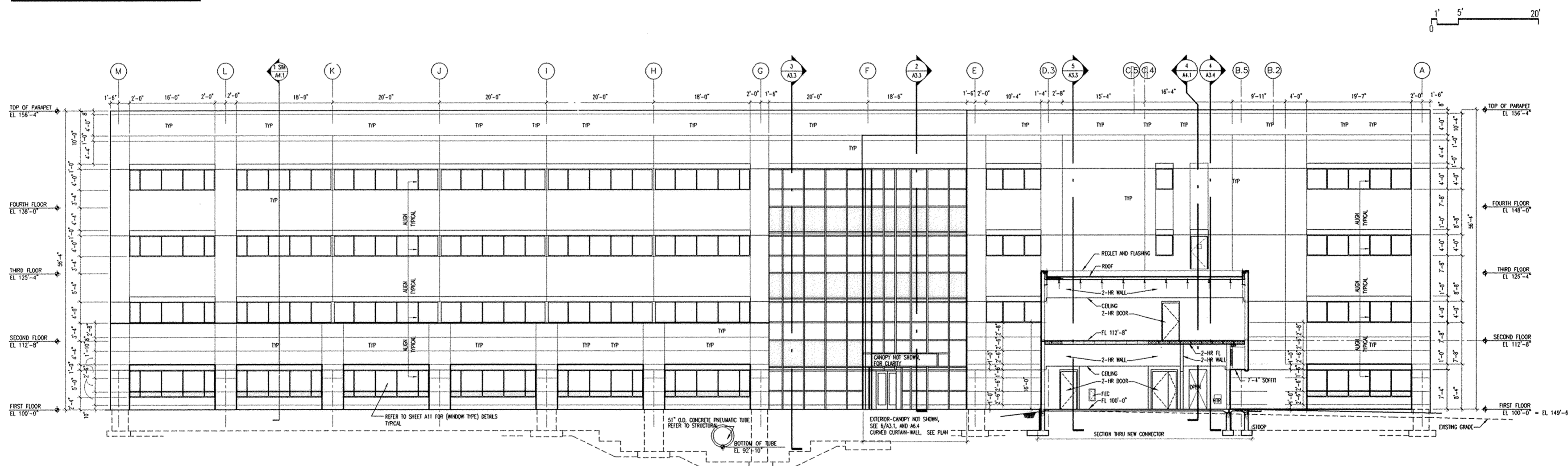
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EAST ELEVATION



WEST ELEVATION

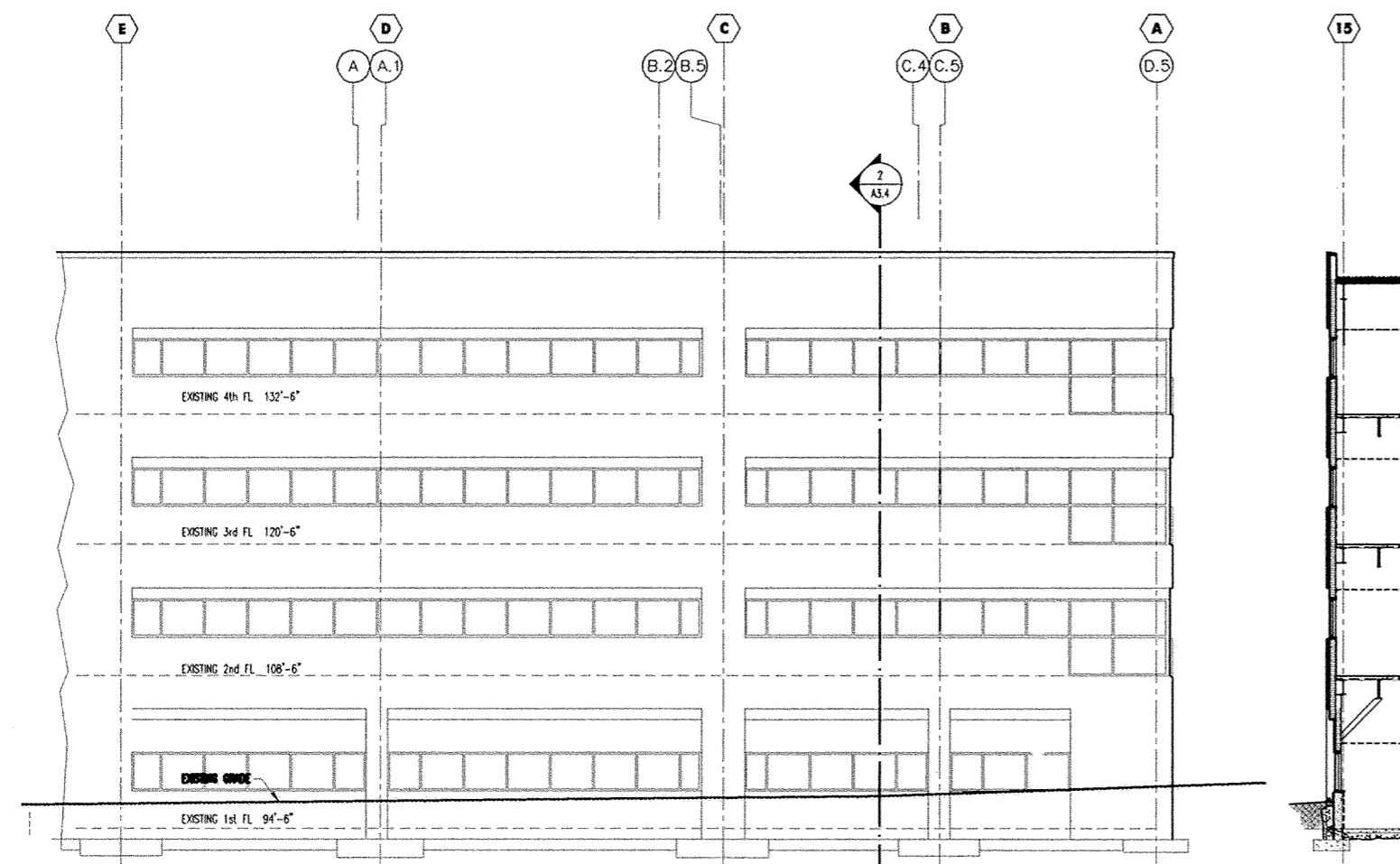
750 HIGH STREET PROFESSIONAL BUILDING CONDOMINIUM

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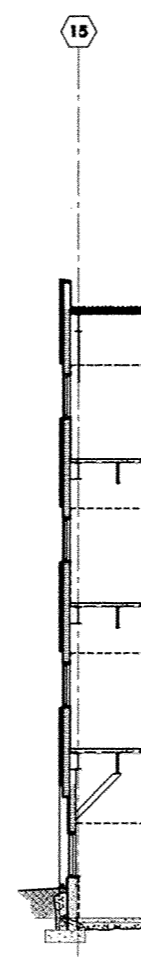
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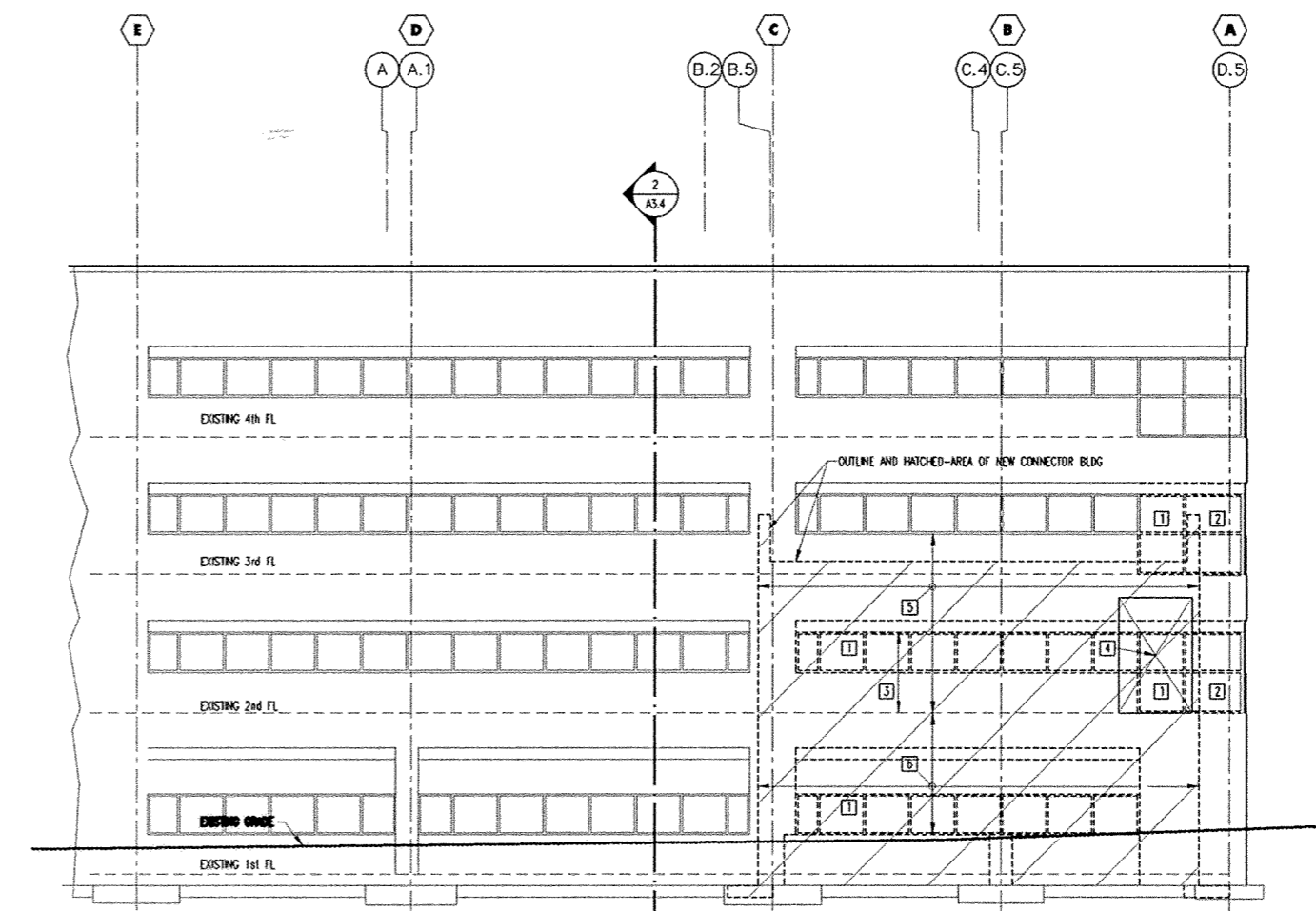
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1/A3.4 PARTIAL ELEVATION OF EXISTING BUILDING MOB 3



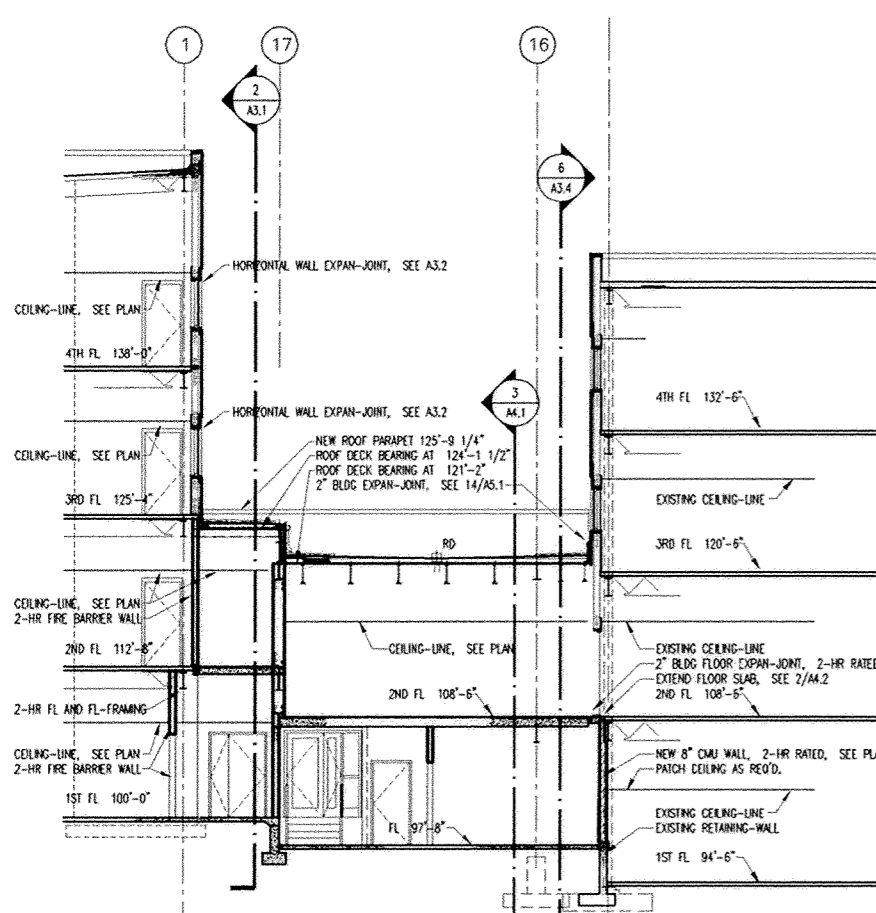
2/A3.4 WALL SECTION- MOB 3



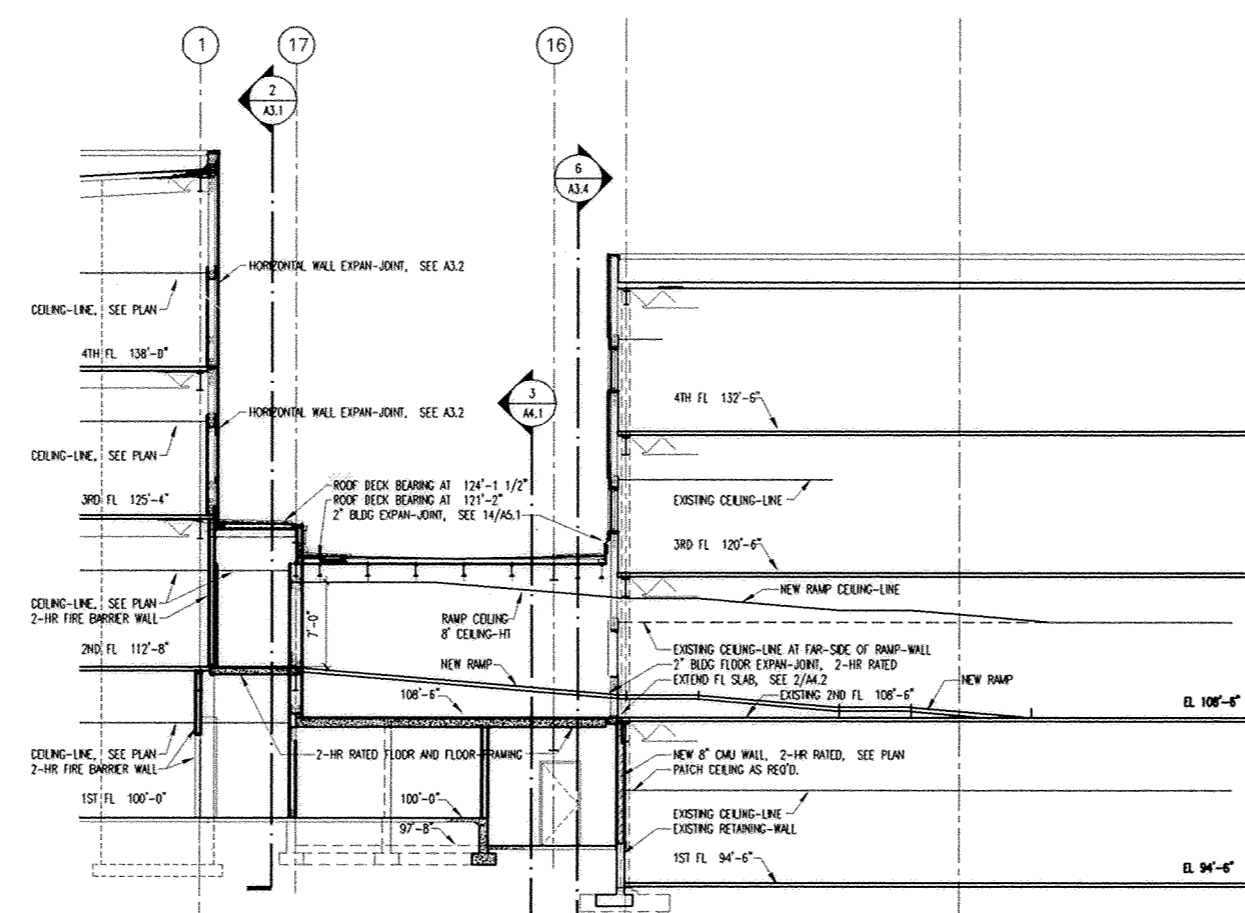
3/A3.4 PARTIAL ELEVATION OF EXISTING BUILDING MOB 3 - DEMOLITION

- DEMOLITION - GENERAL NOTES AND KEYED NOTES
- 1 REMOVE WINDOW
 - 2 SALVAGE WINDOW TO REBUILD TO NEW HARBOR OPENING. SEE 6/A3.4
 - 3 REMOVE STUD-WALL BETWEEN SECOND FLOOR AND SECOND FLOOR WINDOW-HEAD. SEE 6/A3.4 AND 5/A3.2
 - 4 REMOVE STUD-WALL BETWEEN SECOND FLOOR AND APPROX 11" ABOVE SECOND FLOOR-LINE FOR NEW RAMP AND CEILING HEAD-ROOM CLEARANCE. SEE 5/A3.4
 - 5 REMOVE EPS AND SHEATHING BETWEEN SECOND FLOOR AND SILL-LINE OF THIRD FLOOR WINDOW
 - 6 REMOVE STUD WALL

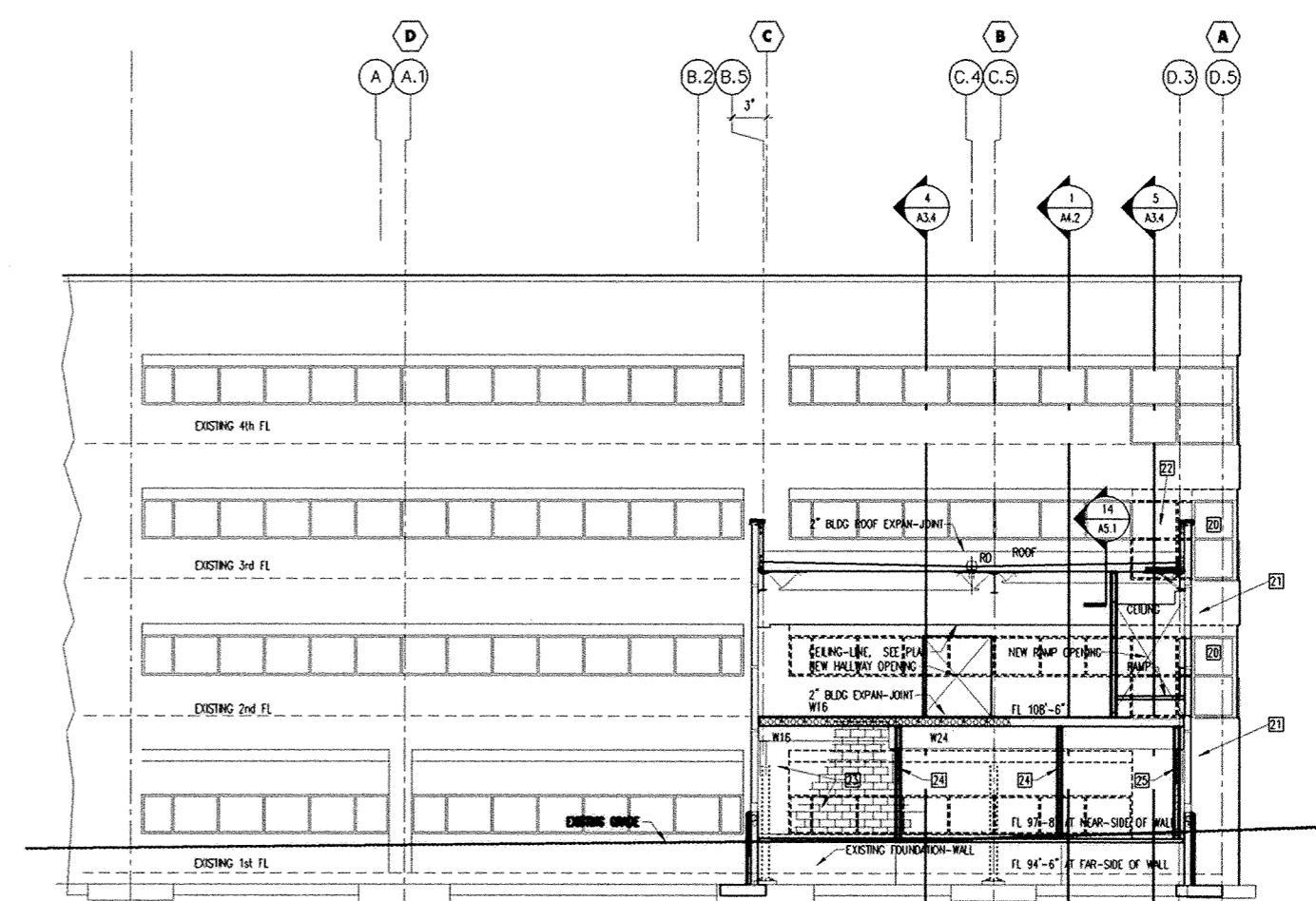
1" 5' 20'



4/A3.4 BUILDING SECTION LOOKING SOUTH



5/A3.4 BUILDING SECTION LOOKING SOUTH



6/A3.4 BUILDING SECTION LOOKING WEST

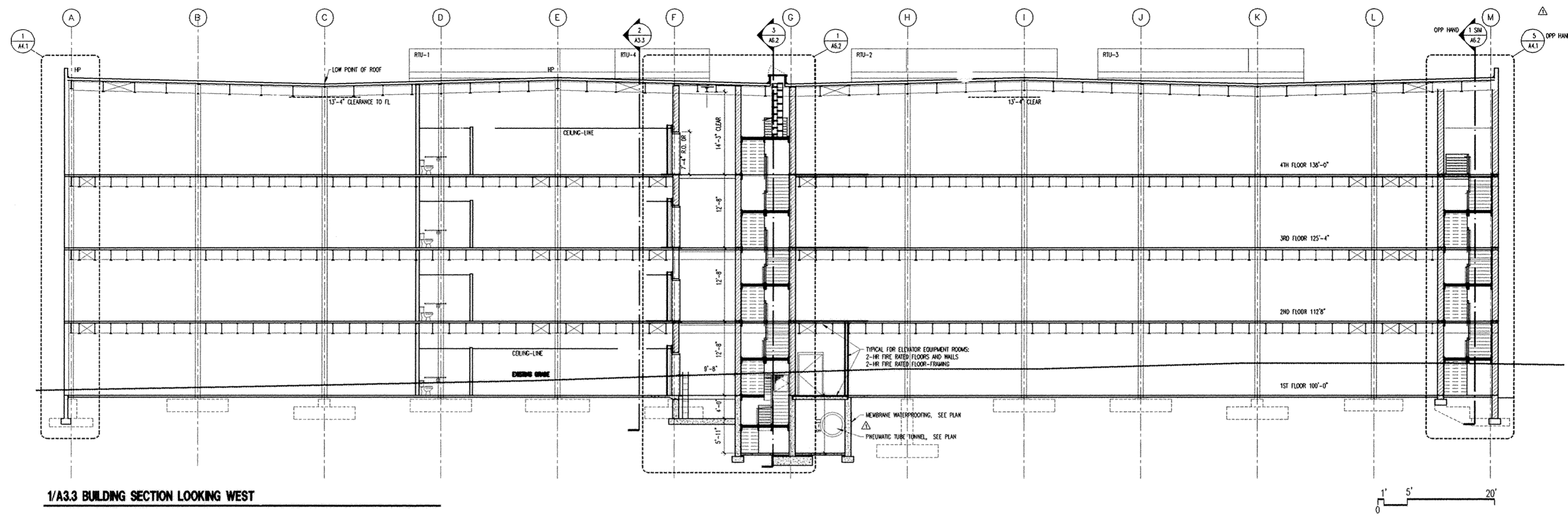
1" 5' 20'

750 HIGH STREET PROFESSIONAL BUILDING CONDOMINIUM

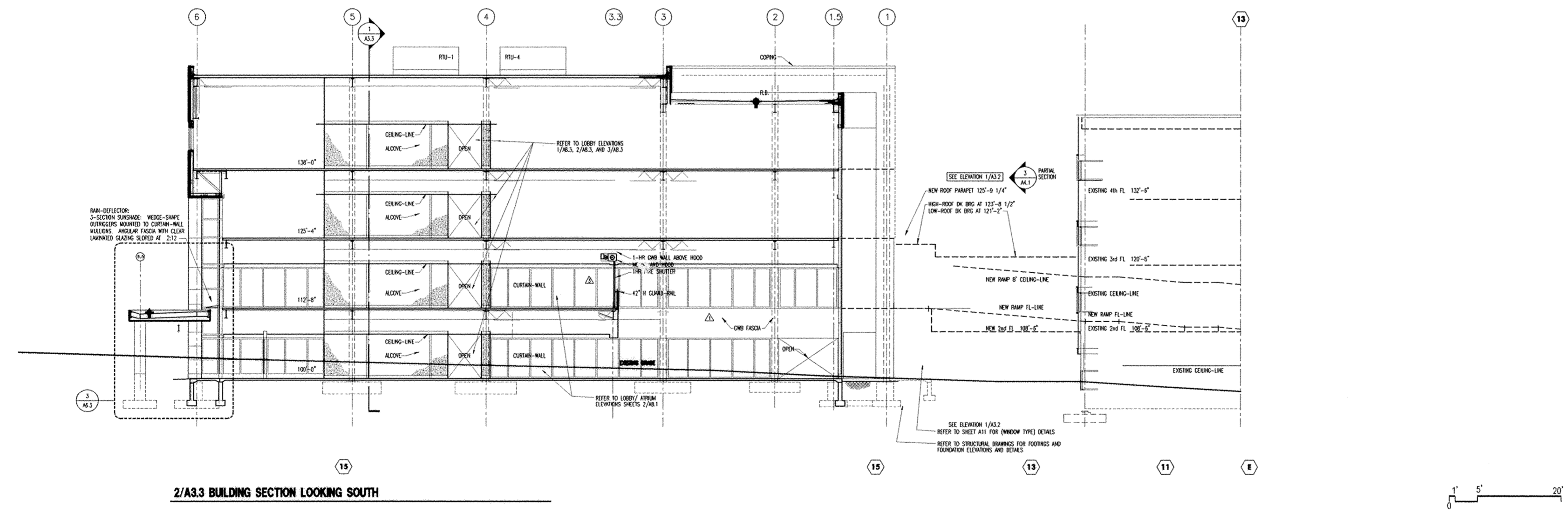
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1/A3.3 BUILDING SECTION LOOKING WEST



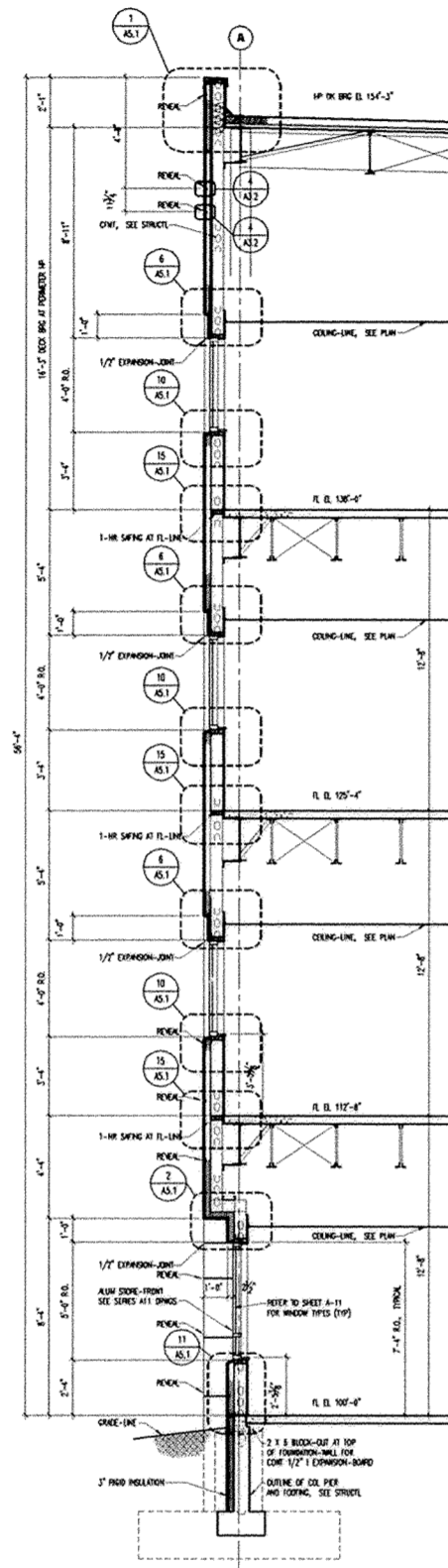
2/A3.3 BUILDING SECTION LOOKING SOUTH

750 HIGH STREET PROFESSIONAL BUILDING CONDOMINIUM

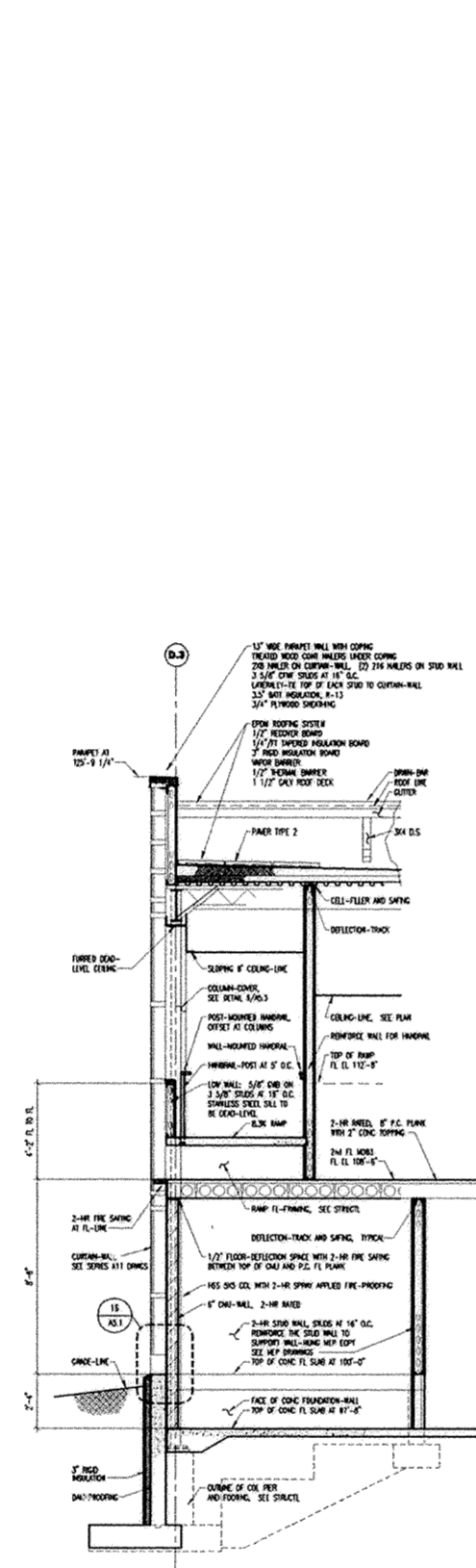
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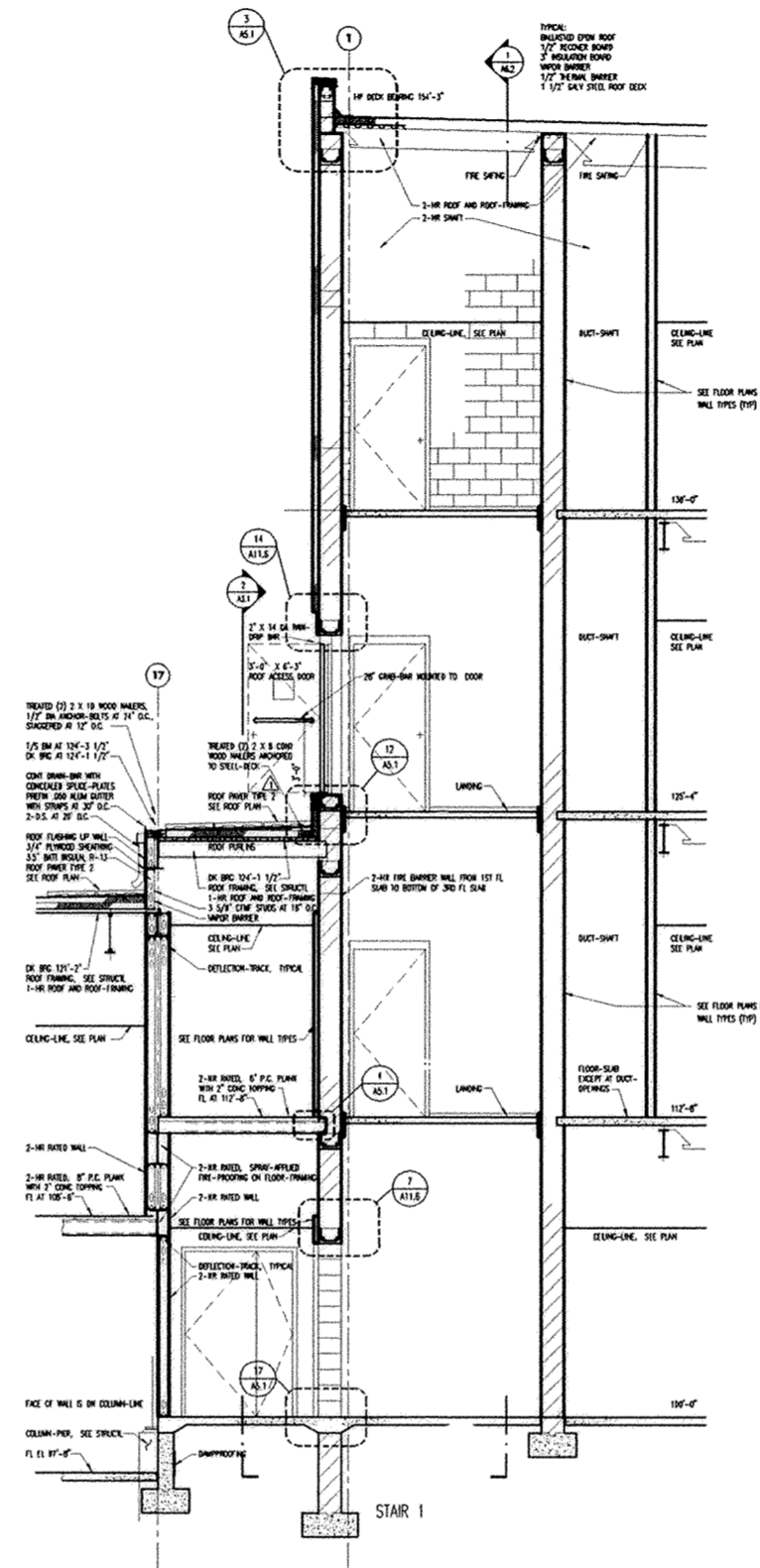
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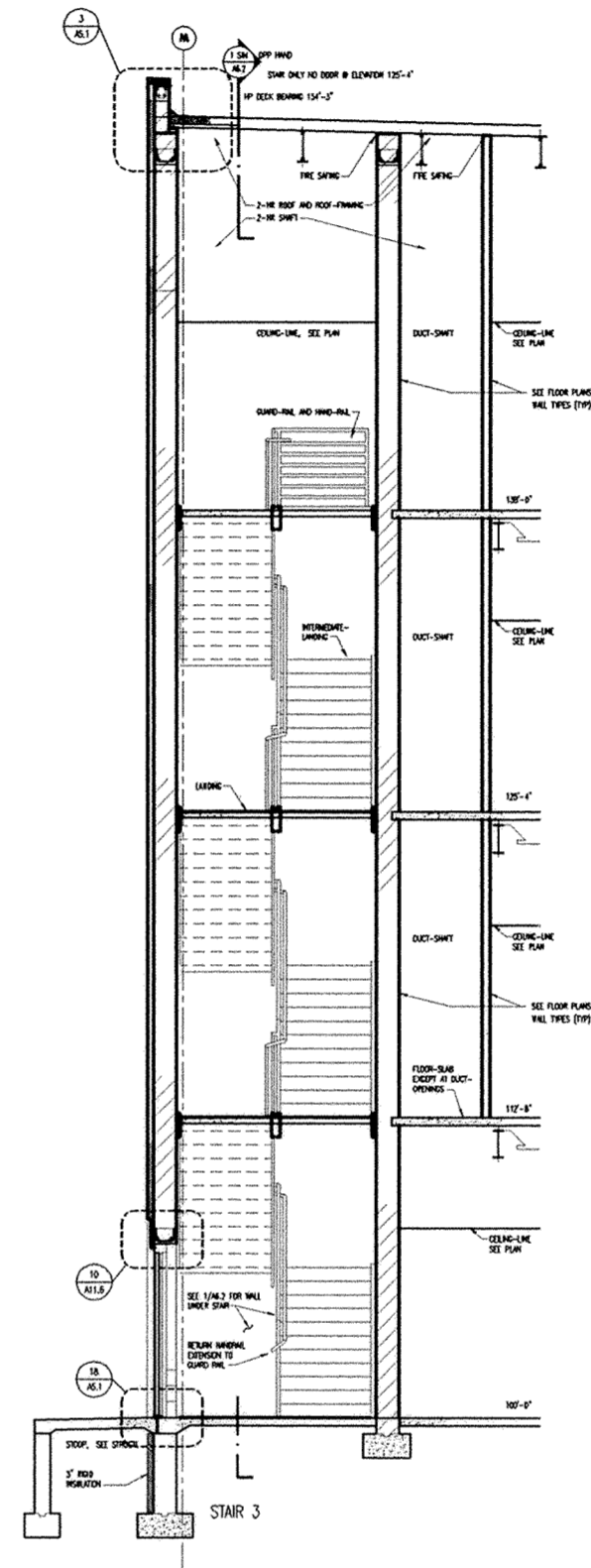
1/A4.1 WALL SECTION LOOKING WEST



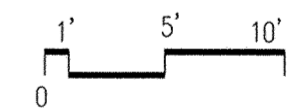
3/A4.1 WALL SECTION LOOKING EAST



4/A4.1 WALL SECTION LOOKING NORTH



5/A4.1 WALL SECTION LOOKING EAST

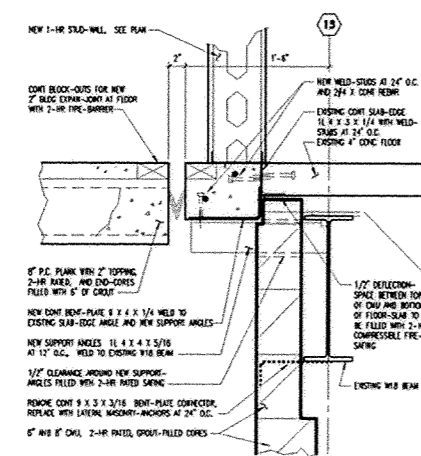


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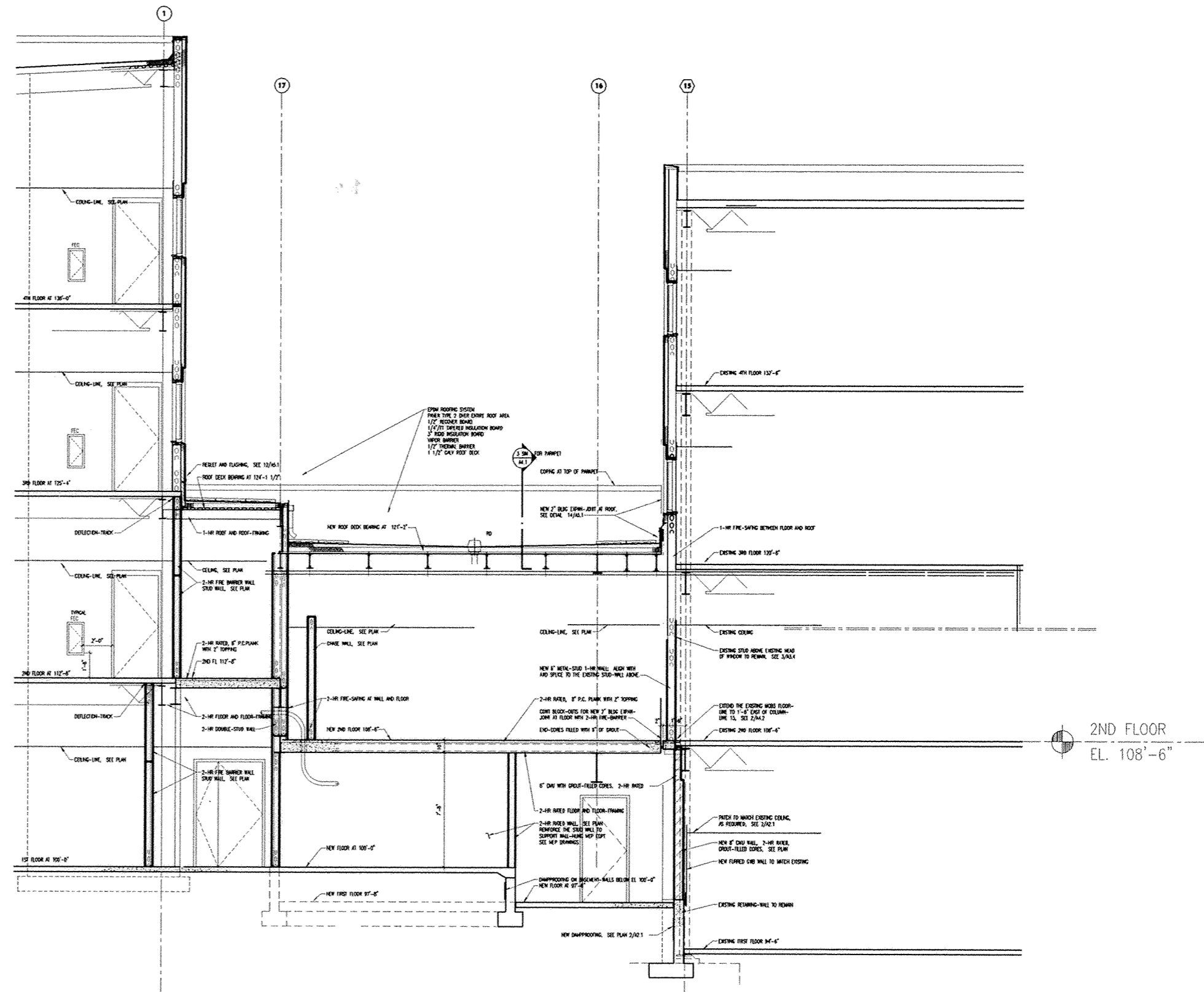
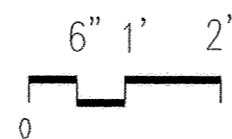
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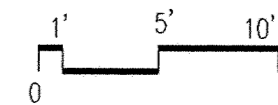
August 30, 2004



2/A4.2 SECTION DETAIL AT FLOOR EXPANSION JOINT



1/A4.2 COMPOSITE BUILDING SECTION LOOKING SOUTH

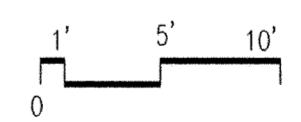
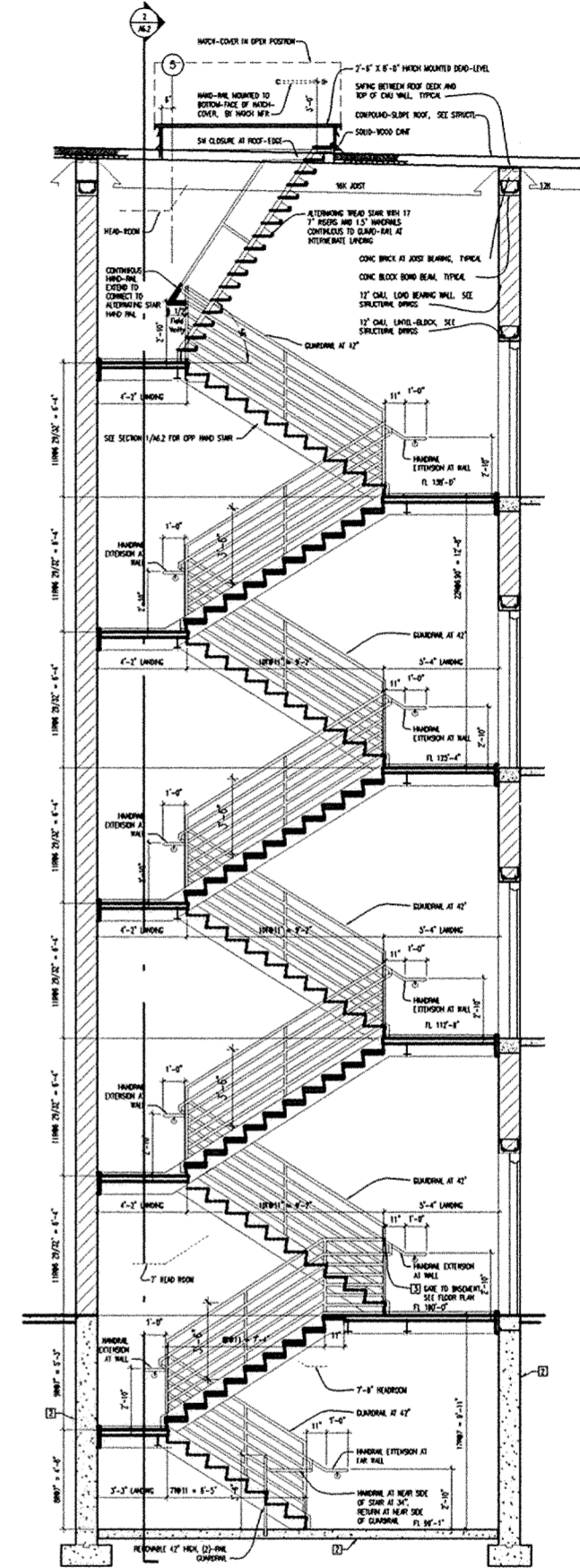
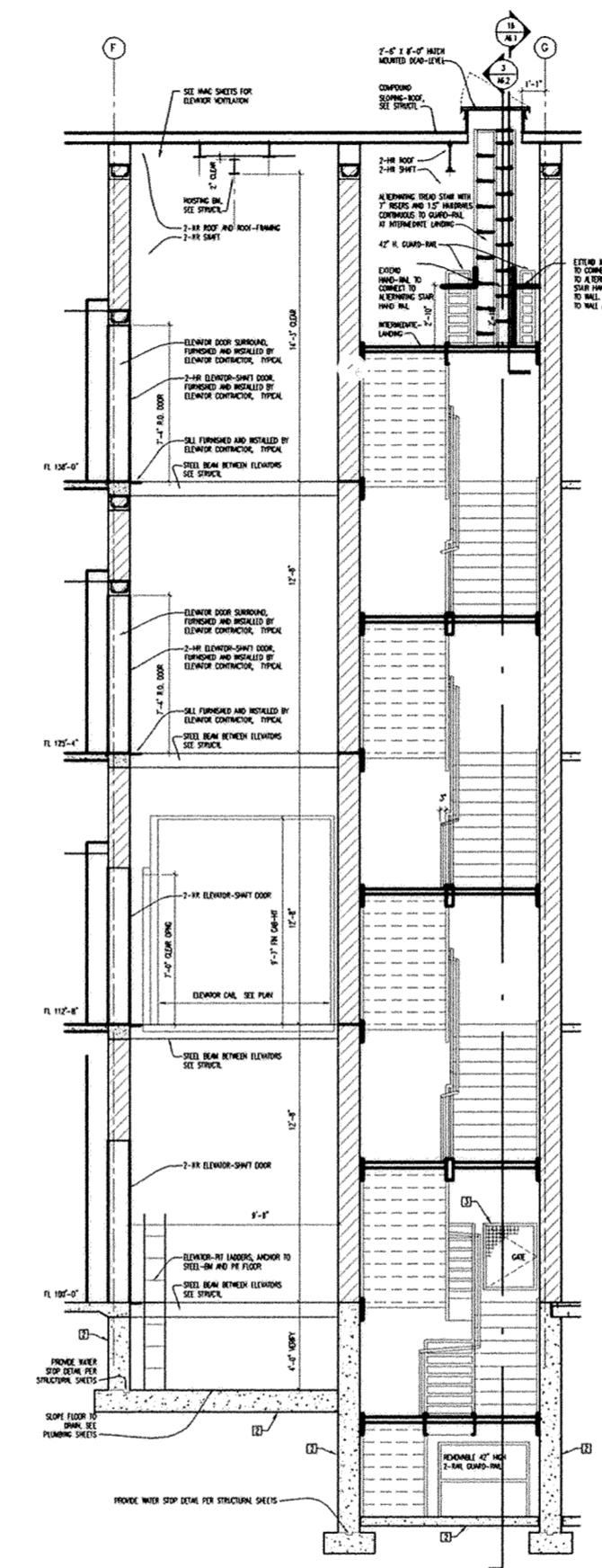
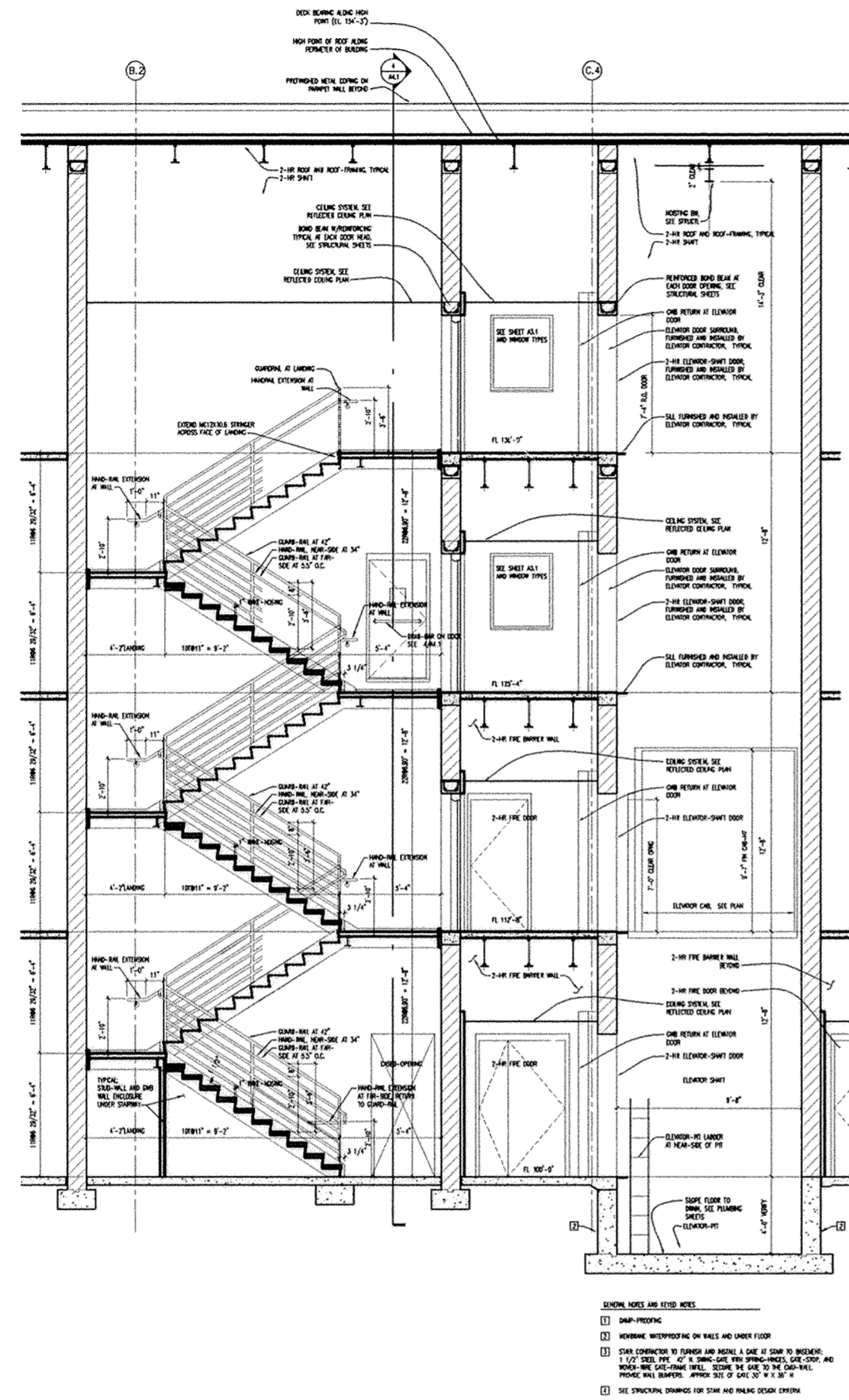


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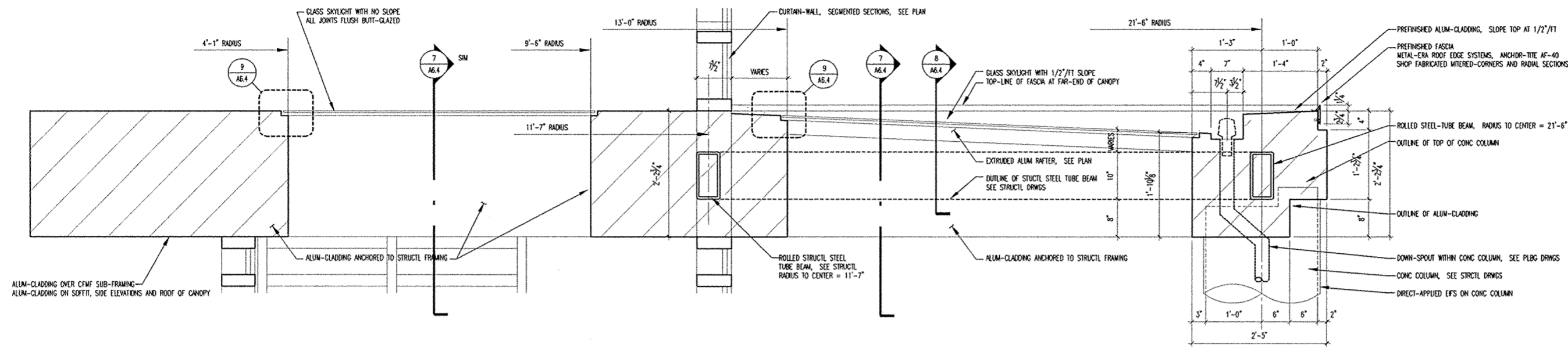


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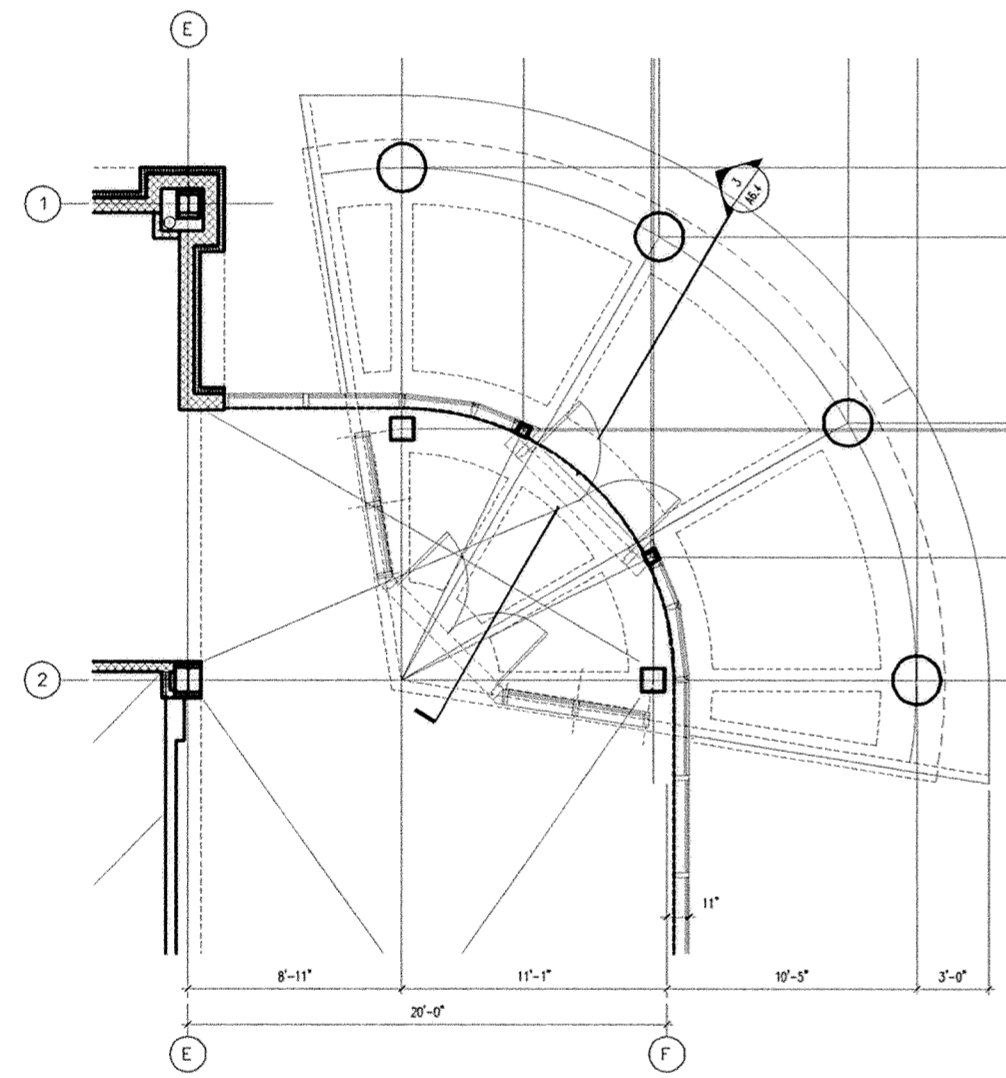
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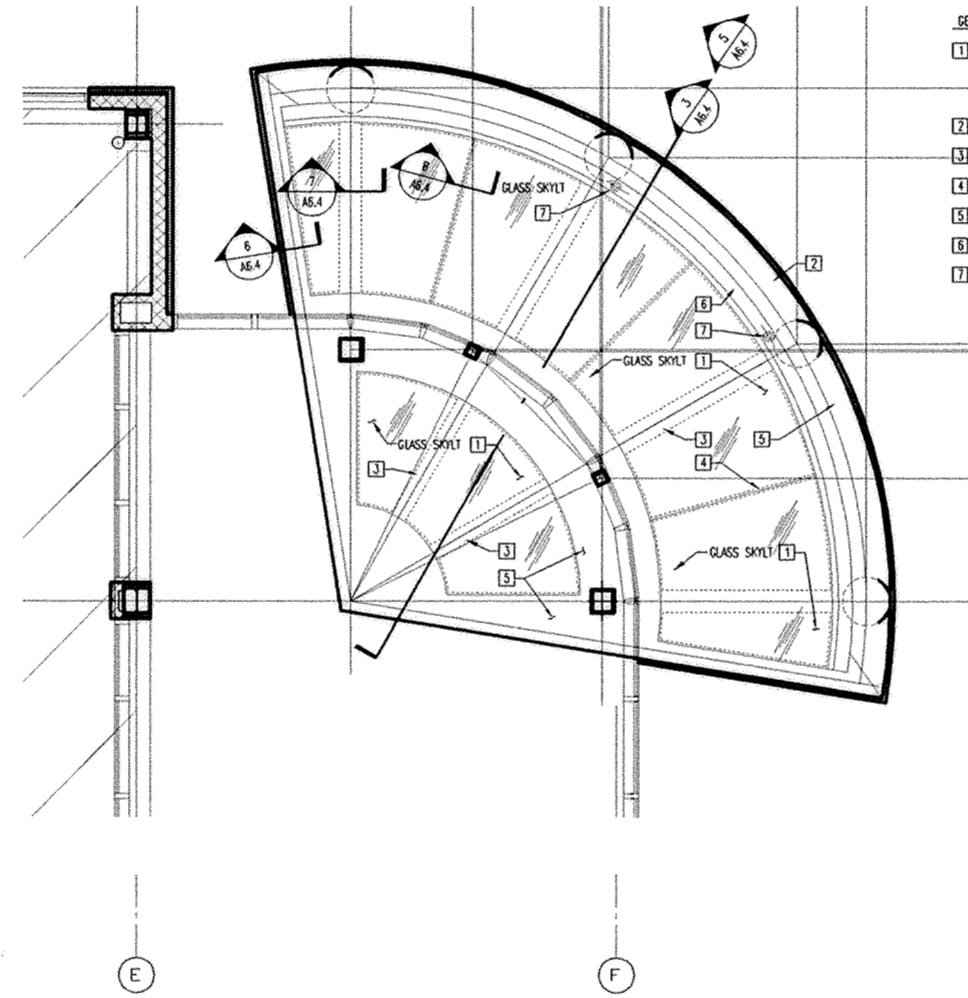
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TYPICAL SECTION THRU WEST ENTRANCE CANOPY

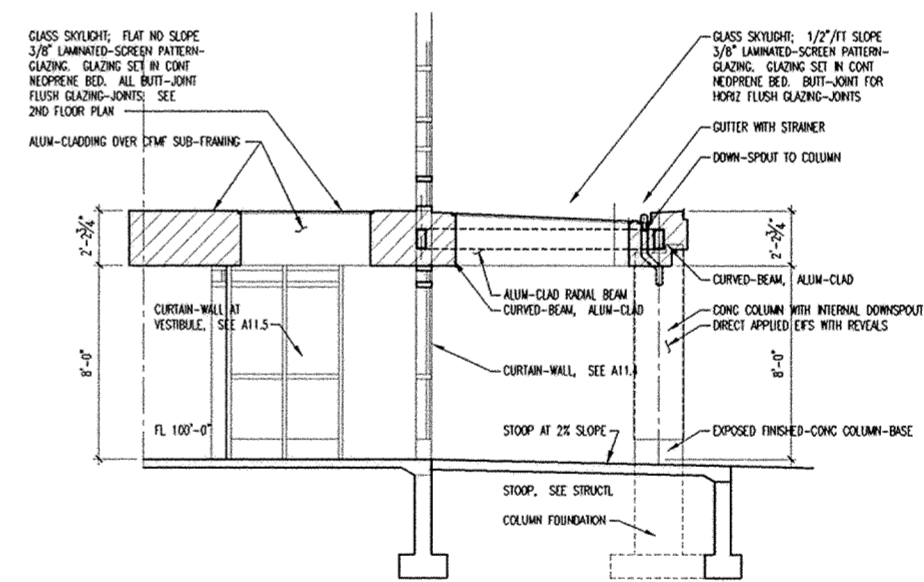


FIRST FLOOR PLAN AT WEST ENTRANCE - CANOPY



SECOND FLOOR PLAN AT WEST ENTRANCE - CANOPY

- GENERAL NOTES AND KEYED NOTES
- [1] GLASS SKYLIGHT: 3/8" LAMINATED-SCREEN PATTERN-GLAZING. GLAZING SET IN CONTINUOUS NEOPRENE BED. HORIZONTAL JOINTS ARE FLUSH BUT-JOINT GLAZING-JOINTS. VERTICAL JOINTS HAVE GLAZING-CAP.
 - [2] ALL ALUM TO BE PREFINISHED AND SHARP FABRICATED.
 - [3] ALUM-CLAD RADIAL BEAM UNDER GLASS SKYLIGHT, SEE 7/A6.4
 - [4] EXTRUDED ALUM RIBTER BEAM UNDER GLASS SKYLIGHT, SEE 8/A6.4
 - [5] ALUM-CLADDING, SEE 4/A6.4 FOR TYPICAL SPURCE-JOINT DETAIL.
 - [6] CONTINUOUS GUTTER, 7" W. X 1" D.
 - [7] DOWN-SPOUT WITH STRAINER. DOWN-SPOUT OFF-SET INTO CONC COLUMN. TWO SPOUT LOCATIONS.



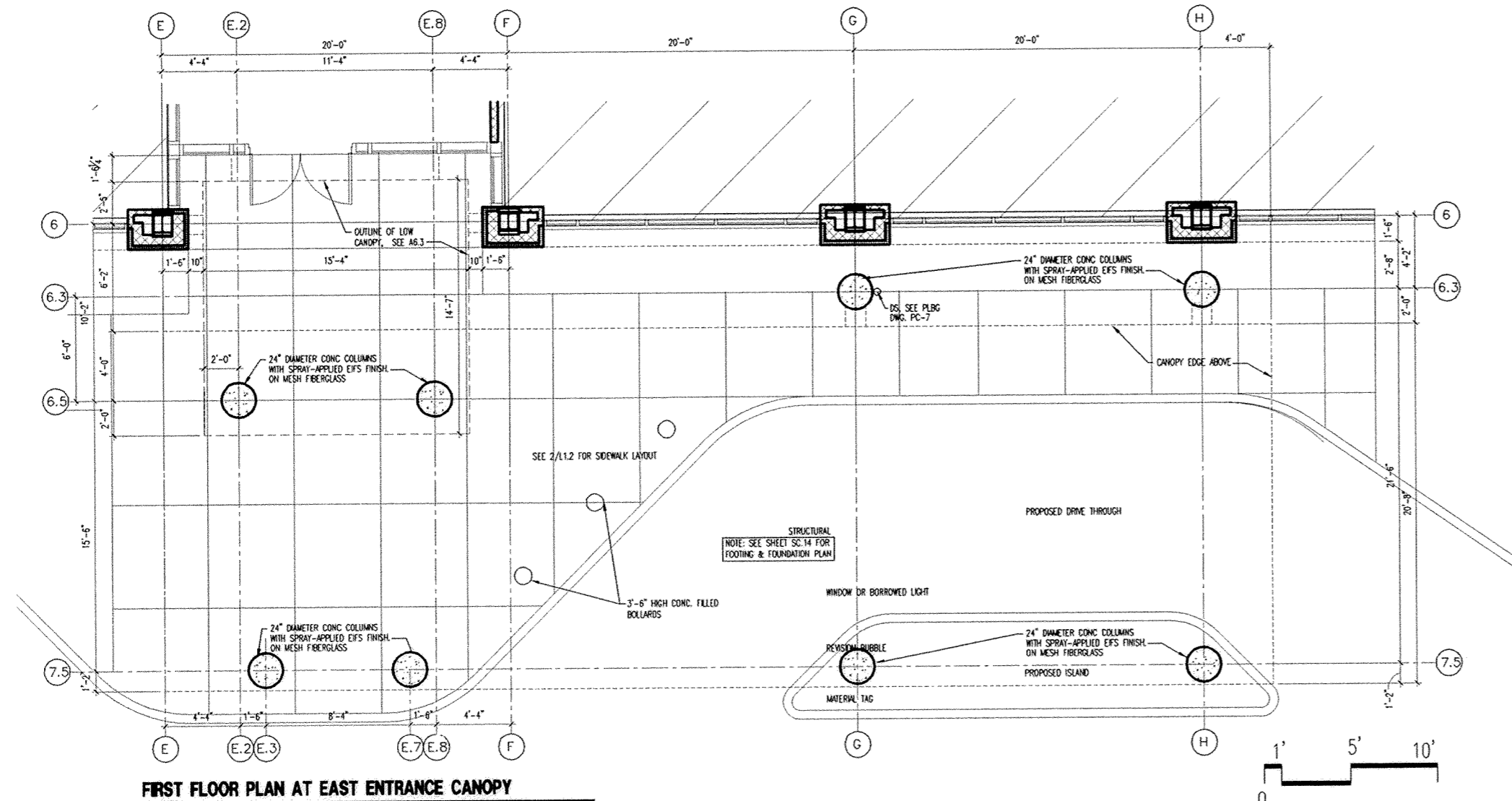
TYPICAL BUILDING SECTION THRU WEST ENTRANCE CANOPY

750 HIGH STREET PROFESSIONAL BUILDING CONDOMINIUM

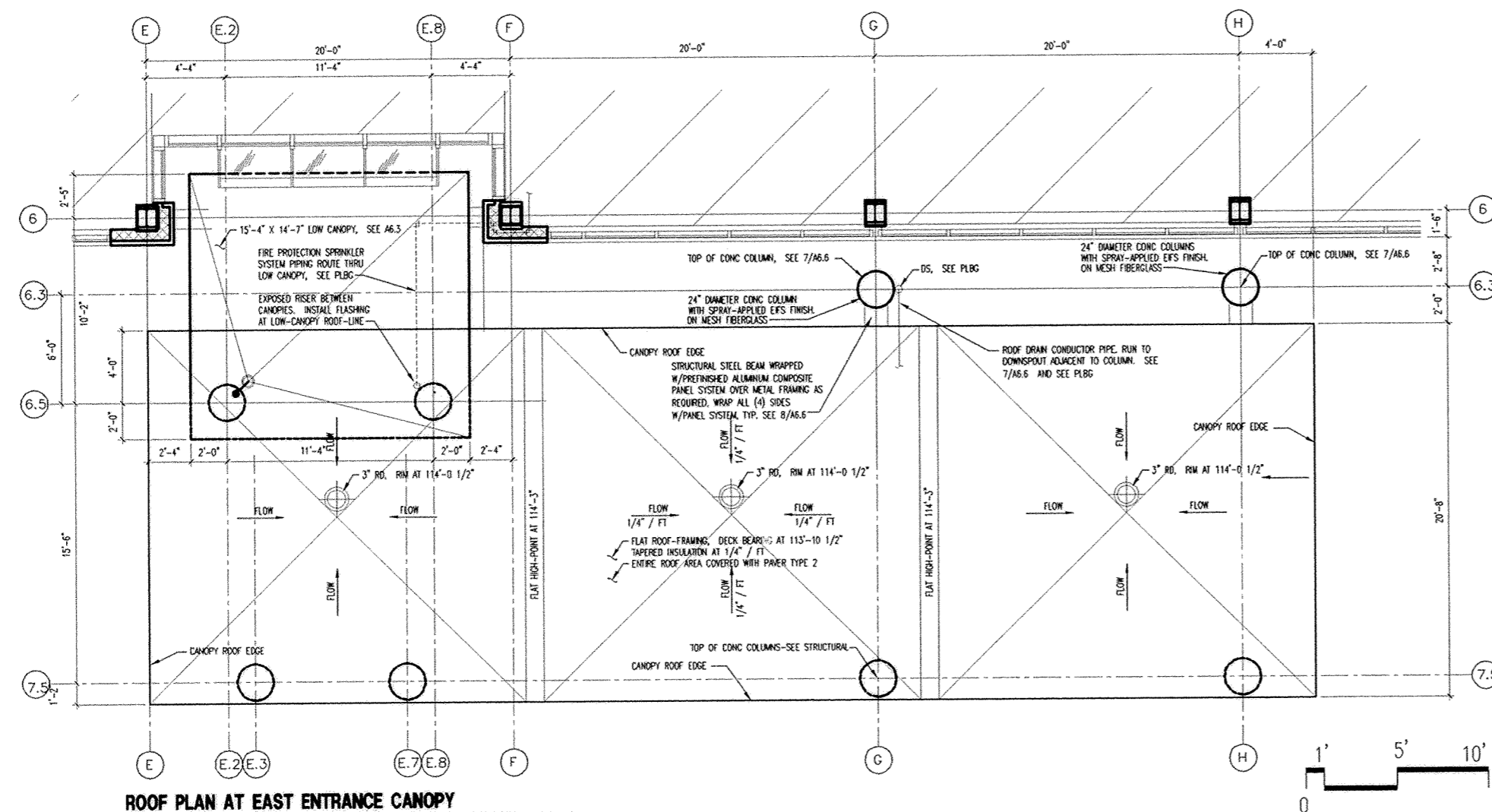
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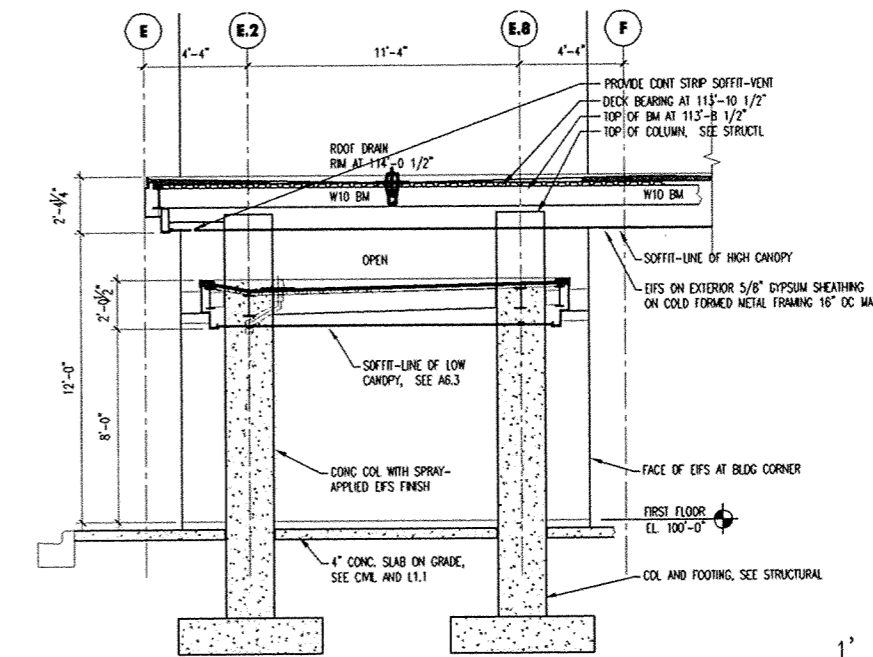
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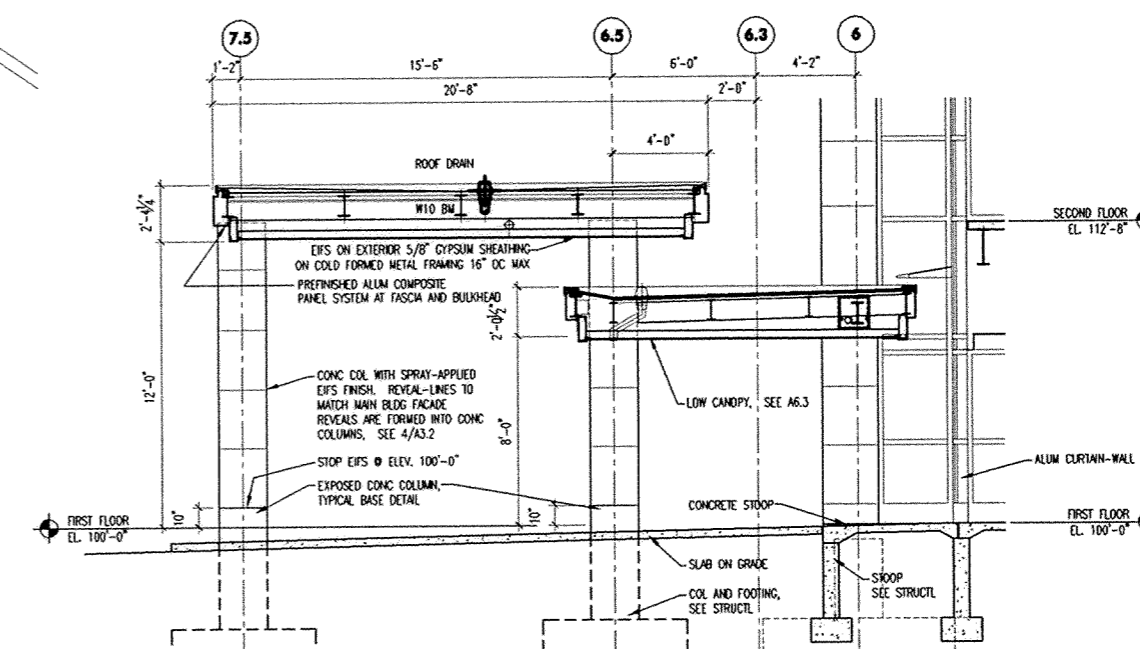
FIRST FLOOR PLAN AT EAST ENTRANCE CANOPY



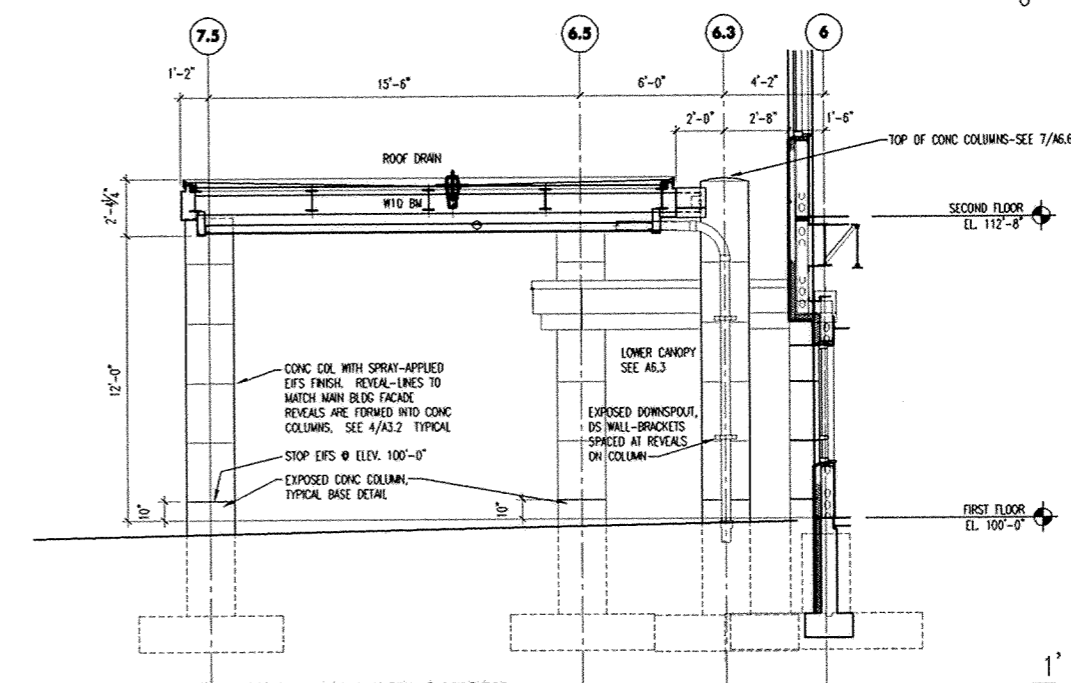
ROOF PLAN AT EAST ENTRANCE CANOPY



SECTION THRU EAST CANOPY



SECTION THRU EAST CANOPY



SECTION THRU EAST CANOPY

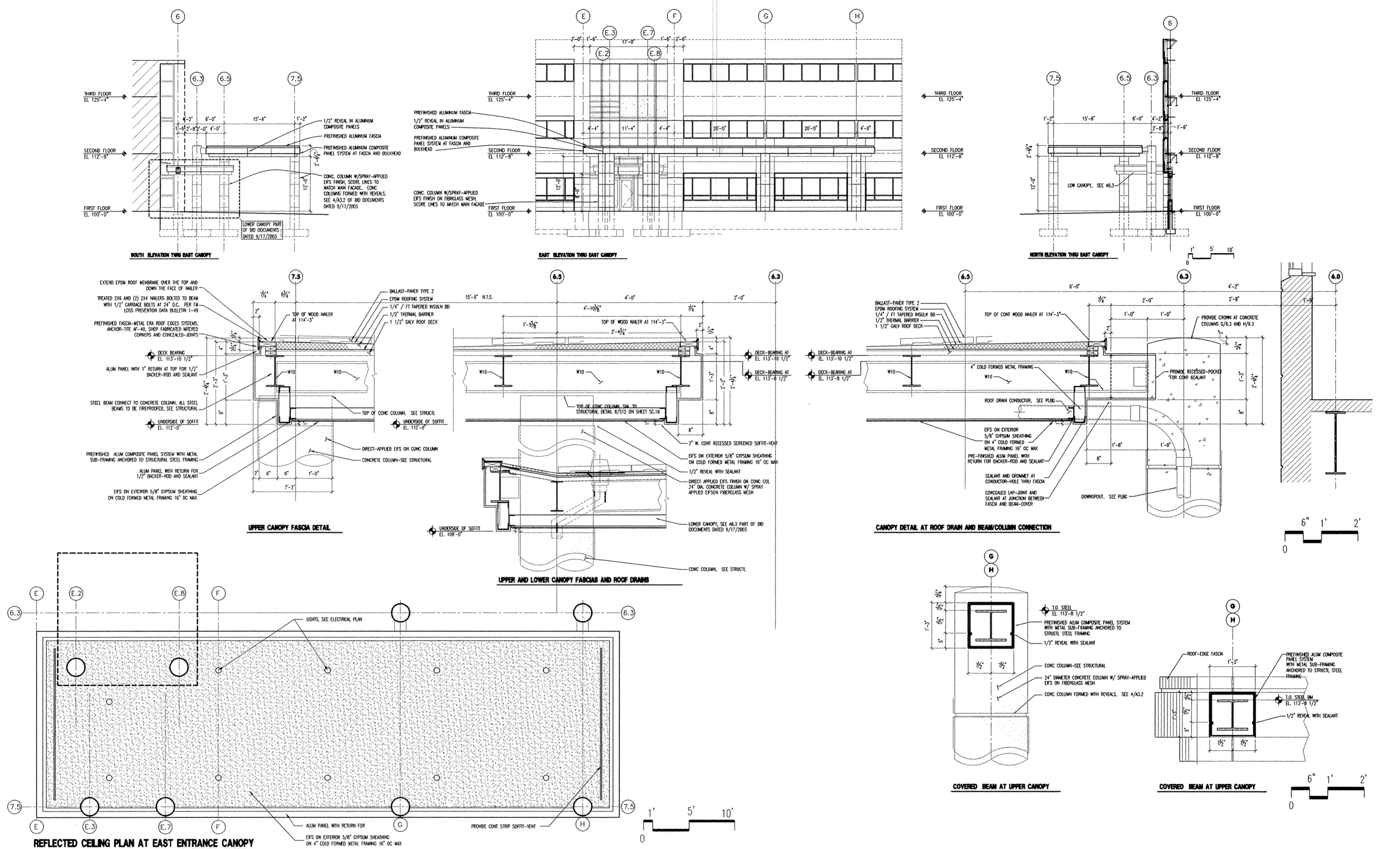
750 HIGH STREET PROFESSIONAL BUILDING CONDOMINIUM

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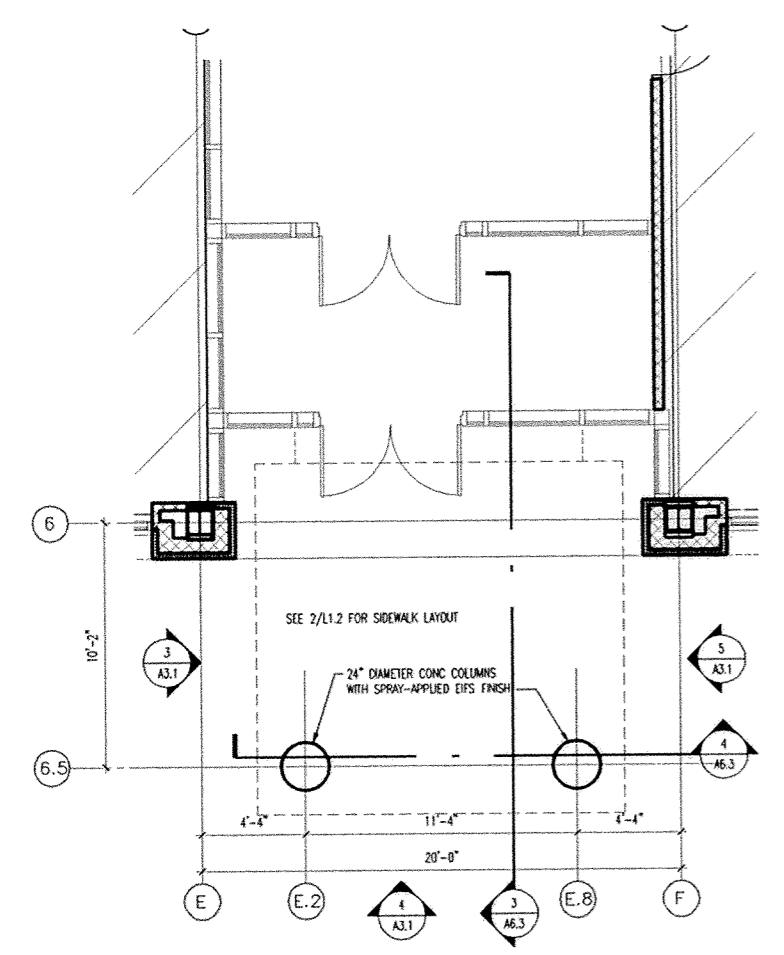
750 HIGH STREET PROFESSIONAL BUILDING CONDOMINIUM

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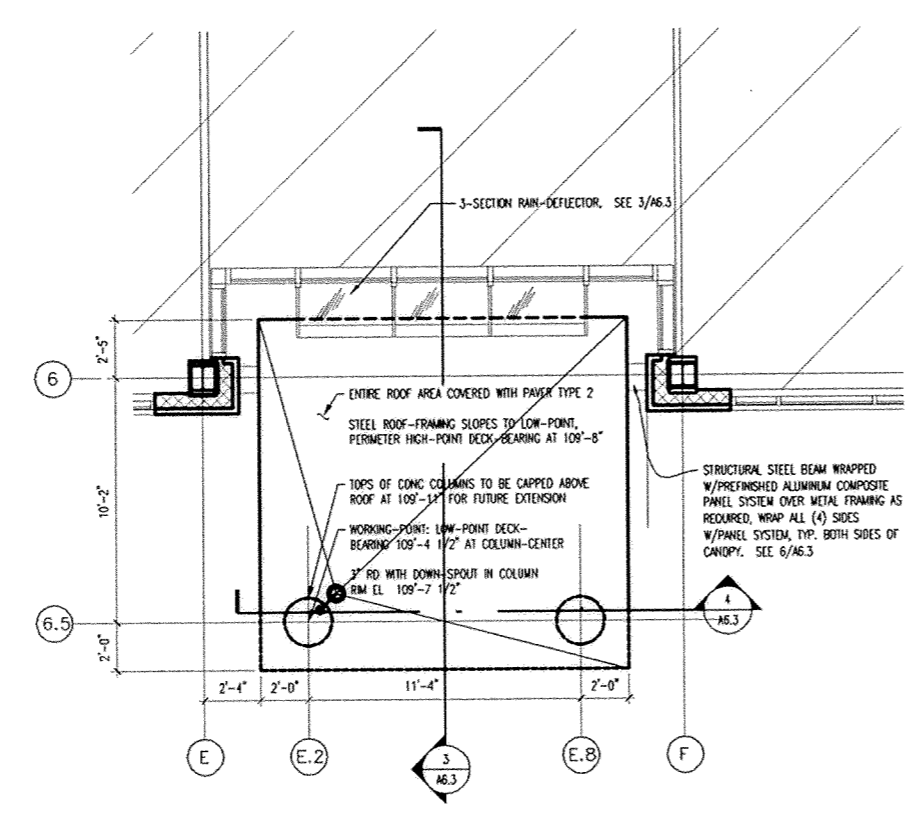
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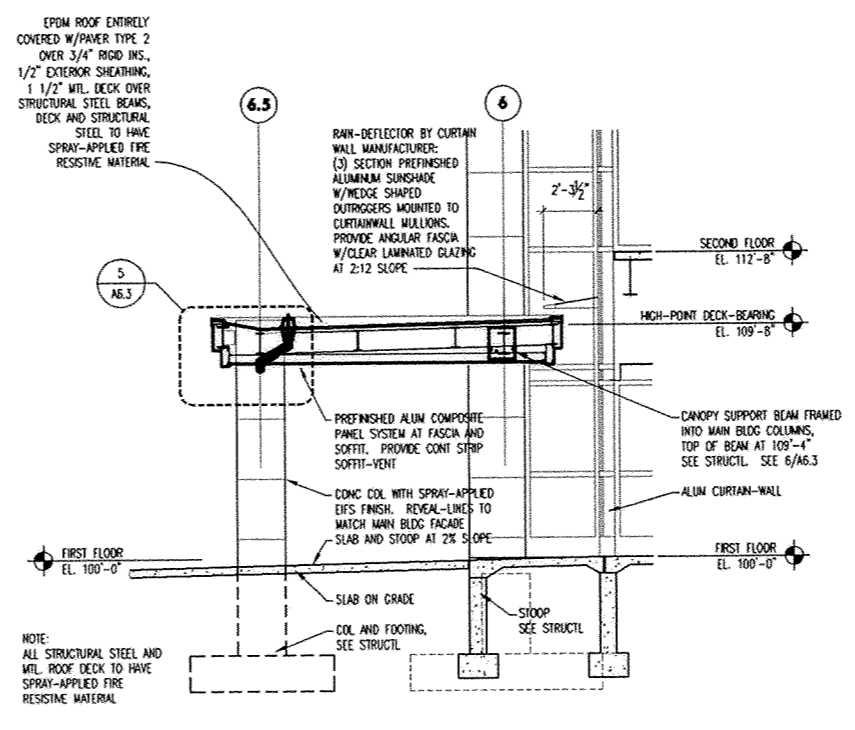




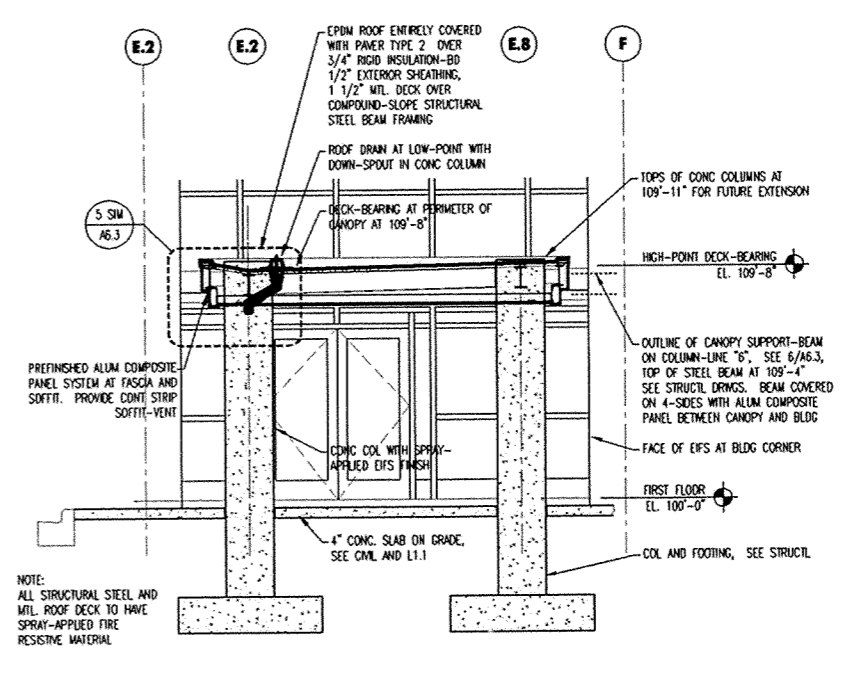
FIRST FLOOR PLAN AT EAST ENTRANCE CANOPY



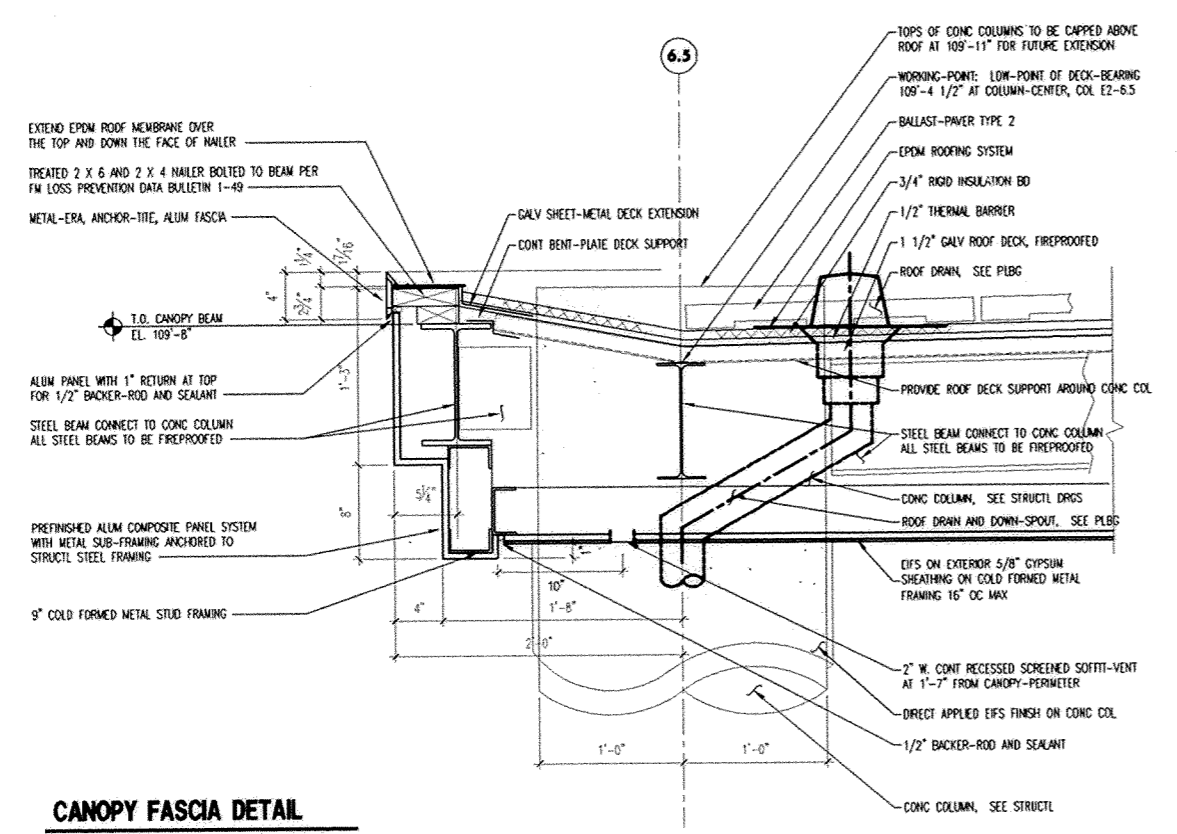
SECOND FLOOR PLAN AT EAST ENTRANCE CANOPY



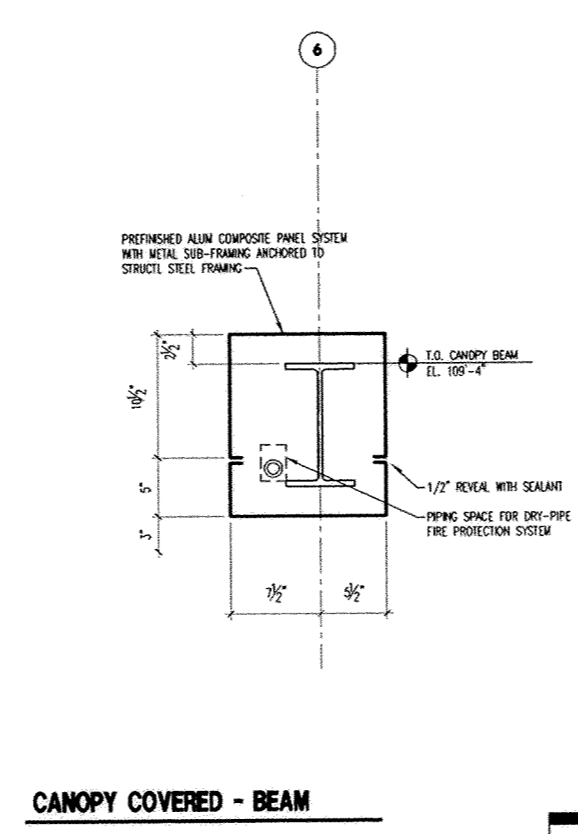
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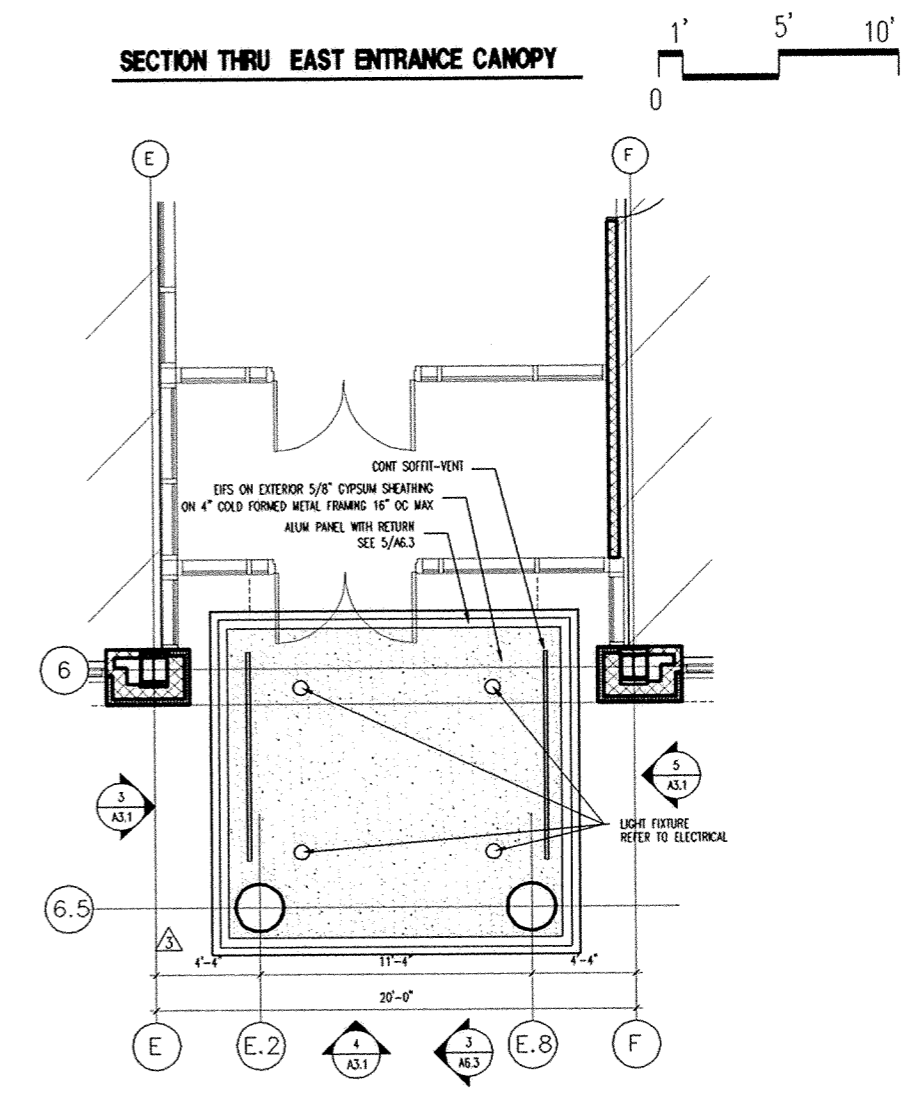
SECTION THRU EAST ENTRANCE CANOPY



CANOPY FASCIA DETAIL



CANOPY COVERED - BEAM



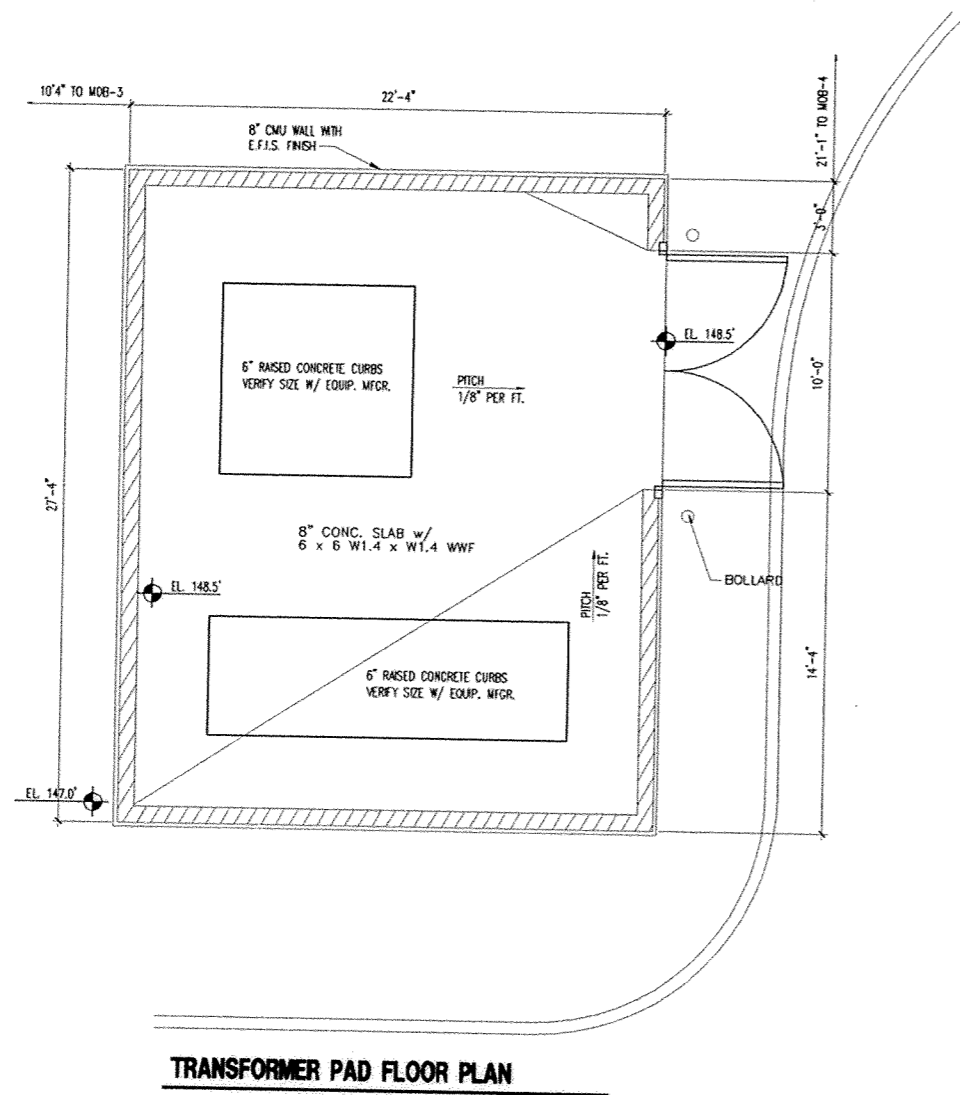
REFLECTED CEILING PLAN AT EAST ENTRANCE CANOPY

750 HIGH STREET PROFESSIONAL BUILDING CONDOMINIUM

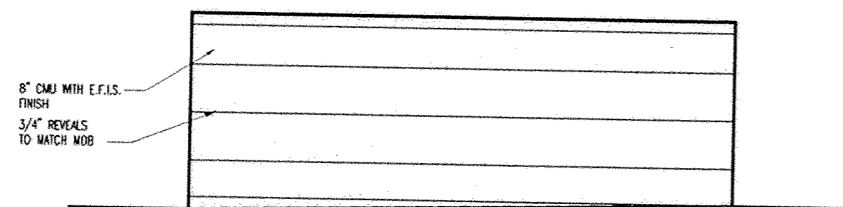
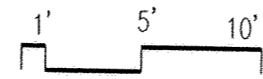
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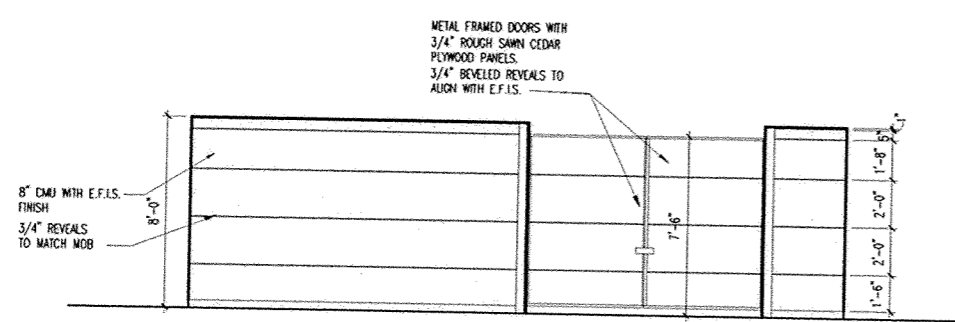
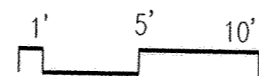
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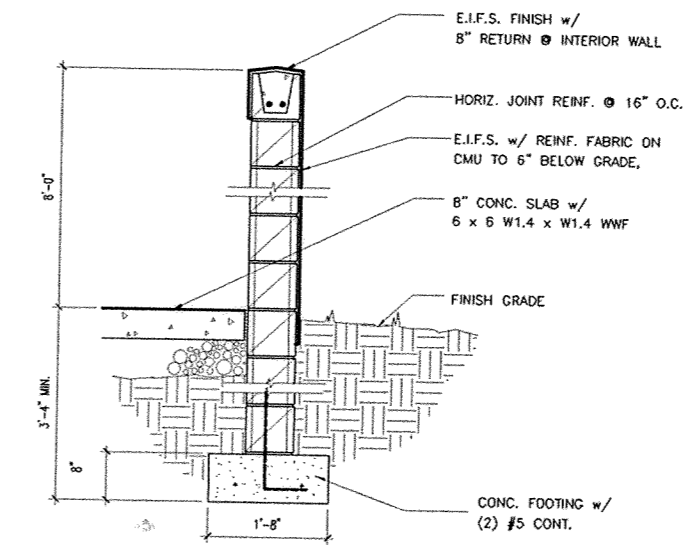
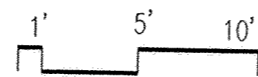
TRANSFORMER PAD FLOOR PLAN



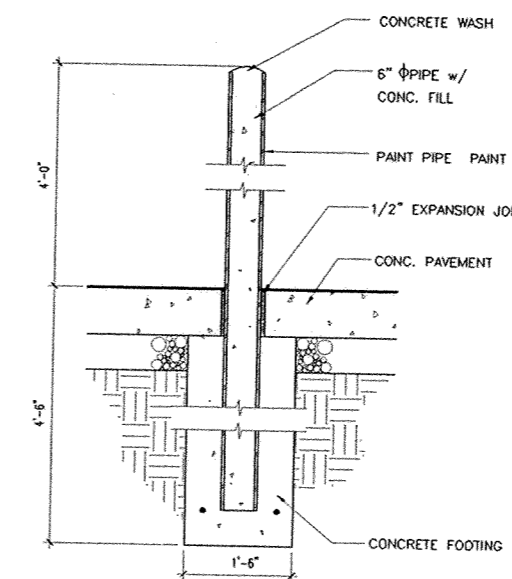
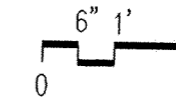
TRANSFORMER PAD SIDE ELEVATION



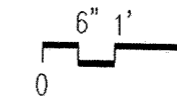
TRANSFORMER PAD FRONT ELEVATION



EXTERIOR CMU WALL SECTION



BOLLARD DETAIL



750 HIGH STREET PROFESSIONAL BUILDING CONDOMINIUM



Condominium Documents

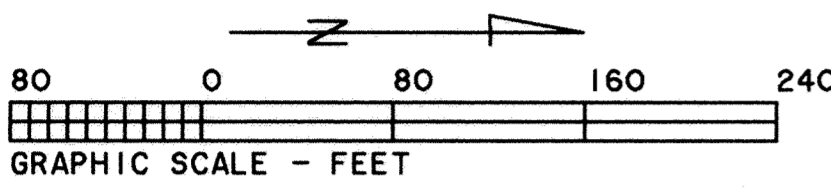
EADP Project No. 021266
ST. RITA'S MEDICAL CENTER
MEDICAL OFFICE BUILDING No.4,
LIMA, OHIO

Engberg Anderson  Design Partnership, Inc.

August 30, 2004

AUTUMN RIDGE NO. 1

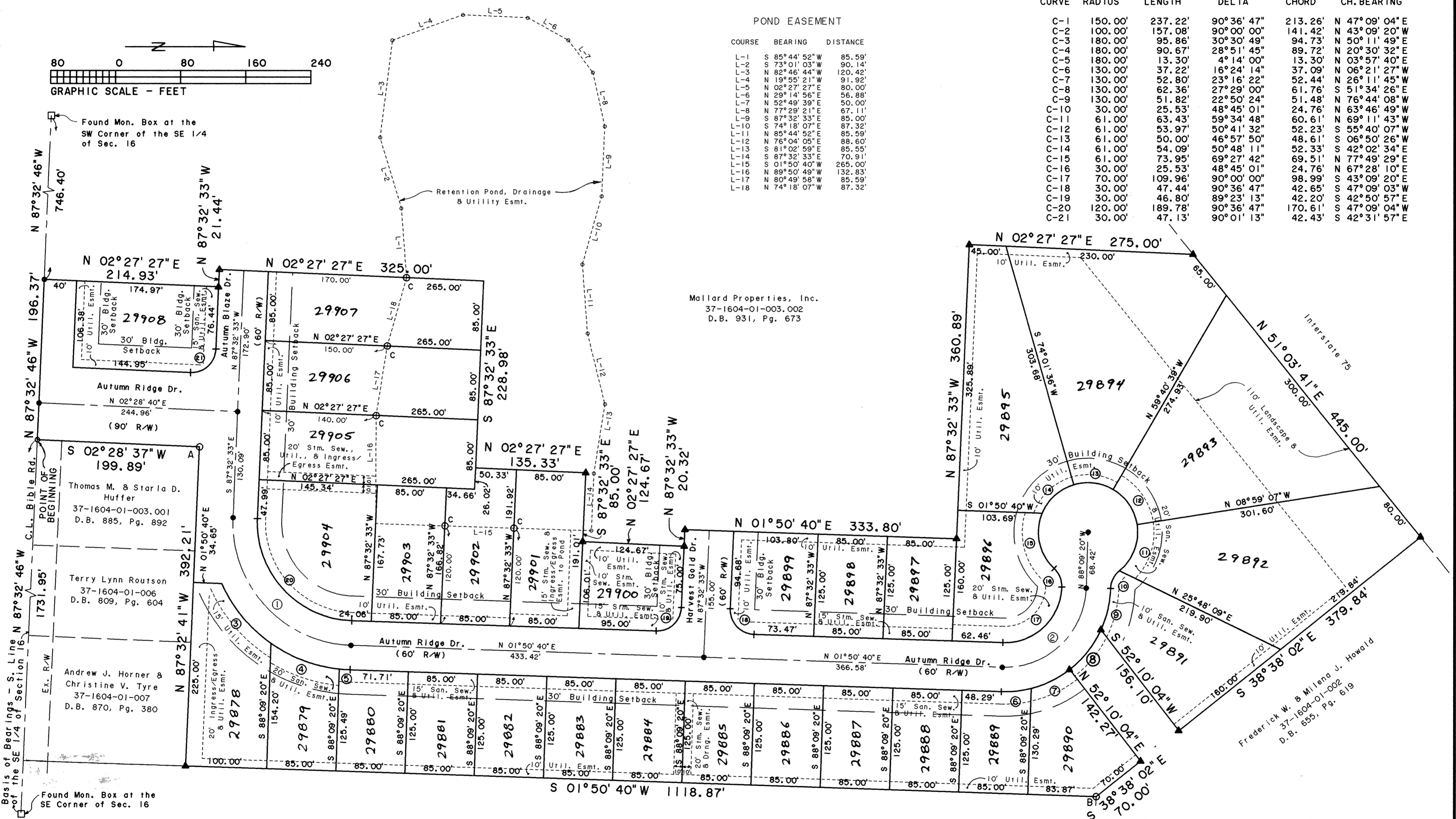
Part of the SE 1/4 of Section 16, Bath Twp., Allen Co., Oh.



POND EASEMENT

COURSE	BEARING	DISTANCE
L-1	S 85°44'52"W	85.59'
L-2	S 73°01'03"W	90.14'
L-3	N 82°46'44"W	120.42'
L-4	N 19°55'21"W	91.92'
L-5	N 02°27'27"E	80.00'
L-6	N 29°14'56"E	56.88'
L-7	N 52°49'39"E	50.00'
L-8	N 77°29'21"E	87.11'
L-9	S 87°32'33"E	85.00'
L-10	S 74°18'07"E	87.32'
L-11	N 85°44'52"E	85.59'
L-12	N 76°04'05"E	88.60'
L-13	S 81°02'59"E	85.55'
L-14	S 87°32'33"E	70.91'
L-15	S 01°50'40"W	265.00'
L-16	N 89°00'49"W	132.83'
L-17	N 80°49'58"W	85.59'
L-18	N 74°18'07"W	87.32'

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	150.00'	237.22'	90°36'47"	213.26'	N 47°09'04"E
C-2	100.00'	157.08'	90°00'00"	141.42'	N 43°09'20"W
C-3	180.00'	95.86'	30°30'49"	94.73'	N 50°11'49"E
C-4	180.00'	90.67'	28°51'45"	89.72'	N 20°30'32"E
C-5	180.00'	13.30'	4°14'00"	13.30'	N 03°57'40"E
C-6	130.00'	37.22'	16°24'14"	37.09'	N 06°21'27"W
C-7	130.00'	52.80'	23°16'22"	52.44'	N 26°11'45"W
C-8	130.00'	62.36'	27°29'00"	61.76'	S 51°34'26"E
C-9	130.00'	51.82'	22°50'24"	51.48'	N 76°44'08"W
C-10	30.00'	25.53'	48°45'01"	24.76'	N 63°46'49"W
C-11	61.00'	63.43'	59°34'48"	60.61'	N 69°11'43"W
C-12	61.00'	53.97'	50°41'32"	52.23'	S 55°40'07"W
C-13	61.00'	50.00'	46°57'50"	48.61'	S 06°50'26"W
C-14	61.00'	54.09'	50°48'11"	52.33'	S 42°02'34"E
C-15	61.00'	73.95'	69°27'42"	69.51'	N 77°49'29"E
C-16	30.00'	25.53'	48°45'01"	24.76'	N 67°28'10"E
C-17	70.00'	109.96'	90°00'00"	98.99'	S 43°09'20"E
C-18	30.00'	47.44'	90°36'47"	42.65'	S 47°09'03"W
C-19	30.00'	46.80'	89°23'13"	42.20'	S 42°50'57"E
C-20	120.00'	189.78'	90°36'47"	170.61'	S 47°09'04"W
C-21	30.00'	47.13'	90°01'13"	42.43'	S 42°31'57"E



Mallard Properties, Inc.
 37-1604-01-003.002
 D.B. 931, Pg. 673

- - Found P.K. Nail
 - A - Found #5 Rebar
 - B - Found #4 Rebar
 - - Set P.K. Nail
 - ▲ - Set Concrete Monument
 - C - Set #5 Rebar
- A #5 Rebar will be set at all lot corners.

Bath Local School District
 37-1604-01-009
 D.B. 365, Pg. 183

Lot Area = 12.814 ac.
 R/W Area = 3.143 ac.
 Total Area = 15.957 ac.

Part of Parcel No. 37-1604-01-003.002

AUTUMN RIDGE NO. 1

DESCRIPTION (Autumn Ridge No. 1)

Being a parcel of land in the SE 1/4 of Section 16, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of Section 16, thence N87°32'46"W with the south line of the SE 1/4 of said Section 16, 1731.95' to a found P.K. nail and being the POINT OF BEGINNING, thence the following courses:

1. N87°32'46"W with the south line of the SE 1/4 of said Section 16, 196.37' to a set P.K. nail;
2. N02°27'27"E, 214.93' to a set concrete monument;
3. N87°32'33"W, 21.44' to a set concrete monument;
4. N02°27'27"E, 325.00' to a point, passing over a set #5 rebar at 230.00';
5. S87°32'33"E, 228.98' to a point;
6. N02°27'27"E, 135.33' to a set concrete monument;
7. S87°32'33"E, 85.00' to a set concrete monument;
8. N02°27'27"E, 124.67' to a set concrete monument;
9. N87°32'33"W, 20.32' to a set concrete monument;
10. N01°50'40"E, 333.80' to a set concrete monument;
11. N87°32'33"W, 360.89' to a set concrete monument;
12. N02°27'27"E, 275.00' to a set concrete monument;
13. N51°03'41"E with the east line of Interstate 75, 445.00' to a set concrete monument;
14. S38°38'02"E, 379.84' to a set concrete monument;
15. S52°10'04"W, 156.10' to a set concrete monument;
16. Southeasterly on a curve to the right an arc distance of 62.36', said curve having a radius of 130.00', a delta angle of 27°29'00" and an L.C. of S51°34'26"E, 61.76' to a set concrete monument;
17. N52°10'04"E, 142.27' to a set concrete monument;
18. S38°38'02"E, 70.00' to a set concrete monument;
19. S01°50'40"W, 1118.87' to a set concrete monument;
20. N87°32'41"W, 392.21' to a found #5 rebar;
21. S02°28'37"W, 199.89' to the POINT OF BEGINNING.

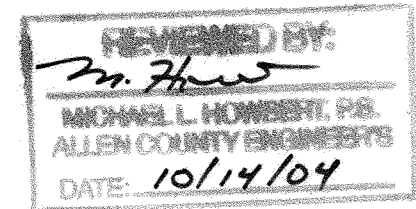
The above described parcel contains 15.957 acres more or less subject to all legal highways and easements of record.

Basis of Bearings: The South line of the SE 1/4 of Section 16 (N87°32'46"W)

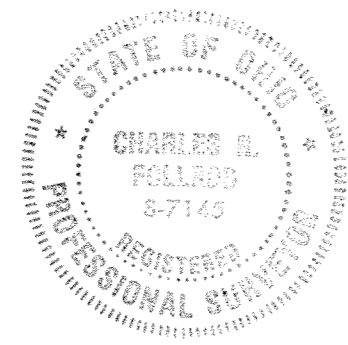
Part of Parcel No: 37-1604-01-003.002

SURVEYOR'S CERTIFICATION

I hereby certify that this plat is based on a true and accurate survey made by me in June 1998. A 5/8 inch rebar topped with a plastic cap stamped P.S. 7145 will be set at all lot corners. All markers are or will be in place within six (6) months from the date of recording.



Charles R. Follrod
Charles R. Follrod, P.S. #7145
R & A Engineers Inc.
298 Brookview Ct.
Lima, Ohio 45801



DEDICATION

Mallard Properties, Inc. being the owner of the described premises, does hereby voluntarily consent to the execution of said plat, and dedicate the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

OWNERS

Frederick W. Howald
Frederick W. Howald - Mallard Properties, Inc.

Milena J. Howald
Milena J. Howald - Mallard Properties, Inc.

WITNESS

Charles R. Follrod

Cynthia M. Cramer

ACKNOWLEDGMENT

State of Ohio
County of Allen

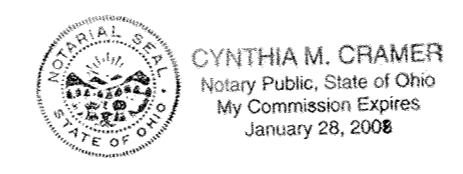
Before me, a notary public in and for said State and County, did personally appear the above signed OWNERS who acknowledged that they signed the hereon plat and the signing thereof was their free act and deed.

IN WITNESS thereof, I affix my hand and seal this 14 day of October, 20 04.

My Commission Expires

1-28-08

Cynthia M. Cramer
Notary Public



APPROVAL OF THE REGIONAL PLANNING COMMISSION

This plat having been approved by the Regional Planning Commission of Allen County, Ohio and Executive Director of the Regional Planning Commission, hereby on behalf of said Commission, approve and accept this plat this 12 day of October, 20 04.

John M. Magan
Exec. Director, Regional Planning Commission

200420251

COUNTY RECORDER'S CERTIFICATION

Filed for record this 14th day of October, 20 04, at 11:16 A. o'clock in the office of the County Recorder and recorded in Plat Book 26, on Page 86.

Edward P. Kirk
Recorder, Allen County, Ohio

COUNTY AUDITOR'S CERTIFICATION

This plat filed for transfer this 14th day of October, 20 04.

Ben E. Diepenbrock
Auditor, Allen County, Ohio

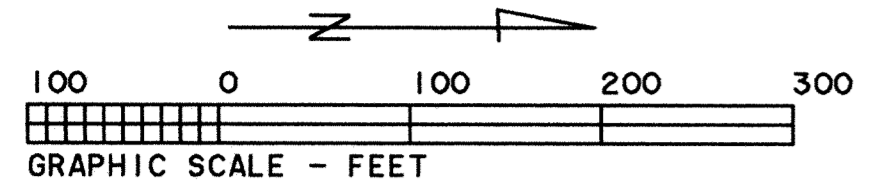
AUTUMN RIDGE NO. 1

Deed Restrictions

1. Said premises shall be solely and exclusively for residential purposes. No buildings, structures, or any alterations thereto or any alterations thereof shall be erected, reconstructed, placed or suffered to remain upon said premises other than one detached single-family dwelling whose size, design, location, cost, use and materials of construction there of, shall have been approved in writing by Grantor. A true copy of said plans, specifications, color scheme, and details shall be lodged permanently with Grantor. No buildings or structures except as conform to said plans, etc. shall be erected, or placed or suffered to remain upon any lot nearer to the boundary lines of such lot than the minimum building setback lines as shown on the recorded plat of this subdivision. For the purpose of this restriction eaves, steps, and porches shall not be considered as part of such structure.
2. No one-floor dwelling shall have a finished living area, not including basements, of less than 1450 square feet. No two-story dwelling shall have a finished living area, not including basements, of less than 1750 square feet. For the purpose of this covenant the area of open porches, and garages shall not be included. Thirty (30%) of frontage of each dwelling shall be finished with materials other than vinyl: such as brick, stucco, stone, or equivalent, with the exception of soffits. All homes must be built on site.
3. No structure shall be erected on any lot in said subdivision until the final building plans and specifications have been approved, in writing, by the Architectural Committee or its designee.
4. No sign of any kind shall be displayed to the public view on any lot, other than (1) one sign of not more than (10) ten square feet advertising the property for sale. This excludes signs used by a builder or developer to advertise property during construction.
5. No animals, livestock, or poultry of any kind shall be raised or kept on any lot, except dogs, cats, or other household pets, provided they are not kept, bred, or maintained for any commercial purposes. All dogs must be kept on owners property unless leashed. All dogs that persist in barking continuous must be trained to stop with a non barking collar available at most pet stores.
6. No structure of a temporary nature, trailer, basement, shack, garage, or other outbuilding shall be used on any lot at any time as a residence either temporary or permanent. A small attractive wood or vinyl covered storage building is acceptable as long as floor area is not in excess of 168 square feet or wall height is not greater than 8 feet. Storage building must match siding, roofing and overhang (minimum 1 foot) of existing house design. No more than one detached storage building shall be placed nearer to the street than the rear wall of the house. In case of a corner lot or cul-de-sac lot the sidewall furthest from the side street or cul-de-sac street shall also be considered as a rear wall.
7. No fence, wall, hedge or shrub planting which obstructs sight lines at elevations between (2) two and (6) six feet above the roadways shall be placed or permitted to remain on any corner lot within the triangular area formed by the street property lines and a line connecting them at points (25) twenty-five feet from the intersections of the street lines. In the case of a rounded property corner, from the intersection of the street extended. The sight line limitations shall apply on any lot within (10) ten feet from the intersection of a street property line with the edge of a driveway. No trees shall be permitted to remain within such distances of such intersections unless foliage line is maintained at sufficient height to prevent obstruction of such sight lines.
8. No fence shall be erected nearer to street than the front wall of house. For dwellings on corner lots the sidewall toward the street shall also be considered as a front wall in determining fence placement. No fence shall exceed a height greater than (4) four feet above normal grade exclusive of mounding etc. In no case shall any screening or privacy type fences be allowed except immediately surrounding an in-ground swimming pool or as a very limited landscape item, and design must be approved by Architectural Committee. Architectural Committee has sample brochure on hand showing approved fence types allowed.
9. Each property owner shall be responsible for maintaining the existing landscaping berms, mounds, and buffer areas, as placed as a part of the original subdivision construction, and no owner shall remove, alter, or modify and landscaping berms, mounds, or buffer areas without written approval of the Developer. All buildings, structures, and residences located on the lots within subdivision shall be maintained in substantial repair, and the grass, trees, shrubbery, and hedges shall be reasonably trimmed and attended.
10. No inoperable motor vehicle; no trailer, motorhome, camper, recreational vehicle, boat or boat trailer, snowmobile or snowmobile trailer, motorcycle, or any truck larger than three-quarter tons shall be parked on any lot for a period more than 72 hours during any 30 day period, unless stored wholly within a private garage.
11. All vehicles belonging to residents shall be parked in the garage or driveway. No on-street parking is permitted except for visitors for a maximum of seven (7) days.
12. No lots shall be used or maintained as a dumping ground for rubbish. Vegetation on vacant lots must be kept under 12 inches in height by mowing or spraying. Trash, garbage or other waste shall be kept in sanitary containers in a location hidden from public view. No hazardous or offensive activities shall be carried on any lot, nor shall anything be done thereon which may become an annoyance or nuisance to the neighborhood, (I.E. engine noise, loud noises, loud speaker noises, or illegal drugs.) except security devices used exclusively for security purposes. No exterior lights shall be installed or used in which the principal beam would shine onto adjoining homes.
13. No swimming pools of any kind shall be permitted to be placed or suffered to remain on any lot unless same shall be installed in ground so that the top thereof, exclusive of diving boards, shall not be more than (1) foot above the established grade level of the lot on which said swimming pool is to be installed. This restriction shall not be construed to apply to infant inflatable, or portable wading pools.
14. All utilities providing service to any dwelling, house, or outbuilding shall be located, trenched, and buried underground. There shall be no overhead services permitted in the Subdivision.
15. Easements and right of ways are reserved in and over such lots as are shown on said plat, for the construction, operation, and maintenance of poles, wires, therewith for the transmission of electricity, for telephone, drainage facilities, and other purposes, also for the construction, operation and maintenance of drains, sewers, and pipelines for supplying gas, water, and any other public or quasi-public utility or function maintained, furnished, or performed in any method beneath the surface of the ground. Easements shown upon plat may also be used by utility companies as circumstances require without incurring any liability from property owners for damage to sod, shrubbery, or other surface improvements. No trees, buildings or permanent structures, except driveways and mailboxes, may be placed on any designated easements or rights-of-way.
16. These covenants are to run with the land and shall be binding on all persons claiming title under them for a period of (25) twenty-five years from the date these covenants are recorded. After which time, said covenants shall automatically be extended for successive periods of (10) ten years unless an instrument signed by a majority, (three-fourths), of the land owners of the lots has been recorded, agreeing to change said covenants in whole or part.
17. These conditions, limitations, and restrictions set fourth herein shall be considered part of any contract, deed, lease or instrument relating to any lot in "Autumn Ridge Subdivision", without being incorporated therein, and the acceptance of contract, deed, or lease, or instrument relating thereto shall operate as a covenant to use the premises in conformity with the conditions, limitations and restrictions herein set forth which are for the use and benefit of every person who shall or may become the owner of a lot situated in "Autumn Ridge Subdivision".
18. Enforcement shall be by proceeding at law or in equity against any person violating or attempting to violate any covenant either to restrain violation or to recover damages, invalidation of any one of these covenants by judgment or court order shall in no way affect any of the other provisions which shall remain in force and effect.
19. The top of the foundation shall be two (2') feet minimum and three (3') feet maximum higher than the elevation of the top of the curb at the midpoint of the lot on which the house is to be built. Corner lots will use the average of both sides midpoint elevation. Any deviation from this requirement must have the written approval of the Architectural Committee.
20. Minimum front of house to be landscaped within first (1st) growing season.
21. All driveways shall be constructed of concrete. Any alternate surface must have the prior written approval of the Architectural Committee.
22. Sidewalks shall be installed along all street frontages by homeowner to meet Allen County specifications.
23. There shall be no satellite dishes placed in yard areas. Small dishes 30 inches or less mounted to homes are permitted, but must be placed in the least conspicuous spot.
24. The Architectural Committee for this subdivision shall be composed of Fred Howald, Mike Alexander, and Jeff Laing. Majority vote of the committee rules. If any member of the Committee chooses to resign or is unable to fulfill his duties, a replacement member will be selected by the remaining members.
25. When approval of the Architectural Committee is required, application shall be made in writing to the Committee by the lot owner(s) requesting the necessary approval. Application shall be deemed to be filed when it has been delivered to a Committee member and receipt obtained indicating proof of delivery. Sufficient information shall be provided to the Committee to enable it to make a proper decision on the matter. The Committee shall either approve or disapprove the application in writing on or before ten (10) days from the date that the application and all necessary information to make a decision is filed with the Committee. The ten (10) days period may be extended by the Committee for good cause related to the decision-making process for the application.
26. Construction must start within twelve (12) months after transfer of deed to lot. Requests for postponement of construction must be made in writing to developer within thirty (30) days before this deadline.
27. As of the date of acceptance and recording of these restrictions and covenants, all lot owners, their successors and assigns, located in the Autumn Ridge Subdivision shall automatically be a dues-paying member of AUTUMN RIDGE HOME OWNERS ASSOCIATION a non-profit organization by accepting a deed or contract or any other legally binding conveyance for any lot or lots purchased within the platted Subdivision and agrees to and shall become a member of the Association and be subject to the obligations and duly enacted rules, bylaws and guidelines of said Association. The Association shall meet once a year to elect a president, vice president, and secretary. The Association officers will set up their own schedule of regular meetings. Each lot shall be entitled to one (1) vote in the affairs of the association. Persons having the power to convey fee simple in a given lot shall constitute a unit having one (1) vote. The vote of any lot may not be split. The Association will adopt a membership fee or assessment of One Hundred Dollars (\$100.00) annually to be collected at the time a new owner purchases a residence or lot. All such lot owners having title to lakefront or waterfront lots shall be subject to an annual fee or assessment of Two Hundred Dollars (\$200.00) for extra lake maintenance. Association dues will be prorated to January 1st of following year. The Association reserves the right to increase or decrease said fees or assessments as required by the expense of the anticipated repairs and maintenance of the above mentioned common aesthetic features in the Subdivision. The Homeowners Association shall be responsible for the stewardship, collection of fees and assessments. A copy of said rules, bylaws, and guidelines shall be available from the Developer or Architectural Committee upon request.
28. AUTUMN RIDGE HOME OWNERS ASSOCIATION a non-profit organization, shall be responsible for the repairs and maintenance of all common aesthetic features, lakes, and the entrance at Bible Road for the purpose of adhering to the rules and guidelines used in connection with the repairs, maintenance, and usage of the aforementioned common features in the Subdivision. Any landscaping and signage originally done in common areas (such as in the entrance island) shall be kept in good condition and replaced in the event of any natural or accidental damage making it unsightly or overgrown.
29. Only one (1) mail box design will be allowed in subdivision. DEVELOPER AND each Home Owner will cost share 50% each on original one installed. If replacement is required due to damage from vehicles and/or vandalism either home owners insurance or HOME OWNERS ASSOCIATION will pay for replacement.
30. Lake is engineering design requirement for collection of storm water and is not a recreational lake. No boats, inflatable devices of any kind and swimming are prohibited.
31. The mound that passes thru lots that back up to 1-75 will have an easement that will allow for maintenance of mound in the future. No trees will be planted in easement area or within 12 feet of it. Developer has right to plant trees on top of the mound.
32. All lots that surround lake will have a no fence zone within 12' (feet) of lake bank for ease of maintaining lake and bank area. No trees or other obstructions will be allowed in this area.

AUTUMN RIDGE NO. 1

Survey of Dedicator's Land

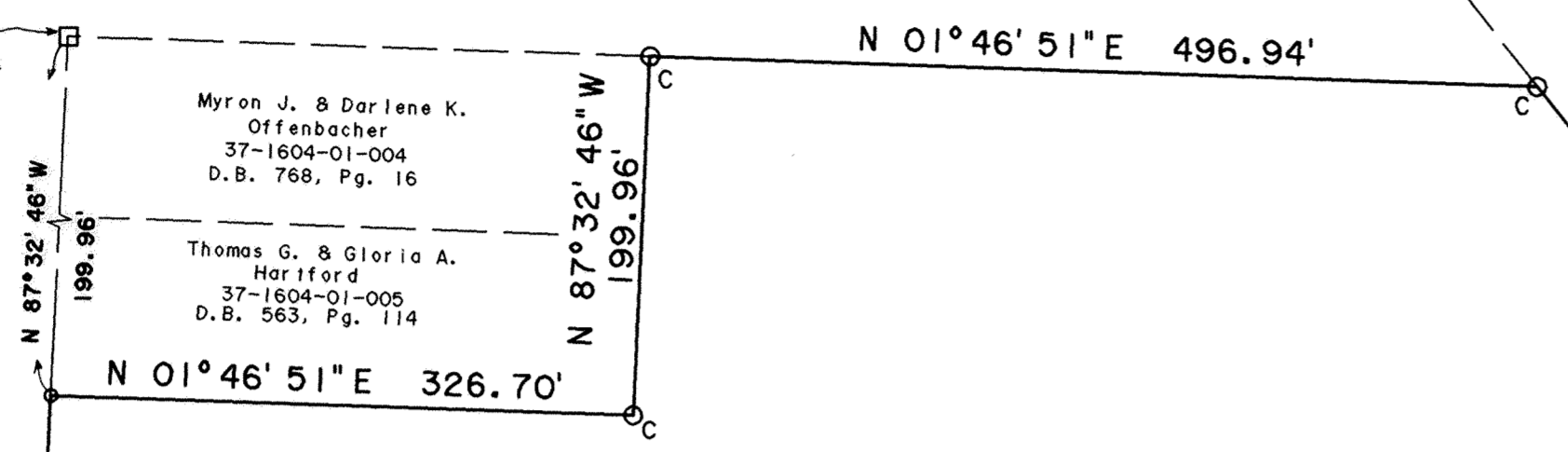


Delbert A. Williams, Trustee
37-1603-02-001
D.B. 750, Pg. 727

Found Mon. Box at the SW Corner of the SE 1/4 of Section 16

Myron J. & Darlene K. Offenbacher
37-1604-01-004
D.B. 768, Pg. 16

Thomas G. & Gloria A. Hariford
37-1604-01-005
D.B. 563, Pg. 114



CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	130.00'	62.36'	27°29'00"	61.76'	S 51°34'26" E

C.L. Bible Rd.
N 87°32'46"W 742.81'

POINT OF BEGINNING

S 02°28'37"W 199.89'
Thomas M. & Starla D. Huffer
37-1604-01-003.001
D.B. 885, Pg. 892

Terry Lynn Routson
37-1604-01-006
D.B. 809, Pg. 604

Andrew J. Horner & Christine V. Tyre
37-1604-01-007
D.B. 870, Pg. 380

Basis of Bearings - S. Line of the SE 1/4, Section 16

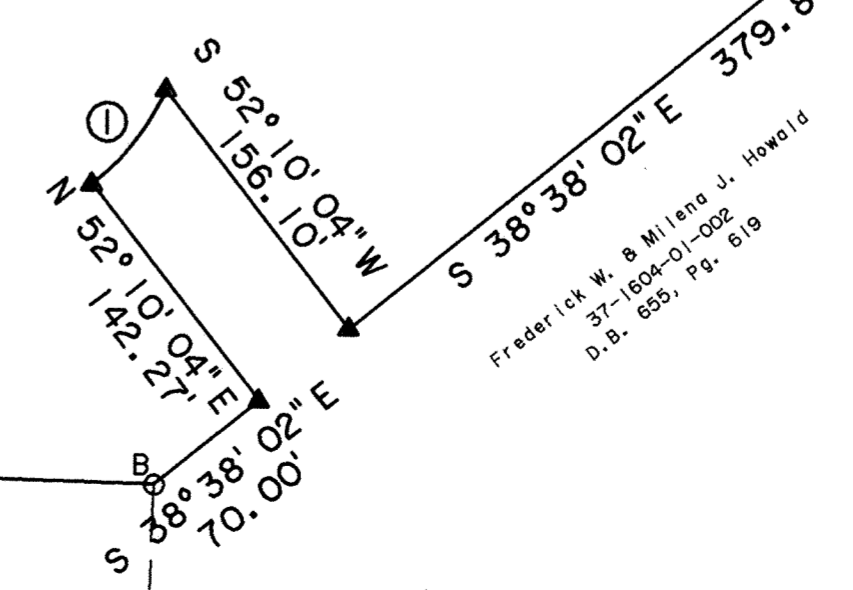
Found Mon. Box at the SE Corner of Sec. 16

Autumn Ridge No. 1
(For Description - See Sht. No. 2)

Bath Local School District
37-1604-01-009
D.B. 365, Pg. 183

Interstate 75
N 51°03'41"E 1330.00'

- o - Found P.K. Nail
- A - Found #5 Rebar
- B - Found #4 Rebar
- - Set P.K. Nail
- ▲ - Set Concrete Monument
- C - Set #5 Rebar



Frederick W. & Milene J. Howald
37-1604-01-002
D.B. 655, Pg. 618

7 Oaks Subdivision No. 1 Replat

Replat of Lots 29551, 29552, 29553 & 29554

Plat Book 24, Page 110

SW1/4 Section 28, T3S, R6E

American Township, Allen County, Ohio

DEDICATION

Laux Construction Inc., being the owner of the described premises, hereby voluntarily consents to the execution of said plat, and dedicates the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

DESCRIPTION

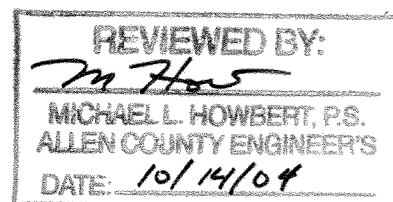
Being a part of Lot 29551 thru lot 29553 and Lot 29554 in 7 Oaks Subdivision No. 1 (Plat book 24, Page 110) in the SW¼ of Section 28, T3S, R6E, American Township, Allen County, Ohio, more particularly described as follows:

Commencing for reference at the monument box at the northwest corner of the SW¼ of Section 28, thence S.0°-00'-50"E. (assumed bearing) on the centerline Stevick Road (west line of the E½ of the SW¼), 1531.25' to an existing PK nail; thence S.89°-11'-00"E., 30.00' to an existing #5 rebar on the east R/W line of Stevick Road, the POINT OF BEGINNING of the parcel to be described for replat, thence the following courses;

1. Continue on the north line of lots 29551 and 29552 and 29553, S.89°-11'-00"E., 249.31' to a set #5 rebar;
2. N.86°-43'-17"E., 139.33' to an existing #5 rebar at the northeast corner of Lot 29554;
3. S.0°-00'-00"W. on the east line of lot 29554, 135.87' to a set #5 rebar on the north line of Bur Oak Trail;
4. Northwesterly on the arc of a curve to the left on the north line of Bur Oak Trail, an arc length of 21.93' to a set #5 rebar at the PT, said curve having a radius of 283.34' and a chord of N.88°-17'-25"W., 21.92' and a central angle of 4°-26'-04"W.;
5. S.89°-29'-33"W. on the north line of Bur Oak Trail, 366.45' to an existing #5 rebar on the east R/W line of Stevick Road;
6. N.0°-00'-50"W., 134.05' to the POINT OF BEGINNING.

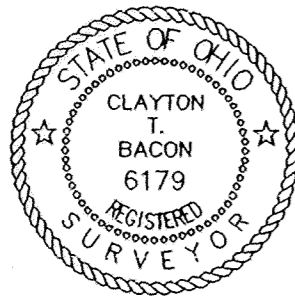
The above-described parcel contains 1.171 acre, more or less, subject to all legal highways and easements of record at the time of survey.

This plat and description is based on a field survey on 9-22-04 by, Bacon & Associates, LLC under the direction of Clayton T. Bacon, P.S. #6179.



SURVEYOR'S CERTIFICATE

I hereby certify that this is a true and accurate survey performed by me in September 22, 2004. A #5 rebar topped with a plastic cap stamped Bacon & Assoc., P.S. 6179 will be set on all property corners of interior lots and cast-in-place concrete monuments with a 30" long #5 rebar core with a plastic I.D. cap on all subdivision boundary corners.



Clayton T. Bacon

Clayton T. Bacon, P.S. 6179
Bacon & Associates, L.L.C.

10-14-04

OWNER

Michael Laux
Michael Laux President

Daniel Laux
Daniel Laux Secretary-Treasurer

WITNESS

Clayton T. Bacon Margie Humes

Clayton T. Bacon Margie Humes

ACKNOWLEDGEMENT

State of Ohio
County of Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNERS who acknowledged that they signed the hereon plat and the signing thereof was their free act and deed.

IN WITNESS thereof, I affix my hand and seal this 14 day of October, 20 04



Margie Sue Humes
Notary Public

APPROVAL OF REGIONAL PLANNING COMMISSION

This plat having been approved by the Regional Planning Commission of Allen County, Ohio and Executive Director of the Regional Planning Commission, hereby on behalf of said Commission, approve and except this plat this 12th day of October, 2004.

Sharon M. Maguire

Executive Director, Regional Planning Commission

COUNTY RECORDER'S CERTIFICATE

200420274

Filed for record this 14th day of Oct, 2004, at 2:35 PM o'clock in the office of the County Recorder and recorded in Plat Book 26, on Page 90.

Edward P. Kuhn
Recorder, Allen County, Ohio

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 14th day of October, 20 04.

Ben E. Diepenbrock
Auditor, Allen County, Ohio fu.2.00 55

Prepared By
Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

Replat of Lots 29551 thru 29554 of 7 Oaks Subdivision No.1
SW1/4, Section 28, T3S, R6E
American Township, Allen County, Ohio

File: 432-04

Drawn: msh
Date: 10-1-04

2
2

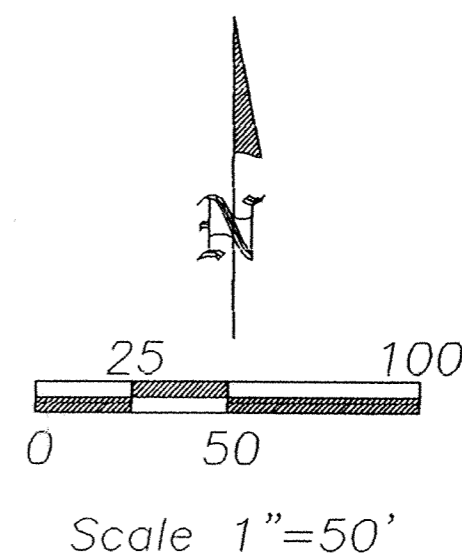
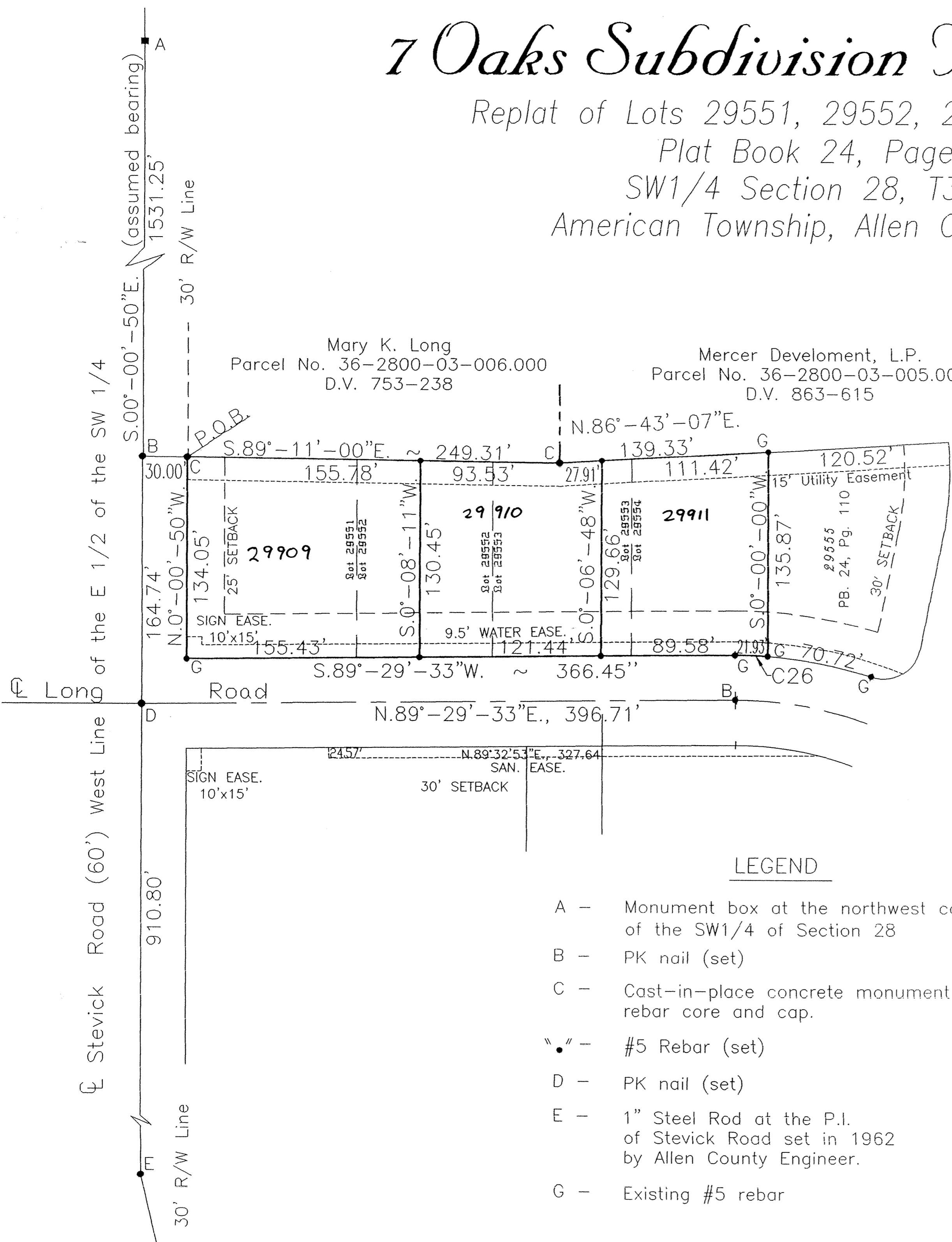
7 Oaks Subdivision No. 1 Replat

Replat of Lots 29551, 29552, 29553 & 29554

Plat Book 24, Page 110

SW1/4 Section 28, T3S, R6E

American Township, Allen County, Ohio



NOTE: Subdivision Restrictions and Covenants pertaining to the lots created by this replat will be the same as those recorded in Plat book 24, Page 112 of the 7 Oaks Subdivision No. 1.

NOTE: Easements shown on this plat are shown in greater detail in the construction plans on file at the County Engineer's office.

R/W CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH	Δ
C26	283.34'	21.93'	N.88°-17'-25"W., 21.92'	4°-26'-04"

LEGEND

- A - Monument box at the northwest corner of the SW1/4 of Section 28
- B - PK nail (set)
- C - Cast-in-place concrete monument w/#5 rebar core and cap.
- "•" - #5 Rebar (set)
- D - PK nail (set)
- E - 1" Steel Rod at the P.I. of Stevick Road set in 1962 by Allen County Engineer.
- G - Existing #5 rebar

Prepared By **Bacon & Associates, L.L.C.**
 750 N. Eastown Rd., Elida, Ohio 45807
 Office: (419) 999-3756 - Fax: (419) 999-2523

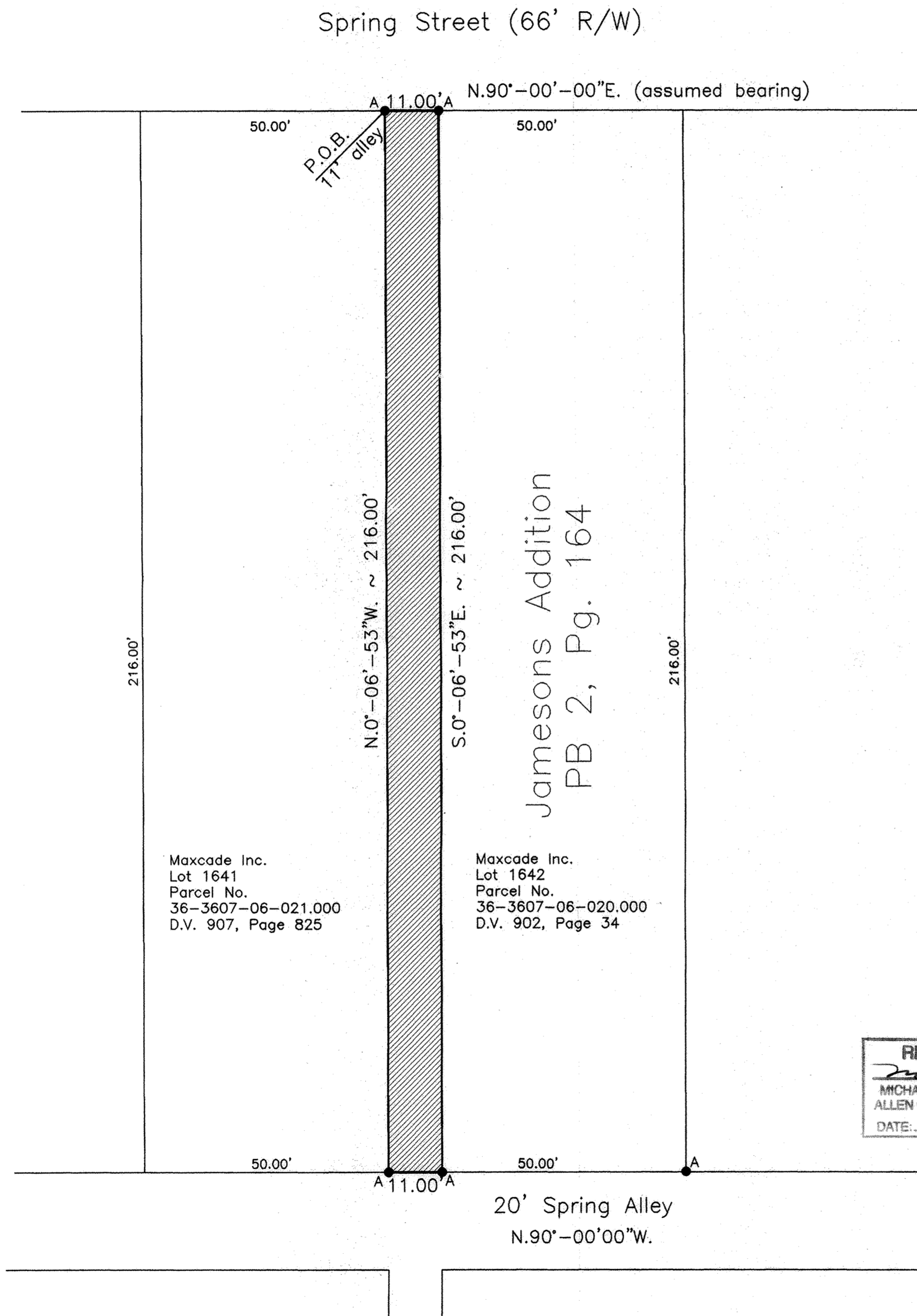
Replat of Lots 29551 thru 29554 of 7 Oaks Subdivision No. 1
 SW1/4, Section 28, T3S, R6E
 American Township, Allen County, Ohio

Drawn: msh
 Date: 10-1-04
 File: 432-04

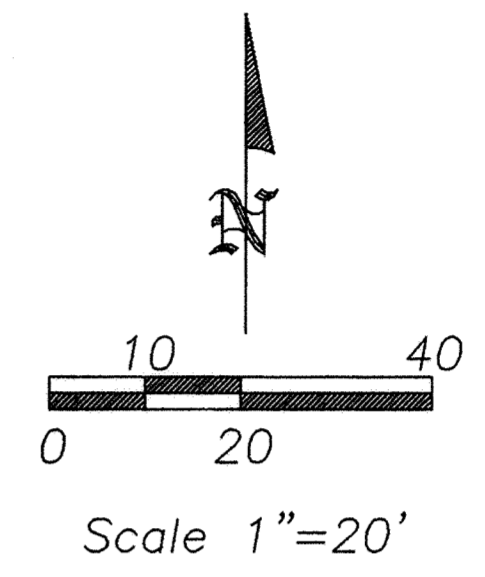
1
2

11' ALLEY VACATION

Between Lots 1641 & Lot 1642 in Jameson Addition



LEGEND
 A = Set #5 rebar



DESCRIPTION (11' Public Alley Vacation)

Being an 11' wide public alley between Lots 1641 and 1642 in the Jameson Addition to the City of Lima as recorded in Plat Book 2, Page 164 in the NW¼ of Section 36, T3S, R6E, City of Lima, Allen County, Ohio, more particularly described as follows:

Beginning at a set #5 rebar at the northeast corner of Lot 1641, thence the following courses;

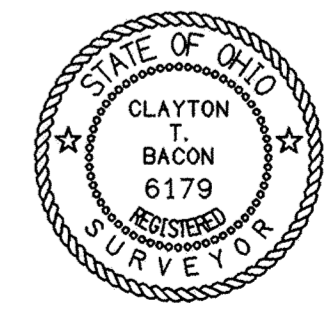
1. N.90°-00'-00"E. (assumed bearing) on the south line of West Spring Street, 11.00' to a set #5 rebar at the northwest corner of Lot 1642;
2. S.0°-06'-53"E. on the west line of Lot 1642, 216.00' to a set #5 rebar at the southwest corner of Lot 1642;
3. N.90°-00'-00"W., 11.00' to a set #5 rebar at the southeast corner of Lot 1641;
4. N.0°-06'-53"W. on the east line of Lot 1641, 216.00' to the POINT OF BEGINNING.

The above-described public alley contains 0.545 acre (2376 S.F.), more or less, subject to all legal easements of record at the time of survey.

This plat and description is based on a field survey on 1-9-04 by, Bacon & Associates, LLC under the direction of Clayton T. Bacon, P.S. #6179.

REVIEWED BY:
[Signature]
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 4/5/04

2004 20563
 Filed & Recorded at 2:41 pm on Oct 18, 2004
 Plat Book 26 pg 92
 Edward P. King and
 Allen Co Recorder
 Fee: \$82.80
 See Dad vol 932 pg 822



Clayton T. Bacon
 Clayton T. Bacon, Reg. P.S. #6179 4-5-04

This description and plat is based on an actual field survey performed on Date 2, by Bacon & Associates under the the direction of Clayton T. Bacon, P.S. #6179

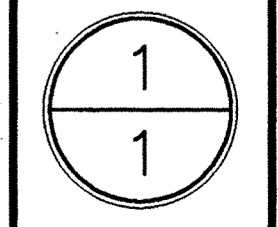
Prepared By

Bacon & Associates, L.L.C.
 750 N. Eastown Rd., Elida, Ohio 45807
 Office: (419) 999-3756 - Fax: (419) 999-2523

Maxcade Inc.
 Lots 1640-1643 Jameson Addition
 American Township, Allen County, Ohio

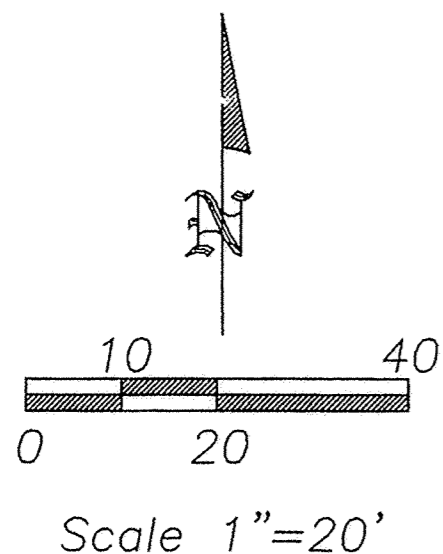
File: 352-03

Drawn: msh
 Date: 3-15-04



6' ALLEY VACATION

Between Lots 1643 in Jameson Addition & 3534 in F. A. Holland's Addition



LEGEND
 A = Set #5 rebar
 B = Found #5 rebar

DESCRIPTION
 (6' Public Alley Vacation)

Being 6' wide public alley along the east side of Lot 1643 in Jameson Addition to the City of Lima as recorded in Plat Book 2, Page 164, in the NW¼ of Section 36, T3S, R6E, City of Lima, Allen County, Ohio, more particularly described as follows:

Beginning at a set #5 rebar at the northeast corner of Lot 1643, thence the following courses;

1. N.90°-00'-00"E. (assumed bearing) on the south line of West Spring Street, 6.00' to a set #5 rebar;
2. S.0°-06'-53"E., 216.00' to a point N.0°-06'-53"W., 2.00' from an existing #5 rebar at the southwest corner of Lot 3534 in the F. A. Hollan's Addition as recorded in Plat Book 4, Page 12;
3. N.90°-00'-00"W., 6.00' to a set #5 rebar at the southeast corner of Lot 1643;
4. N.0°-06'-53"W. on the east line of Lot 1643, 216.00' to the POINT OF BEGINNING.

The above-described public alley contains 0.030 acre (1296 S.F.), more or less, subject to all legal easements of record at the time of survey.

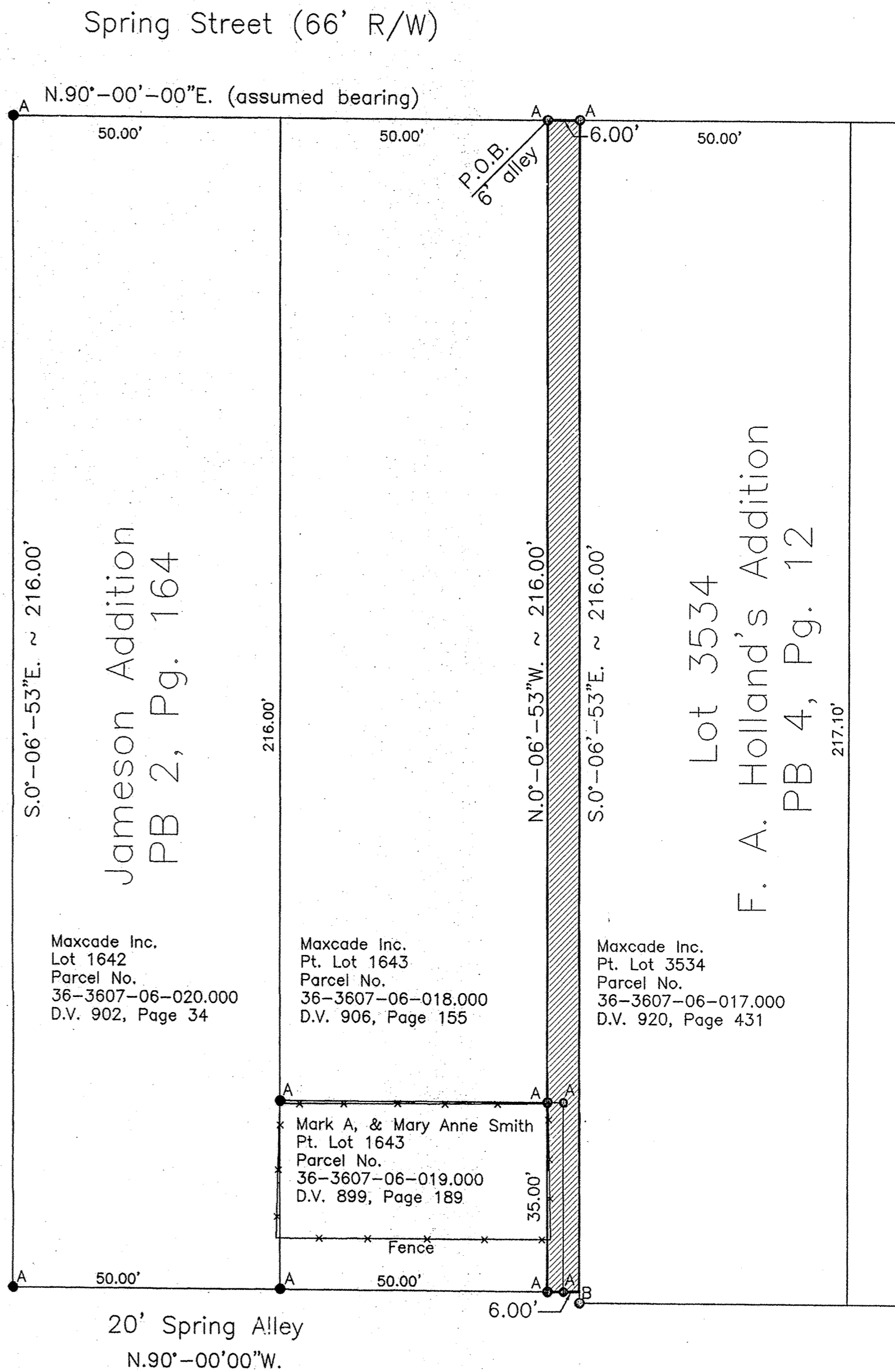
This plat and description is based on a field survey on 1-9-04 by, Bacon & Associates, LLC under the direction of Clayton T. Bacon, P.S. #6179.



Clayton T. Bacon
 Clayton T. Bacon, Reg. P.S. #6179

4-5-04

This description and plat is based on an actual field survey performed on Date 2, by Bacon & Associates under the direction of Clayton T. Bacon, P.S. #6179



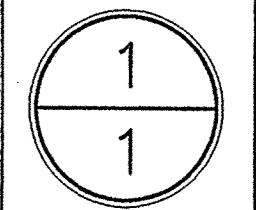
Prepared By
Bacon & Associates, B.B.C.
 750 N. Eastown Rd., Elida, Ohio 45807
 Office: (419) 999-3756 - Fax: (419) 999-2523

Maxcade Inc.
 Lots 1643 in Jameson Addition & 3534 in Holland Addition
 American Township, Allen County, Ohio

File: 352-03

Drawn: msh
 Date: 3-18-04

REVIEWED BY:
Michael L. Rowbert
 MICHAEL L. ROWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 4/5/04



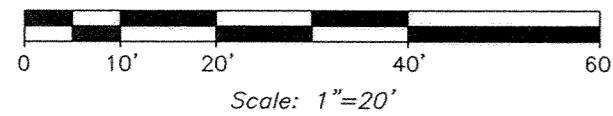
VACATION OF RIGHT-OF-WAY

WATER STREET

BETWEEN S. WEST STREET AND S. ELIZABETH STREET

PT. SW 1/4, SECTION 31, TOWNSHIP-3-SOUTH, RANGE-7-EAST

CITY OF LIMA, ALLEN COUNTY, OHIO



LEGEND

- 3/4" DIAMETER IRON PIPE WITH ORANGE "K&K/LIMA" PLUG (found)
- ⊙ PK NAIL (found)
- IRON PIPE (found)
- ⊙ PK NAIL (set)

Authorized and approved by City of Lima Ordinance No. 168-04, passed August 30, 2004.

DESCRIPTION

Being a part of Water Street as platted in the Original Plat of the City of Lima, Allen County, Ohio as recorded in Plat Book 4, Page 1, located in the southwest quarter of Section 31, Township-3-South, Range-7-East, Bath Township, now within the corporate limits of the City of Lima, Allen County, Ohio, and more particularly described as follows:

BEGINNING at an iron pipe found at the northwest corner of Lot 5226 in Gale's Addition to the City of Lima, recorded in Plat Book 4, Page 63, said corner being the intersection of the east right-of-way line of S. West Street and the south right-of-way line of Water Street;

thence N00°05'09"W with the east right-of-way line of S. West Street, 55.06 feet to an iron pipe with an orange "K&K/Lima" plug found at the southwest corner of Lot 184 in said Original Plat, also being the intersection of the east right-of-way line of S. West Street and the north right-of-way of Water Street, passing at 27.53 feet a PK nail set;

thence S89°54'46"E with the south line of Lots 184, 185, 186, and 187 in said Original Plat, also being the north right-of-way line of Water Street, 202.23 feet (platted distance of 200.00 feet) to an iron pipe with an orange "K&K/Lima" plug found at the southeast corner of said Lot 187, also being the intersection of the west right-of-way line of S. Elizabeth Street and the north right-of-way of Water Street;

thence S02°46'45"E with the west right-of-way line of S. Elizabeth Street, 55.12 feet to a PK nail found at the intersection of said west right-of-way line of S. Elizabeth Street and the present south right-of-way line of Water Street established when an 11 foot wide strip of Water Street was vacated by Lima City Council on July 1, 1895, passing at 27.56 feet a PK nail set;

thence N89°54'46"W with the present south right-of-way line of Water Street and the north line of Lots 5225 and 5226 in said Gale's Addition, 204.82 feet to an iron pipe found at the northwest corner of said Lot 5226, being the POINT OF BEGINNING.

The area to be vacated contains 0.257 acres.

Bearings are based on the east right-of-way line of S. West Street, south of Water Street, as being assumed to be N00°16'14"E as indicated in a Warranty Deed to the City of Lima, Ohio, recorded in Deed Volume 834, Page 799.

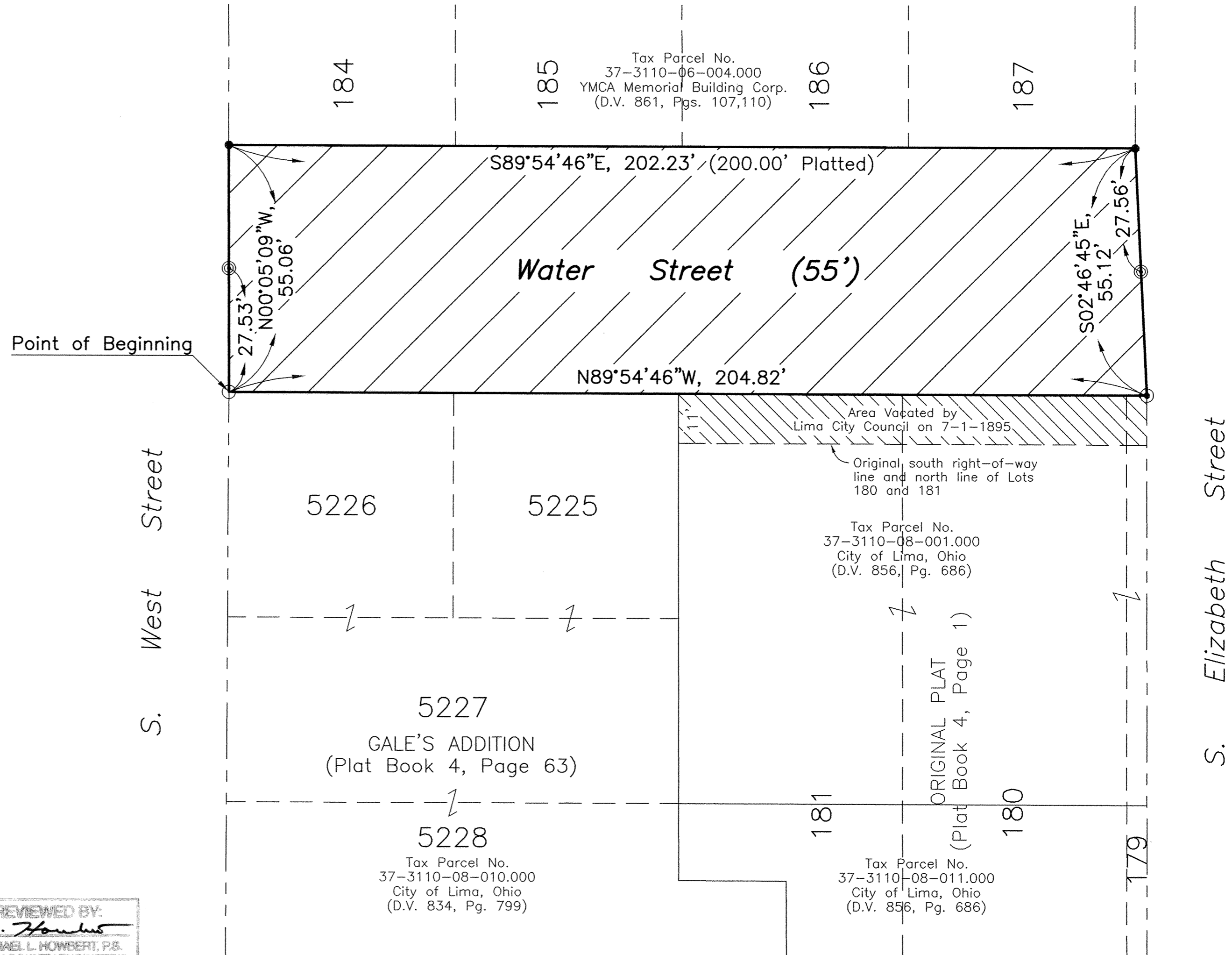
This description is based on surveying work performed by the City of Lima, Ohio under the supervision of Larry W. Stayonovich, Ohio Professional Surveyor #7365 in May of 1998.

8-25-04
Date

Larry W. Stayonovich
Larry W. Stayonovich, P.S. #7365



REVIEWED BY:
Mr. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 8/31/04



COUNTY AUDITOR

This plat filed for transfer this 19th day of October, 2004.

FEE:

Ben E. Dierker PL
Auditor, Allen County, Ohio
no fee

200420565

COUNTY RECORDER

Filed for record this 19th day of October, 2004, at 2:43 O'Clock P.M. in the office of the Allen County Recorder and recorded in Plat Book 26 on Page 94.

Fee \$ 41.40
See Ord Vol 932 pg 826

Edward P. Kien ax
Recorder, Allen County, Ohio

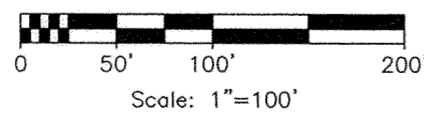
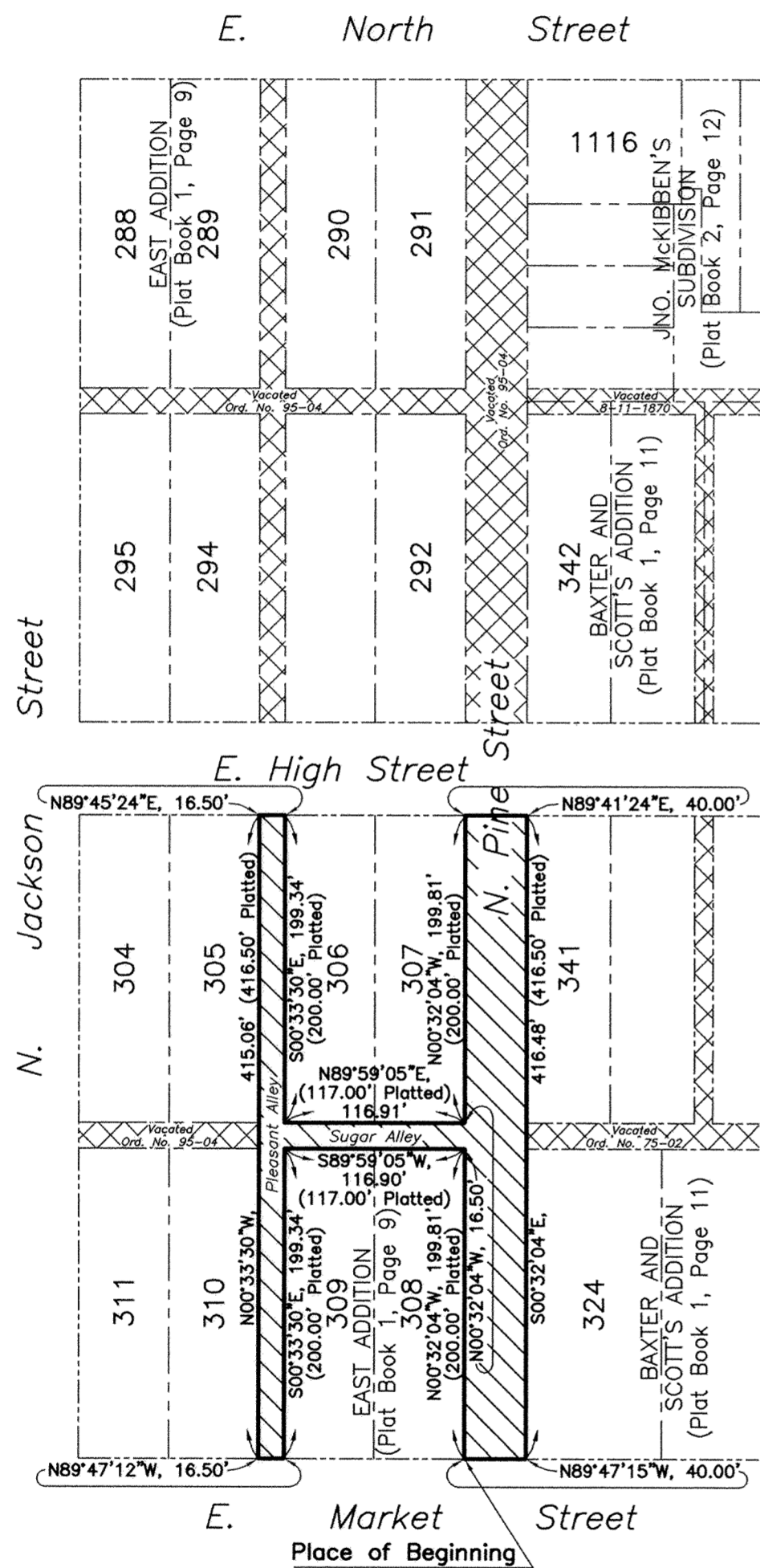
VACATION OF RIGHT-OF-WAY

A PUBLIC STREET AND VARIOUS PUBLIC ALLEYS

IN EAST ADDITION (PLAT BOOK 1, PAGE 9)

PT. NE 1/4 AND PT. NW 1/4, SECTION 31, TOWNSHIP-3-SOUTH, RANGE-7-EAST

CITY OF LIMA, ALLEN COUNTY, OHIO



DESCRIPTION

Being a 16.50 foot north-south public alley referred to as Pleasant Alley, located west of N. Pine Street between E. Market Street and E. High Street, a 16.50 foot public alley referred to as Sugar Alley, located north of E. Market Street between Pleasant Alley and N. Pine Street, and N. Pine Street from the north right-of-way line of E. Market Street to the south right-of-way line of E. High Street, as platted in East Addition (Plat Book 1, Page 9), located in the northeast quarter and the northwest quarter of Section 31, Township-3-South, Range-7-East, Bath Township, now within the corporate limits of the City of Lima, Allen County, Ohio, and more particularly described as follows:

BEGINNING at the southeast corner of Lot 308 in East Addition, also being the northwest corner of the intersection of N. Pine Street and E. Market Street;

thence N00°32'04"W with the east line of Lot 308, also being the west right-of-way line of N. Pine Street, 199.81 feet (platted distance is 200.00 feet) to the northeast corner of said Lot 308;

thence S89°59'05"W with the north line of Lots 308 and 309, 116.90 feet (platted distance is 117.00 feet) to the northwest corner of said Lot 309;

thence S00°33'30"E with the west line of Lot 309, 199.34 feet (platted distance is 200.00 feet) to the southwest corner of said Lot 309;

thence N89°47'12"W with the north right-of-way line of E. Market Street, 16.50 feet to the southeast corner of Lot 310;

thence N00°33'30"W with the east line of Lot 310, the east line of a vacated alley, vacated by Ord. 95-04 as recorded in Plat Book 26, Page 9, and the east line of Lot 305, 415.06 feet (platted distance is 416.50 feet) to the northeast corner of said Lot 305;

thence N89°45'24"E with the south right-of-way line of E. High Street, 16.50 feet to the northwest corner of Lot 306;

thence S00°33'30"E with the west line of Lot 306, 199.34 feet (platted distance is 200.00 feet) to the southwest corner of said Lot 306;

thence S89°59'05"E with the south line of Lots 306 and 307, 116.91 feet (platted distance is 117.00 feet) to the southeast corner of said Lot 307;

thence N00°32'04"W with the east line of Lot 307, also being the west right-of-way line of N. Pine Street, 199.81 feet (platted distance is 200.00 feet) to the northeast corner of said Lot 307;

thence N89°41'24"E with the south right-of-way line of E. High Street, 40.00 feet to the northwest corner of Lot 341 in Baxter and Scott's Addition (Plat Book 1, Page 11);

thence S00°32'04"E with the west line of Lot 341, the west line of a vacated alley, vacated by Ord. 75-02 as recorded in Plat Book 25, Page 70, and the west line of Lot 324, said west lines also being the east right-of-way line of N. Pine Street, 416.48 feet (platted distance is 416.50 feet) to the southwest corner of said Lot 324;

thence N89°47'15"W with the north right-of-way line of E. Market Street, 40.00 feet to the southeast corner of Lot 308, being the PLACE OF BEGINNING.

Containing 0.584 acres, more or less, subject to all easments of record.

All bearings are based on an assumed bearing of N00°32'04"W for the east right-of-way line of N. Pine Street.

This description was prepared by Larry W. Stayonovich, Ohio Surveyor #7365-City of Lima, Ohio, and is based on a survey done for Lima City Schools by Kohli and Kaliher Associates, Inc.

8-25-04
Date

Larry W. Stayonovich
Larry W. Stayonovich, P.S. #7365



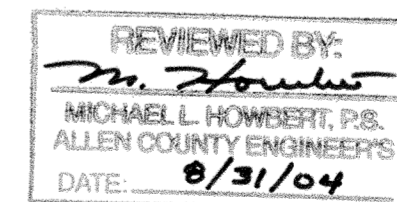
Authorized and approved by City of Lima Ordinance No. 185-04, passed Sept. 27, 2004.

COUNTY AUDITOR
This plat filed for transfer this 19th day of October, 2004.

FEE: Ben E. Diipenbrock
Auditor, Allen County, Ohio
no fee

200420967 COUNTY RECORDER
Filed for record this 19th day of October, 2004, at 2:45 O'Clock
P.M. in the office of the Allen County Recorder and recorded in
Plat Book 26 on Page 95.

Edmund P. Link
Recorder, Allen County, Ohio
Fee \$ 41.40
See Deed vol 932 pg 829



NEW LIMA HOMES ALLEY VACATION

LOCATED IN NW 1/4 SECTION 7, TOWN 4, RANGE 7
PERRY TOWNSHIP, CITY OF LIMA
ALLEN COUNTY, OHIO
CONTAINING: 0.0403 ACRES
DATE: 09/29/04
PREPARED BY;

CERTIFICATION:

I HEREBY CERTIFY THAT THIS REPRESENTS A FIELD SURVEY PERFORMED UNDER MY SUPERVISION AND THAT ALL DISTANCES ARE CORRECT AS SHOWN. ALL CURVE DISTANCES ARE MEASURED ON THE ARC.



Jeffrey A. Van Atta
JEFFREY A. VAN ATTA
PROFESSIONAL OHIO REGISTERED SURVEYOR #7354

09/29/04
DATE

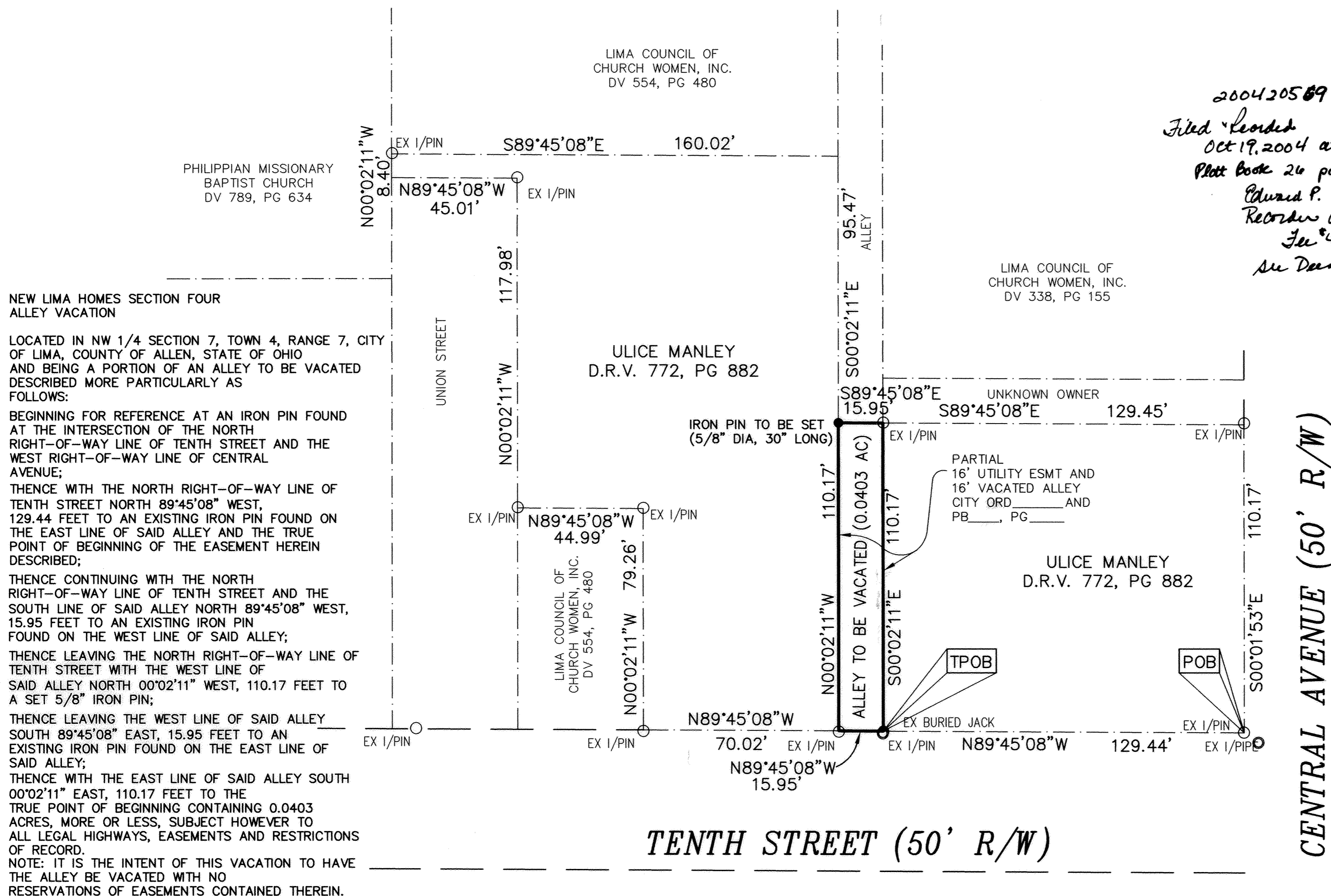


**Van Atta
Engineering
Inc.**

Engineering & Surveying
245 W. Elmwood Drive Suite 202
Centerville, Ohio 45459
Phone: (937) 438-5650
Fax: (937) 438-5645

SURVEY SYMBOLS LEGEND:

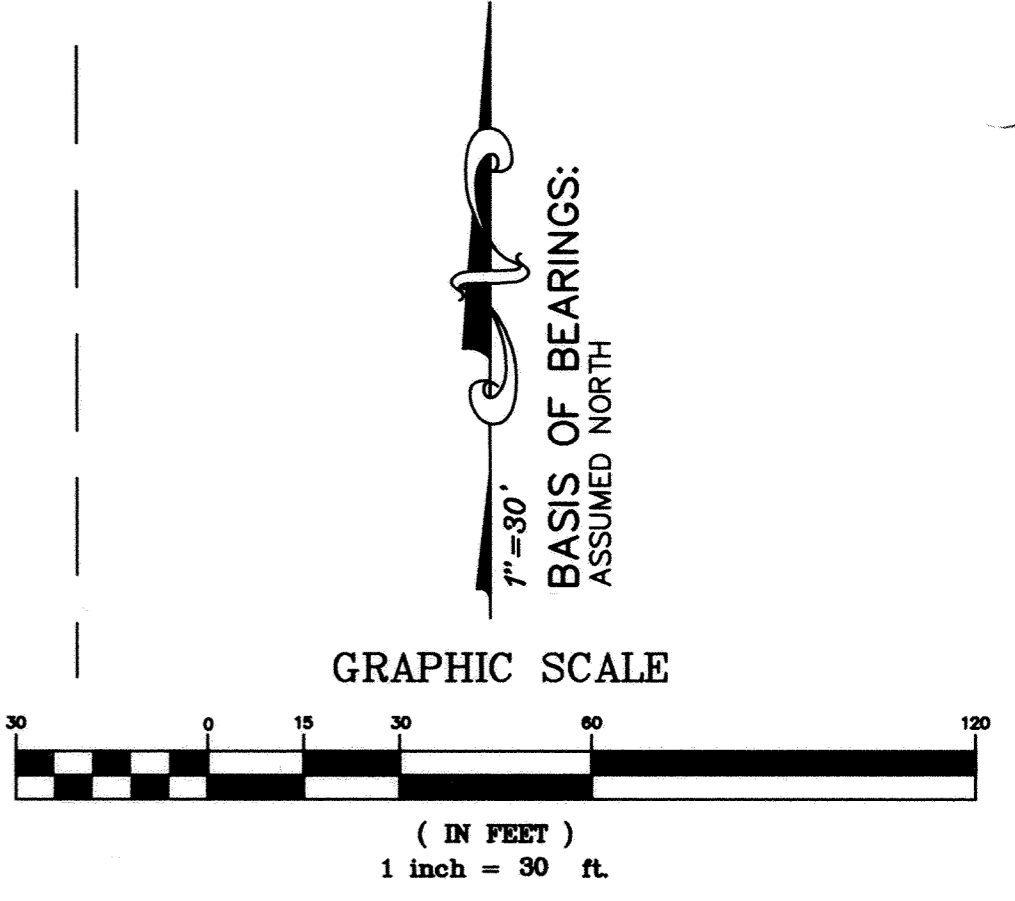
- ⊕ EX CROSS NOTCH FOUND
- EX 5/8" IRON PIN FOUND
- EX 1" IRON PIPE FOUND
- EX CONCRETE MONUMENT FOUND
- × EX PK NAIL FOUND
- ◁ EX RAILROAD SPIKE FOUND
- IRON PIN TO BE SET
(5/8" DIA, 30" LONG)
- CONCRETE MONUMENT TO BE SET
- × PK NAIL TO BE SET
- ⊕ CROSS NOTCH TO BE SET



200420589
Filed & Recorded
Oct 19, 2004 at 2:48 pm
Plat Book 26 pg 96
Edward P. Kink (and)
Recorder Allen Co Ohio
Fee \$41.40
See Deed vol 932 pg 833

DEVELOPER:
 MVC LAND DEVELOPMENT, LLC
 4334 GLENDALE-MILFORD ROAD
 CINCINNATI, OHIO 45242
 (513)588-1000 PHONE
 (513)588-1226 FAX

REVIEWED BY:
M. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: *10/5/04*

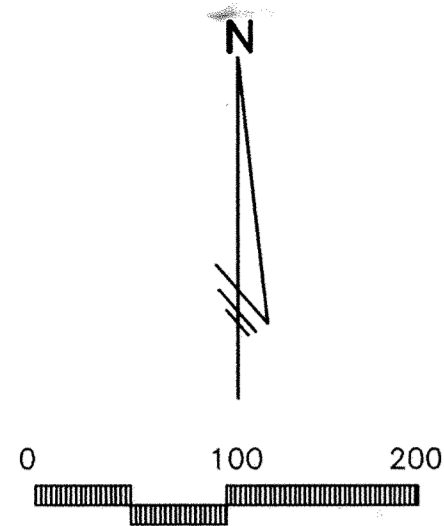


G:\P\ML\ALLEY-VACATION2.DWG, SEPT 29, 2004 - 15:34:58

Amanda Lakes No. 4

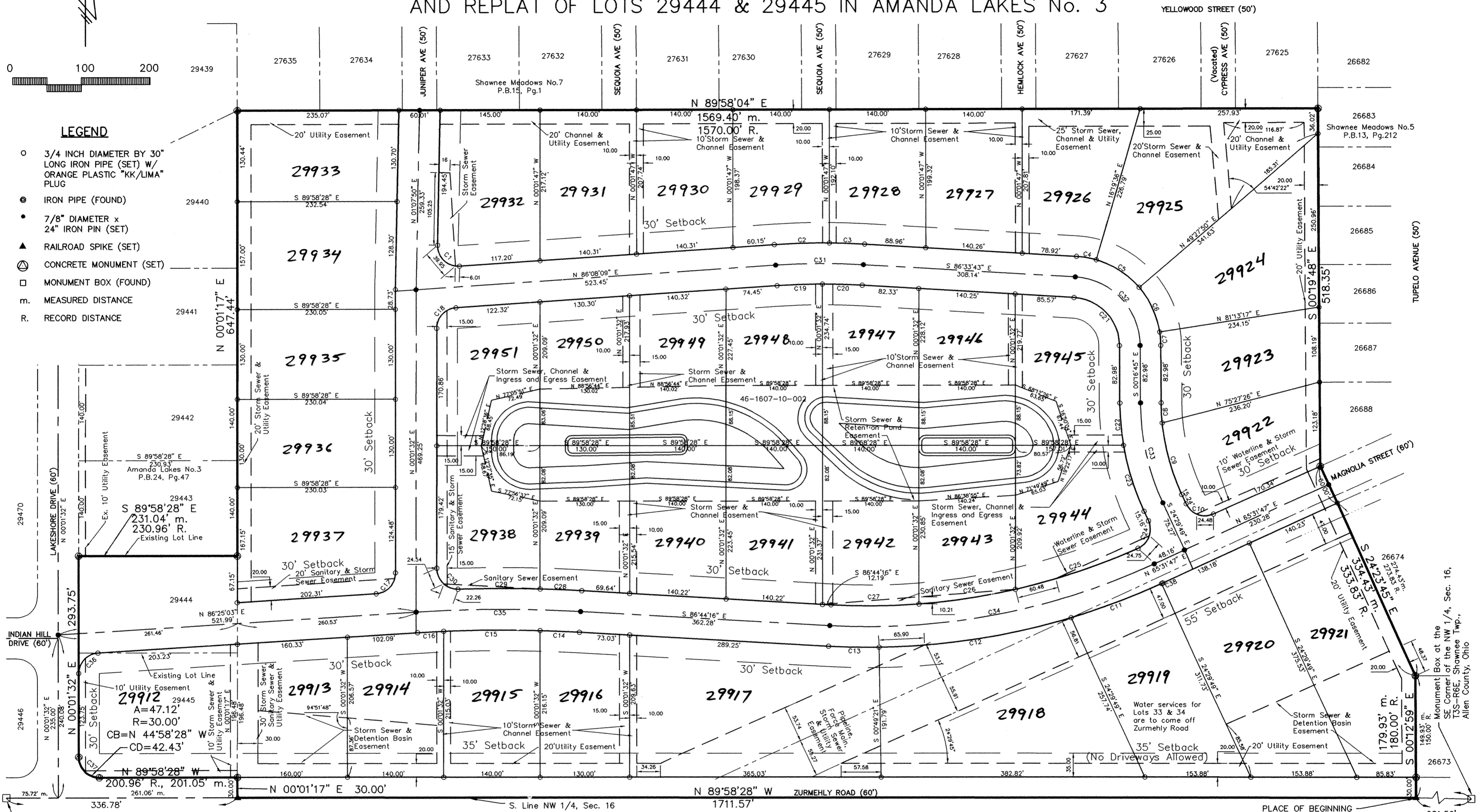
PT. NW 1/4, SEC. 16, T-3-S, R-6-E,
SHAWNEE TWP., ALLEN CO., OHIO

AND REPLAT OF LOTS 29444 & 29445 IN AMANDA LAKES No. 3



LEGEND

- 3/4 INCH DIAMETER BY 30" LONG IRON PIPE (SET) W/ ORANGE PLASTIC "KK/LJMA" PLUG
- IRON PIPE (FOUND)
- 7/8" DIAMETER x 24" IRON PIN (SET)
- ▲ RAILROAD SPIKE (SET)
- ⊙ CONCRETE MONUMENT (SET)
- MONUMENT BOX (FOUND)
- m. MEASURED DISTANCE
- R. RECORD DISTANCE



23941	23942	23943	46-1610-02-007.005	46-1610-02-012	23944	23945	23946	23947	23948	46-1610-02-002.001	46-1610-02-002	23932	23933	
Monument Box at the SW Corner of the NW 1/4, Sec. 16, T3S-R6E, Shawnee Twp., Allen County, Ohio			Road Right-of-Way Area 6.995 Acre Lot Area 31.928 Acre Net Area 38.923 Acre		Shawnee Meadows No.1 P.B.10, Pg.95			Shawnee Meadows No.1 P.B.10, Pg.95			Shawnee Meadows No.1 P.B.10, Pg.95			Shawnee Meadows No.5 P.B.13, Pg.212

NUMBER	ARC	RADIUS	BEARING	CHORD	TAN	EXT	DELTA
C1	49.74	30.00	S 46°22'01" E	44.23	32.74	14.40	94°59'41"
C2	80.03	1030.00	N 88°21'43" E	80.01	40.04	0.78	04°27'07"
C3	51.24	1030.00	S 87°59'13" E	51.23	25.82	0.32	02°51'01"
C4	29.24	130.00	S 80°07'03" E	29.18	14.68	0.83	12°53'19"
C5	75.19	130.00	S 57°06'17" E	74.14	38.68	5.63	33°08'13"
C6	72.06	130.00	S 24°39'27" E	71.4	36.98	5.16	31°45'28"
C7	19.28	130.00	S 04°31'44" E	19.27	9.66	0.36	08°29'58"
C8	29.62	330.00	S 02°51'02" E	29.61	14.82	0.33	05°08'35"
C9	109.86	330.00	S 14°57'34" E	109.36	55.44	4.63	19°04'29"

NUMBER	ARC	RADIUS	BEARING	CHORD	TAN	EXT	DELTA
C10	47.15	30.03	S 69°26'08" E	42.45	30.01	12.43	89°58'24"
C11	140.46	1030.00	S 69°32'16" W	140.35	70.34	2.40	07°48'47"
C12	282.83	1030.00	S 81°18'39" W	281.94	142.31	9.78	15°43'59"
C13	73.43	1030.00	N 88°46'49" W	73.42	36.73	0.65	04°05'06"
C14	57.14	1970.00	N 87°34'07" W	57.14	28.57	0.21	01°39'43"
C15	140.03	1970.00	S 89°33'51" W	140.00	70.05	1.24	04°04'22"
C16	38.17	1970.00	S 86°58'22" W	38.17	19.08	0.09	01°06'36"
C17	45.23	30.00	N 43°13'18" E	41.07	28.17	11.15	86°23'31"
C18	45.09	30.00	N 43°04'50" E	40.96	28.03	11.06	86°06'37"

NUMBER	ARC	RADIUS	BEARING	CHORD	TAN	EXT	DELTA
C19	65.77	970.00	N 88°04'42" E	65.76	32.90	0.56	03°53'06"
C20	57.85	970.00	S 88°16'14" E	57.85	28.94	0.43	03°25'02"
C21	105.41	70.00	S -3°25'14" E	95.73	65.60	25.93	86°16'58"
C22	62.49	390.00	S 04°52'09" E	62.42	31.31	1.25	09°10'48"
C23	102.36	390.00	S 16°58'41" E	102.07	51.48	3.38	15°02'16"
C24	47.52	30.00	S 20°52'41" W	42.70	30.40	12.71	90°45'00"
C25	187.65	970.00	S 71°47'42" W	187.36	94.12	4.56	11°05'03"
C26	141.68	970.00	S 81°31'17" W	141.56	70.97	2.59	08°22'08"
C27	127.93	970.00	S 89°29'03" W	127.83	64.06	2.11	07°33'23"

NUMBER	ARC	RADIUS	BEARING	CHORD	TAN	EXT	DELTA
C28	60.53	2030.00	N 87°35'31" W	60.53	30.27	0.23	01°42'30"
C29	119.06	2030.00	S 89°52'25" W	119.04	59.55	0.87	03°21'37"
C30	48.08	30.00	N 45°53'26" W	43.10	30.97	13.12	91°49'55"
C31	127.45	1000.00	N 89°47'13" E	127.36	63.81	2.03	07°18'08"
C32	150.59	100.00	S 43°25'14" E	136.76	93.71	37.05	86°16'58"
C33	152.16	360.00	S 12°23'17" E	151.03	77.24	8.19	24°13'04"
C34	484.02	1000.00	S 79°23'46" W	479.31	246.85	30.02	27°43'57"
C35	238.92	2000.00	S 89°50'24" W	238.78	119.60	3.57	06°50'41"
C36	45.23	30.00	S 43°13'18" W	41.07	28.17	11.15	86°23'31"
C37	47.12	30.00	N 44°58'28" W	42.43	30.00	12.43	90°00'00"
C38	1.82	1030.00	S 65°34'50" W	1.82	0.91	0.00	00°06'05"

Amanda Lakes No. 4

PT. NW 1/4, SEC. 16, T-3-S, R-6-E,
SHAWNEE TWP., ALLEN CO., OHIO
AND REPLAT OF LOTS 29444 & 29445 IN AMANDA LAKES No. 3

COUNTY ENGINEER'S CERTIFICATION

Having checked the construction of the streets in the subdivision, I find that they have been constructed in accordance with the specifications set forth on the plans and regulations thereof, and that they are in good repair and this endorsement shall constitute acceptance of the streets for public use.

If the streets have not been installed, I am in agreement with the performance bond to insure the completion of construction which has been filed with and approved by the Planning Commission.

Wayne E. Deedeman
Allen County Engineer

APPROVAL OF COUNTY COMMISSIONERS

In accordance with Ohio Revised Code Section 711.041, the Board of Allen County Commissioners hereby accept this plat by Commissioner's Resolution Number 151-04, dated November 2, 2004 said plat having been approved by the Allen County Engineer and the Lima Allen County Regional Planning Commissioners.

[Signature]
President of the Board of Allen County Commissioners

LEGAL DESCRIPTION

Owner of Record - Richard L. Williams, Trustee of the Richard Lee Williams Loving Trust, dated May 25, 1990
(Allen County Deed Vol. 877, Page 149)
(Tax Parcel Number 46-1607-10-002)
(Allen County Deed Vol. 880, Page 198)
(Tax Parcel Numbers 46-1607-02-008 and 46-1607-02-009)

Being a Replat of Lot Numbers 29444 and 29445 in Amanda Lakes No. 3 (Allen County Plat Book 24, Page 47) and part of the Northwest quarter of Section 16, T-4-S, R-6-E, Shawnee Township, Allen County, Ohio and being more particularly described as follows:

Commencing at a monument box (found) at the Southeast corner of said Northwest quarter;

thence N 89°58'28"W, 621.50 feet, with the South line of said Northwest quarter (centerline of Zurmehly Road), to a railroad spike (set) at the Southwest corner of Shawnee Meadows No. 5 (Allen County Plat Book 13, Page 212) and being the PLACE OF BEGINNING;

thence continuing N 89°58'28"W, 1711.57 feet, with said South line (centerline of Zurmehly Road), to a railroad spike (set) at the Southeast corner of Amanda Lakes No. 3 (Allen County Plat Book 24, Page 47);

thence N 0°01'17"E, 30.00 feet, with the East line of said Amanda Lakes No. 3, to an iron pipe (set) on the North right-of-way line of Zurmehly Road;

thence N 89°58'28"W, 201.05 feet (measured distance) (200.96 feet record distance), parallel to and 30.00 feet North of said South line of the Northwest quarter (centerline of Zurmehly Road) and with said North right-of-way line, to an iron pipe (set) at a Point of Curvature;

thence Northwesterly, with the Easterly right-of-way line of Lakeshore Drive, on a curve to the right, said curve having a radius of 30.00 feet, a chord bearing N 44°58'28"W, a chord distance of 42.43 feet, an arc distance of 47.12 feet to an iron pipe (set) at a Point of Tangency;

thence N 0°01'32"E, 293.75 feet, with the East right-of-way line of said Lakeshore Drive, to an iron pipe (set) at the Southwest corner of Lot Number 29443 in said Amanda Lakes No. 3;

thence S 89°58'28"E, 231.04 feet (measured distance) (230.96 feet record distance), with the South line of said Lot Number 29443, to an iron pipe (set) at the Southeast corner of said Lot Number 29443;

thence N 0°01'17"E, 647.44 feet, with the East line of said Amanda Lakes No. 3, to a pinched iron pipe (found) at the Southwest corner of Lot Number 27635 in Shawnee Meadows No. 7 (Allen County Plat Book 15, Page 1);

thence N 89°58'04"E, 1569.40 feet (measured distance) (1570.00 feet record distance), with the South line of said Shawnee Meadows No.7, to a pinched iron pipe (found) at the Southeast corner of Lot Number 27625, said point also being on the West line of Lot Number 26683 in Shawnee Meadows No. 5 (Allen County Plat Book 13, Page 212);

thence S 0°19'48"E, 518.35 feet, with the West line of said Shawnee Meadows No. 5, to an iron pipe (set) at the Southwest corner of Lot Number 26688 and on the Northerly right-of-way line of Magnolia Street;

thence S 24°23'45"E, 334.43 feet (measured distance) (333.83 feet record distance), continuing with said West line of Shawnee Meadows No.5, to an iron pipe (found) at the Northwest corner of Lot Number 26673, the aforesaid line passing through an iron pipe (set) at 60.00 feet on the Southerly right-of-way line of Magnolia Street;

thence S 0°12'59"E, 179.93 feet (measured distance) (180.00 feet record distance), continuing with said West line of Shawnee Meadows No.5 and West line of said Lot Number 26673, to the PLACE OF BEGINNING, the aforesaid line passing through an iron pipe (set) at 149.93 feet (measured distance) (150.00 feet record distance) on the North right-of-way line of Zurmehly Road.

This parcel contains a gross area of 38.923 acres more or less of which 1.179 acres is Zurmehly Road right-of-way, leaving a net area of 37.744 acres of which 1.713 acres is Replatted Lot Numbers 29444 and 29445 in Amanda Lakes No.3 and is subject to all legal highways, easements, and restrictions of record. 37.210 acres is in Tax Parcel Number 46-1607-10-002 and 1.713 acres is in Tax Parcel Numbers 46-1607-02-008 and 46-1607-02-009.

The legal description above is base on surveying work performed under the supervision of James A. Frederick of Kohli & Kaliher Associates, Inc. through September 27, 2004. The basis of bearing is the South line of the Northwest quarter of Section 16 (centerline of Zurmehly Road) being N 89°58'28"W. Iron pipes called for are 3/4-inch diameter by 30-inch long with an orange plastic "K&K/LIMA" plug. The Boundary corners and right-of-way corners on Zurmehly Road called for in this legal description (found and set), except for railroad spikes in Zurmehly Road, are to be replaced with 6-inch diameter by 30-inch long concrete monuments with iron rebar.

11-1-2004
Date
James A. Frederick
James A. Frederick
Ohio Registered Surveyor No. 6622



OWNERS' DEDICATION AND ACKNOWLEDGMENT

The undersigned, Richard L. Williams, being the owner of the land platted herein, does hereby voluntarily consent to the execution of said plat, and dedicate the streets as shown thereon, comprising of a total of 5.816 acres, to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement or removal of water, storm sewer, open ditch, sanitary sewer, gas, electric telephone or other utility lines or services and for the express privilege of removing any trees or other obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

This plat is subject to the covenants and restrictions shown on the separate document attached hereto and labeled sheet 3 of 4 pages.

[Signature]
Witness

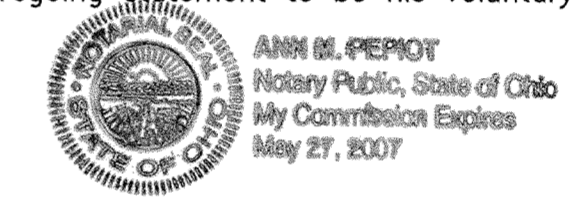
Richard L. Williams
Richard L. Williams

[Signature]
Witness

State of Ohio, S.S., Allen County

Be it remembered that on this 2nd day of November, 2004 personally came the said owner listed above, to me known, and acknowledged the signing and execution of the foregoing statement to be his voluntary act and deed.

Ann M. Pepiot
Notary Public in and for Allen County, Ohio



APPROVAL BY THE PLANNING COMMISSION

I hereby certify that this plat was approved by the Planning Commission on 14 October 2004.

This approval becomes void unless the plat is filed for recording within ninety (90) days of this approval.

Certified X

[Signature]
Director, Lima-Allen County Regional Planning Commission

ALLEN COUNTY COMBINED HEALTH DISTRICT

I hereby certify that this plat meets the requirements of the Allen County Combined Health District.

[Signature]
Director, Allen County Combined Health District

COUNTY AUDITOR

I hereby certify that the land described by this plat was transferred on Nov. 2, 2004.

[Signature] Jan 19.50
Allen County Auditor

COUNTY RECORDER

I hereby certify that this plat was filed for recording on Nov. 2, 2004 and that it was recorded on 11/02/04 in Vol. 26, Page 97, plat records of Allen County, Ohio. Fee \$165.60

[Signature]
Allen County Recorder

Amanda Lakes No. 4

PT. NW 1/4, SEC. 16, T-3-S, R-6-E,
SHAWNEE TWP., ALLEN CO., OHIO

AND REPLAT OF LOTS 29444 & 29445 IN AMANDA LAKES No. 3

PROTECTIVE COVENANTS

As part of a general plan for the development of the real estate shown on the foregoing plat, as a residential area, and for the common advantage and benefit of the purchasers of any of the lots shown on said plat, the restrictions, covenants, reservations, liens and charges hereinafter set forth, each and all of which is and are for the common benefit of said property and for each owner thereof, shall inure to and pass with said property, and each and every parcel thereof, and shall apply to and be binding upon the purchasers and successors in interest and the restrictions, covenants, reservations, easements, liens, and charges applicable to each tract, lot, or parcel shall inure to the benefit of and be enforceable by the purchaser or purchasers of every other tract, lot or parcel and their successors in interest.

The tract, lots and parcels of real estate shown and described on this plat are and shall be held, transferred, sold and conveyed subject to the following conditions, restrictions, covenants, reservations, easements, liens and charges;

- 1) The words "lots" or "building site" shall be construed to mean and shall refer to one or more lots shown on the foregoing plat.
- 2) No structures shall be less than one and a half levels above ground. No ranch style dwellings shall be permitted. No structures other than one family residences not to exceed two and one half levels in height, together with customary out-buildings, such as private garages, home workshops and home greenhouses, incidental to the residential use of such building sites shall be erected, maintained or permitted upon any building site. Any out-buildings must conform in style and architecture to the appearance of the house.
- 3) All buildings shall be constructed of new material and no buildings or other structures whatsoever erected elsewhere shall be permitted to be moved upon any building site without the written permission of the Architectural Committee hereafter referred to.
- 4) No buildings, structures, pool, lakes or ponds of any kind shall be located on any building site nearer than thirty (30) feet from the front property line or nearer than ten (10) feet from the side or rear property line (except on corner lots where no structure shall be located nearer than thirty (30) feet from the street side property line). The restrictions as to the distance at which buildings shall be placed from the front, side and rear lines shall apply to and include porches, port-cocheres, and other similar projections. All residential structures located on building sites must front on a street, excepting that structures on corner lots may be located diagonally thereon. All garages shall have entrances for motor vehicles through the side or rear of the structures only. No front entry for vehicles shall be allowed for such structures.
- 5) No one or two floor residential structure shall be erected on any building site, where the habitable floor area of which exclusive of basement, open porches and garage shall be less than 3000 square feet. The computations of the 3000 square feet shall be:
 - a. Top floor.
 - b. Main floor at ground level.
 - c. Walk out basements or open to sunken patios at basement level (maximum of 300 square feet finished basement under main floor allowed toward total.)
- 6) On lots bordering Zurmehly Road or the central lakes, the exterior of all structures shall consist of real wood and /or masonry construction materials or approved equal. On all other lots, the exterior of all structures, save and except for the rear exterior of all structures shall consist of real wood, masonry or approved equal. The roofing materials shall be wood, fiberglass, asphalt shingles or approved equal. All gutters and downspouts shall be metal or plastic. All swimming pools shall be constructed in ground. All chimneys shall consist of masonry construction. All structures shall have roof pitch of 10/12, minimum visible from road, front of house.
- 7) No building or other structure shall be erected, placed or altered on any building site unless, the building plans, specifications and plot plan showing the horizontal and vertical location of such building with existing and proposed topography, have been approved in writing, as to conformity and harmony of external design and color with the existing structures in the subdivision, and as to the floor location of the building with reference to topography and finished ground elevation, by an Architectural Committee composed of three individuals appointed by Richard L. Williams. In the event of the death or resignation of any member of the Committee originally appointed, the remaining members or member of the Committee shall have the power to appoint new members to fill vacancies.
- 8) No walls, fences or hedges, except retaining walls not extending above ground level, shall be erected or planted on any building site. Privacy fencing and deck railings shall be permitted where the same is installed around the immediate patio area, provided that said patio area is located to the rear of the residence. Said privacy fence shall not be erected
- or altered until the plans and specifications showing the nature, kind, shape, height, materials, and location of the same have been submitted to and approved in writing as to the harmony of the external design and location in relation to surrounding structures and topography by the Board of Directors of the Association, or by the Architectural Committee as herein referenced. The foregoing does not apply to tennis courts, vegetable gardens or swimming pools.
- 9) No animals, livestock or poultry shall be kept or maintained on any of said building sites, except ordinary household pets which do not constitute an annoyance or nuisance, nor shall any house or travel trailers, campers or motor homes or boats or boat trailers or snow mobile trailers, or any other such type equipment be stored or permitted to remain upon any building site, except inside of garage.
- 10) No oil, gas or water wells shall be drilled nor shall any mining or commercial excavating operation of any kind be conducted on any building site.
- 11) Subject to the provisions of Article 2 of these Covenants, no trade or activity of a business nature shall be carried on upon any building site nor shall anything be done thereon which may be or may become an annoyance or nuisance.
- 12) Water from air conditioning, downspouts or land tile drainage shall be discharged into the storm sewer or splash blocks.
- 13) Off street parking must be provided at each home site for at least six (6) automobiles, two (2) of which can be in the garage and the balance of which can be in the driveway.
- 14) An easement for utility purposes is hereby expressly reserved to Richard L. Williams, the present owner of all building sites and to his administrators, executors, successors and assigns and to the purchasers of any building sites, their heirs, executors, administrators and assigns as shown on the plat sheet for Amanda Lakes No. 4 Subdivision.
- 15) No house may be occupied until completed.
- 16) Garbage and other wastes shall be kept only in sanitary containers which shall be kept in a clean and sanitary condition, and shall be so placed and screened by shrubbery, fencing or other appropriate means so as not to be visible from any road, or within sight distance of any lot boundary at any time except during refuse collection.
- 17) By acceptance of a deed or other instrument conveying title to a lot or lots in Amanda Lakes No. 4 Subdivision, the owner or grantee shall accept and be deemed to have accepted the obligation to participate physically and/or financially in the continued maintenance of the planted area located in the roadway at the entrance to the Subdivision.
- 18) Owners of each lot shall be prohibited from filling roadway, roadway side ditches and drainage swales.
- 19) No resident shall construct or erect a satellite dish receiving device which is greater in diameter than 30 inches, or construct or cause to be erected any type of an exterior antenna.
- 20) Easements and rights-of-way are reserved in and over lots shown on the plat for construction, operation, and maintenance of poles, wires, or other facilities therewith for the transmission of electricity, telephone, drainage facilities, construction, operation and maintenance of drains, sewers, and pipe lines for supplying gas, water, heat and for any other public or quasi-public utility or function maintained, furnished, or performed in any method above or beneath the surface of the ground. Easements shown upon the plat may be used by utility companies and public agencies as circumstances require without incurring any liability from property owners for damage to sod, shrubbery, trees or other surface improvements. No trees, buildings or permanent structures, except driveways and mailboxes, may be placed on any designated easements or rights-of-way.
- 21) With the exception of the developer and building contractors, upon receipt of any document evidencing ownership of title of a lot or lots in Amanda Lakes Subdivision No. 4, Shawnee Township, Allen County, Ohio, it shall be mandatory for said owner to be a member of the Amanda Lakes No. 4 Neighborhood Association. Neither developer or building contractors shall be assessed nor obligated to comply with this paragraph, nor paragraph 23 of the Protective Covenants as filed of record. Until such time as 90% of the lots of Amanda Lakes Subdivision No. 4, Shawnee Township, Allen County, Ohio are sold by developer, developer shall be deemed to be the majority owner of the lots in the subdivision and shall have the exclusive right to change, modify, alter, amend or annul any of the restrictions and conditions of these Protective Covenants. Further until 90% of the lots in Amanda Lakes Subdivision No. 4, Shawnee Township, Allen County, Ohio are sold by developer this paragraph 21 and the rights of the developer supersede the language of paragraph 28 wherein majority is defined as three-fourths of the owners of the building sites.
- 22) The Amanda Lakes No. 4 Neighborhood Association, a non-profit organization, shall be responsible for the repairs and maintenance of all common aesthetic features, lakes, and the entrance at Zurmehly Road for the purpose of adhering to the rules and guidelines used in connection with the repairs, maintenance, and usage of the aforementioned common features in the Subdivision, all lot owners, their successors and assigns, located in the Amanda Lakes No. 4 Subdivision shall automatically become a member of the Amanda Lakes No. 4 Neighborhood Association by accepting a deed or contract or any other legally binding conveyance for any lot or lots purchased within the platted Subdivision and agrees to and shall become a member of the Amanda Lakes No. 4 Association and be subject to the obligations and duly enacted rules, bylaws and guidelines of said Association. All such lot owners in the Amanda Lakes No. 4 Subdivision shall be subject to an annual fee or assessment of One Hundred Dollars (\$100.00). All such lot owners having title to lakefront or waterfront lots shall be subject to an annual fee or assessment of Four Hundred Dollars (\$400.00). Single dwellings occupying 1½ or 2 lots shall be charged one assessment fee by the Amanda Lakes No. 4 Neighborhood Association. The Association reserves the right to increase or decrease said fees or assessments as required by the expense of the anticipated repairs and maintenance of the above mentioned common aesthetic features in the Subdivision. The Amanda Lakes No. 4 Neighborhood Association shall be responsible for the stewardship, collection of fees and assessments. A copy of said rules, bylaws, and guidelines shall be available from the Developer or Architectural Committee upon request.
- 23) Use of the central lakes shall be reserved to only the owners of lots in contact with said lake and their guests.
- 24) Yard Light, One outdoor electric, dusk to dawn, yard light will be required in the front of each building site. Any outdoor lighting shall be so positioned and designed so as to not disturb any adjoining property owner.
- 25) Sidewalks, Each lot owner shall be required to construct, at their sole cost and expense, a sidewalk along the front (street side) of their lots, which construction shall take place and be completed upon the completion of the construction of the residence on the property. For corner lots, an owner will be required to construct sidewalks along each street bordering the lot, save and except Zurmehly Road frontage. The sidewalks will be constructed in accordance with the requirements of the local government body having authority for said sidewalks.
- 26) Following are the outlet elevations of the large central lakes:

East Lake 854.0
West Lake 852.0

Following are the flood elevations of the large central lakes:

Return Frequency	East Lake	West Lake
10 years	855.3	853.3
25 years	855.6	853.6
50 years	855.9	853.9
100 years	856.2	854.2

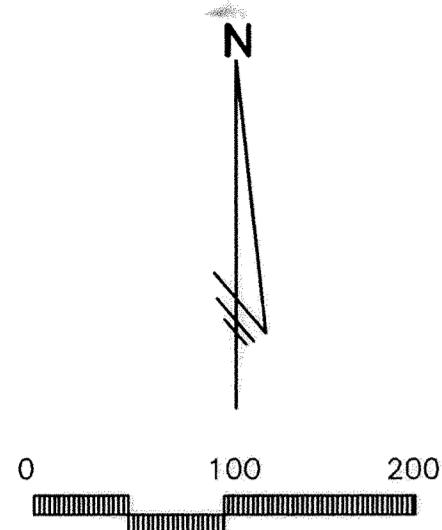
Lot owners shall take adequate precautions to prevent flooding in lower levels of homes. This may include seeking the recommendations of a professional engineer or surveyor.
- 27) Seeding, landscape work, sidewalks and yard lights shall be completed within two (2) years from start of construction of dwelling to the satisfaction of developer. In the event the above work items are not performed in the stipulated time period or to the satisfaction of the developer, the said work shall be performed by others and paid by owner of lot.
- 28) The foregoing restrictions, covenants and conditions shall run with the land and shall be binding on all future owners of all building sites and all persons claiming under them until January 1, 2014, after which time said restrictions, covenants and conditions shall be automatically extended for successive periods of ten (10) years each, provided that following the initial sale of all of the lots in Amanda Lakes No. 4, the owners of three fourths majority of the building sites may, in writing change, modify, alter, amend or annul any of the restrictions, reservations or conditions at any time.
- 29) Should any one or more of the foregoing restrictions, covenants or conditions at any time in the future be held illegal, void or unenforceable, such fact shall not in any way impair the validity of any of the other restrictions, covenants or conditions, all of which shall remain in full force and effect.

SURVEY OF DEDICATOR'S LANDS FOR Amanda Lakes No. 4

PT. NW 1/4, SEC. 16, T-3-S, R-6-E,
SHAWNEE TWP., ALLEN CO., OHIO

AND REPLAT OF LOTS 29444 & 29445 IN AMANDA LAKES No. 3

YELLOWWOOD STREET (50')



LEGEND

- 3/4 INCH DIAMETER BY 30" LONG IRON PIPE (SET) W/ ORANGE PLASTIC "KK/LIMA" PLUG
- IRON PIPE (FOUND)
- 7/8" DIAMETER x 24" IRON PIN (SET)
- ▲ RAILROAD SPIKE (SET)
- ⊙ CONCRETE MONUMENT (SET)
- MONUMENT BOX (FOUND)
- m. MEASURED DISTANCE
- R. RECORD DISTANCE

LEGAL DESCRIPTION

Owner of Record - Richard L. Williams, Trustee of the Richard Lee Williams Loving Trust, dated May 25, 1990 (Allen County Deed Vol. 877, Page 149) (Tax Parcel Number 46-1607-10-002) (Allen County Deed Vol. 880, Page 198) (Tax Parcel Numbers 46-1607-02-008 and 46-1607-02-009)

Being a Replat of Lot Numbers 29444 and 29445 in Amanda Lakes No. 3 (Allen County Plat Book 24, Page 47) and part of the Northwest quarter of Section 16, T-4-S, R-6-E, Shawnee Township, Allen County, Ohio and being more particularly described as follows:

Commencing at a monument box (found) at the Southeast corner of said Northwest quarter;

thence N 89°58'28"W, 621.50 feet, with the South line of said Northwest quarter (centerline of Zurmehly Road), to a railroad spike (set) at the Southwest corner of Shawnee Meadows No. 5 (Allen County Plat Book 13, Page 212) and being the PLACE OF BEGINNING;

thence continuing N 89°58'28"W, 1711.57 feet, with said South line (centerline of Zurmehly Road), to a railroad spike (set) at the Southeast corner of Amanda Lakes No. 3 (Allen County Plat Book 24, Page 47);

thence N 0°01'17"E, 30.00 feet, with the East line of said Amanda Lakes No. 3, to an iron pipe (set) on the North right-of-way line of Zurmehly Road;

thence N 89°58'28"W, 201.05 feet (measured distance) (200.96 feet record distance), parallel to and 30.00 feet North of said South line of the Northwest quarter (centerline of Zurmehly Road) and with said North right-of-way line, to an iron pipe (set) at a Point of Curvature;

thence Northwesterly, with the Easterly right-of-way line of Lakeshore Drive, on a curve to the right, said curve having a radius of 30.00 feet, a chord bearing N 44°58'28"W, a chord distance of 42.43 feet, an arc distance of 47.12 feet to an iron pipe (set) at a Point of Tangency;

thence N 0°01'32"E, 293.75 feet, with the East right-of-way line of said Lakeshore Drive, to an iron pipe (set) at the Southwest corner of Lot Number 29443 in said Amanda Lakes No. 3;

thence S 89°58'28"E, 231.04 feet (measured distance) (230.96 feet record distance), with the South line of said Lot Number 29443, to an iron pipe (set) at the Southeast corner of said Lot Number 29443;

thence N 0°01'17"E, 647.44 feet, with the East line of said Amanda Lakes No. 3, to a pinched iron pipe (found) at the Southwest corner of Lot Number 27635 in Shawnee Meadows No. 7 (Allen County Plat Book 15, Page 1);

thence N 89°58'04"E, 1569.40 feet (measured distance) (1570.00 feet record distance), with the South line of said Shawnee Meadows No.7, to a pinched iron pipe (found) at the Southeast corner of Lot Number 27625, said point also being on the West line of Lot Number 26683 in Shawnee Meadows No. 5 (Allen County Plat Book 13, Page 212);

thence S 0°19'48"E, 518.35 feet, with the West line of said Shawnee Meadows No. 5, to an iron pipe (set) at the Southwest corner of Lot Number 26688 and on the Northerly right-of-way line of Magnolia Street;

thence S 24°23'45"E, 334.43 feet (measured distance) (333.83 feet record distance), continuing with said West line of Shawnee Meadows No.5, to an iron pipe (found) at the Northwest corner of Lot Number 26673, the aforesaid line passing through an iron pipe (set) at 60.00 feet on the Southerly right-of-way line of Magnolia Street;

thence S 0°12'59"E, 179.93 feet (measured distance) (180.00 feet record distance), continuing with said West line of Shawnee Meadows No.5 and West line of said Lot Number 26673, to the PLACE OF BEGINNING, the aforesaid line passing through an iron pipe (set) at 149.93 feet (measured distance) (150.00 feet record distance) on the North right-of-way line of Zurmehly Road.

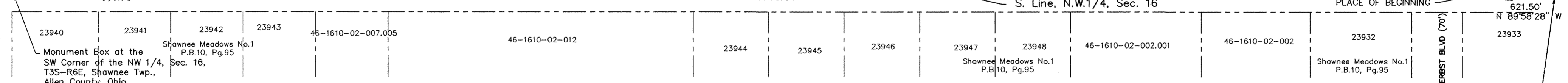
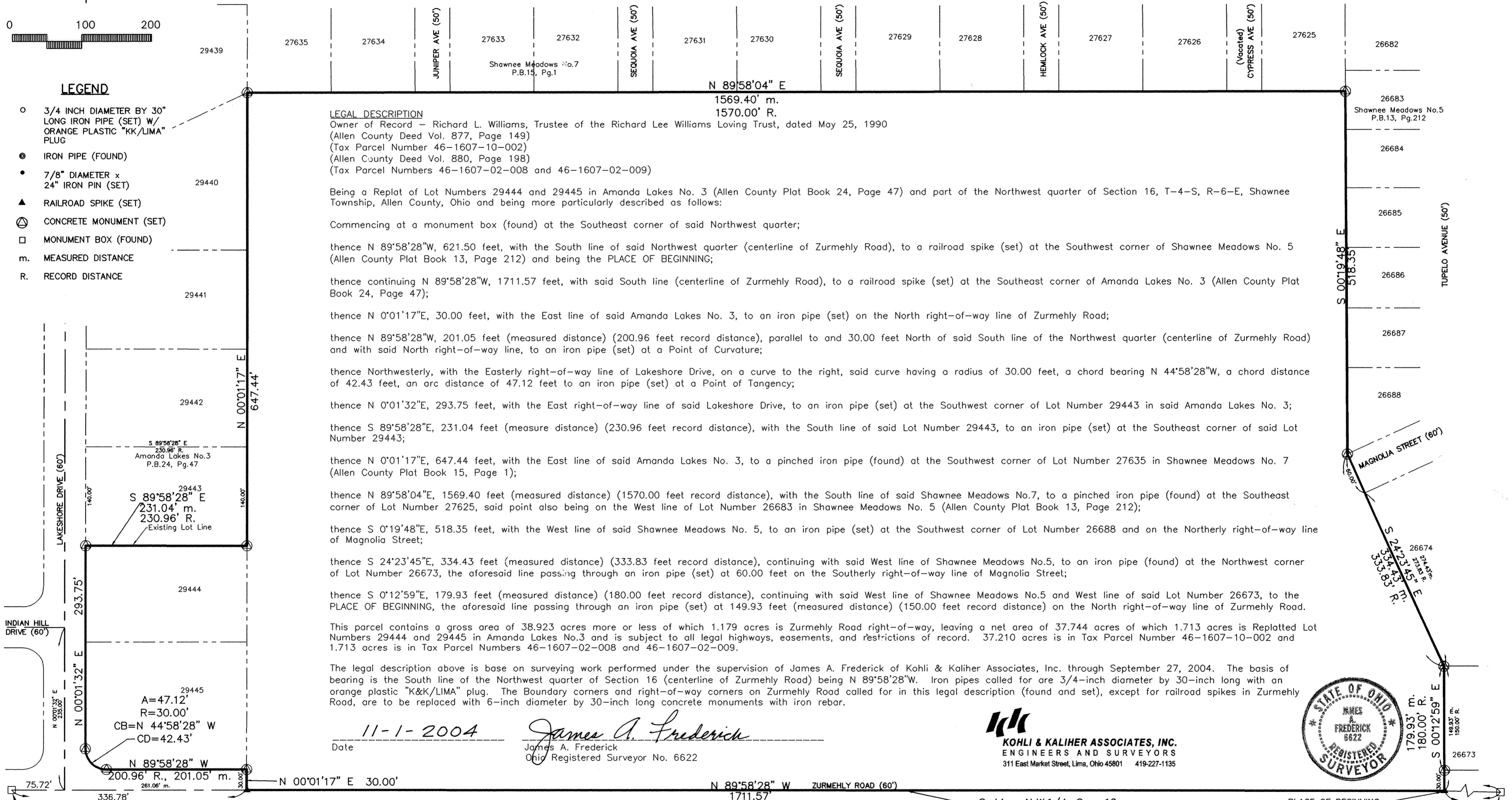
This parcel contains a gross area of 38.923 acres more or less of which 1.179 acres is Zurmehly Road right-of-way, leaving a net area of 37.744 acres of which 1.713 acres is Replatted Lot Numbers 29444 and 29445 in Amanda Lakes No.3 and is subject to all legal highways, easements, and restrictions of record. 37.210 acres is in Tax Parcel Number 46-1607-10-002 and 1.713 acres is in Tax Parcel Numbers 46-1607-02-008 and 46-1607-02-009.

The legal description above is base on surveying work performed under the supervision of James A. Frederick of Kohli & Kaliher Associates, Inc. through September 27, 2004. The basis of bearing is the South line of the Northwest quarter of Section 16 (centerline of Zurmehly Road) being N 89°58'28"W. Iron pipes called for are 3/4-inch diameter by 30-inch long with an orange plastic "K&K/LIMA" plug. The Boundary corners and right-of-way corners on Zurmehly Road called for in this legal description (found and set), except for railroad spikes in Zurmehly Road, are to be replaced with 6-inch diameter by 30-inch long concrete monuments with iron rebar.

11-1-2004

James A. Frederick
James A. Frederick
Ohio Registered Surveyor No. 6622

Kohli & Kaliher Associates, Inc.
ENGINEERS AND SURVEYORS
311 East Market Street, Lima, Ohio 45801 419-227-1135



REVIEWED BY:
M. Howert
MICHAEL L. HOWERT, P.S.
ALLEN COUNTY ENGINEERS
DATE: 11/2/04

Monument Box at the SE Corner of the NW 1/4, Sec. 16, T3S-R6E, Shawnee Twp., Allen County, Ohio

NEW LIMA HOMES-SECTION FOUR
BEING A REPLAT OF PART OF AN 8 ACRE
TRACT AS RECORDED IN PB 130, PG 84

LOCATED IN NW 1/4 SECTION 7, TOWN 4, RANGE 7
PERRY TOWNSHIP, CITY OF LIMA
ALLEN COUNTY, OHIO
CONTAINING: 0.8377 ACRES
DATE: 09/08/04
PREPARED BY:

OWNERS' DEDICATION AND ACKNOWLEDGMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT.

OWNER:
NEW LIMA HOMES, AN OHIO
LIMITED LIABILITY COMPANY



**Van Atta
Engineering
Inc.**
Engineering & Surveying
245 W. Elmwood Drive Suite 202
Centerville, Ohio 45459
Phone: (937) 438-5850
Fax: (937) 438-5845

Roy S. M...
WITNESS

BY: HHWP COMMUNITY ACTION COMMISSION
ITS: MANAGING MEMBER

Dennis La Rocco
BY: DENNIS LA ROCCO
ITS: EXECUTIVE DIRECTOR

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS FILED FOR TRANSFER ON November 2, 2004.

FEE: \$ 2.00

Ben E. Diepenbrock Sr.
ALLEN COUNTY AUDITOR

200421422

COUNTY RECORDER

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON Nov. 2, 2004 AND THAT IT WAS RECORDED ON Nov. 2, 2004 IN VOLUME 26, PAGE 101, PLAT RECORDS OF ALLEN COUNTY, OHIO.

FEE: \$ 124.20

Edward P. Kink mb
ALLEN COUNTY RECORDER

NOTARY PUBLIC

STATE OF OHIO

COUNTY

BE IT REMEMBERED THAT ON THIS 10th DAY OF Sept., 2004, PERSONALLY CAME THE SAID NEW LIMA HOMES, AN OHIO LIMITED LIABILITY COMPANY BY: HHWP COMMUNITY ACTION, IT'S: MANAGING MEMBER, BY: DENNIS LA ROCCO, IT'S: EXECUTIVE DIRECTOR TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE HIS VOLUNTARY ACT AND DEED.

Billie Niese
NOTARY PUBLIC IN AND FOR

Billie Niese
Notary Public, State of Ohio
My Commission Expires Sept. 12, 2005

MY COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY SUPERVISION IN APRIL, 2004 AND THAT ALL MARKERS ARE CORRECTLY SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE WITHIN SIX (6) MONTHS FROM THE DATE OF RECORDING.

2/8/04
DATE

Jeffrey A. Van Atta
JEFFREY A. VAN ATTA, P.E., P.S.
OHIO REGISTERED SURVEYOR #7354



APPROVAL BY THE CITY OF LIMA PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE PLANNING COMMISSION ON

Sept. 9, 2004

THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS

FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THE DATE OF THIS APPROVAL.

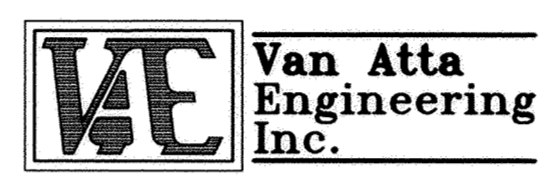
Sept. 9, 2004
DATE

[Signature]
DIRECTOR OF COMMUNITY
DEVELOPMENT

G:\P\W\LIMA\REPLAT-LOT.DWG, SEPT 08, 2004 - 14:56:06

NEW LIMA HOMES-SECTION FOUR BEING A REPLAT OF PART OF AN 8 ACRE TRACT AS RECORDED IN PB 130, PG 84

LOCATED IN NW 1/4 SECTION 7, TOWN 4, RANGE 7
PERRY TOWNSHIP, CITY OF LIMA
ALLEN COUNTY, OHIO
CONTAINING: 0.8377 ACRES
DATE: 09/08/04
PREPARED BY;



**Van Atta
Engineering
Inc.**
Engineering & Surveying
245 W. Elmwood Drive Suite 202
Centerville, Ohio 45459
Phone: (937) 438-5850
Fax: (937) 438-5845

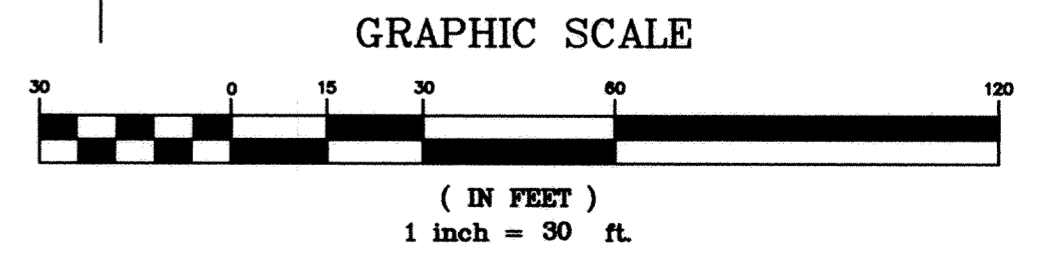
SURVEY SYMBOLS LEGEND:

- EX CROSS NOTCH FOUND
- EX 5/8" IRON PIN FOUND
- EX 1" IRON PIPE FOUND
- EX CONCRETE MONUMENT FOUND
- EX PK NAIL FOUND
- EX RAILROAD SPIKE FOUND
- IRON PIN TO BE SET
(5/8" DIA, 30" LONG)
- CONCRETE MONUMENT TO BE SET
- PK NAIL TO BE SET
- CROSS NOTCH TO BE SET

DEVELOPER:

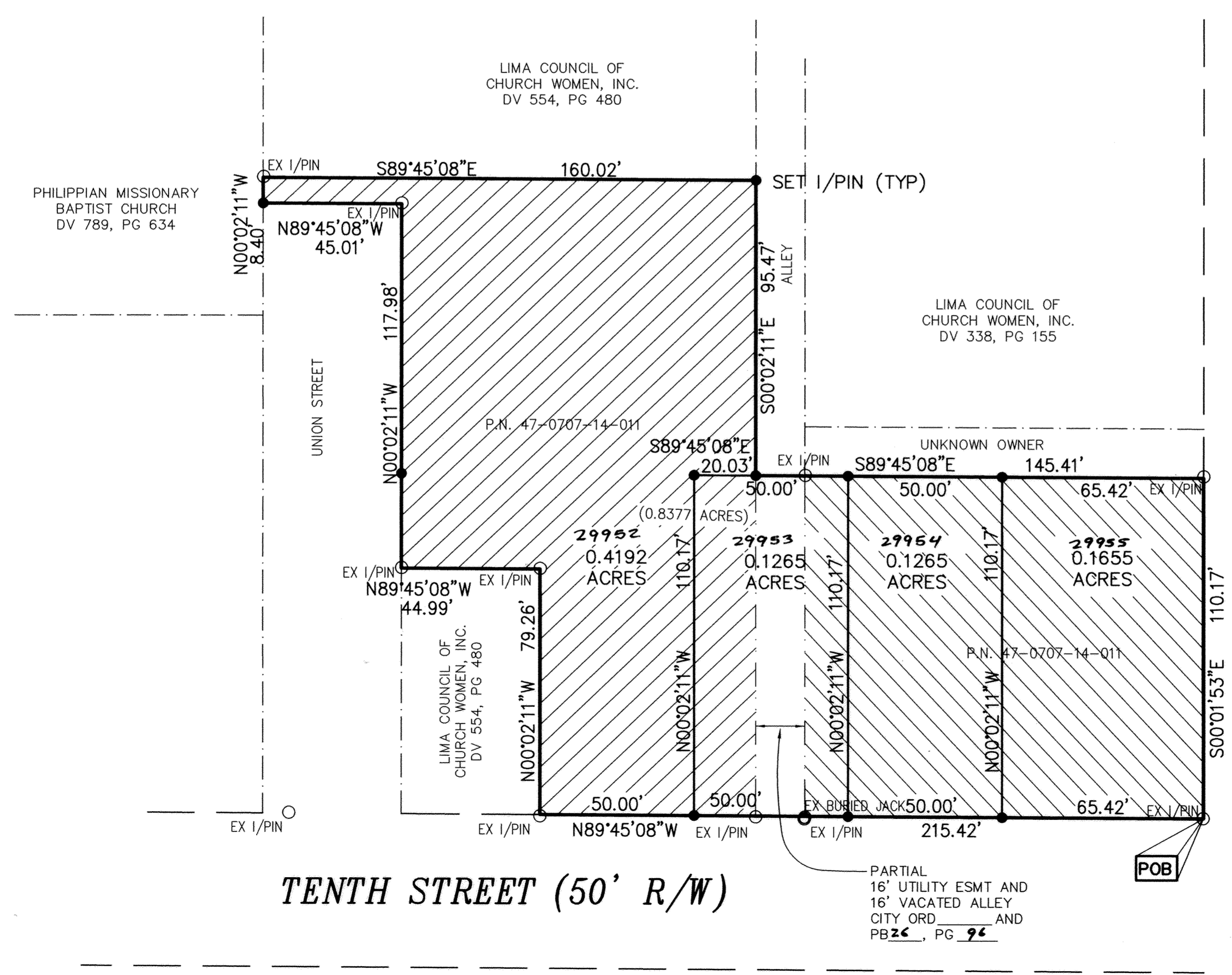
MVC LAND DEVELOPMENT, LLC
4334 GLENDALE-MILFORD ROAD
CINCINNATI, OHIO 45242
(513)588-1000 PHONE
(513)588-1226 FAX

- ZONING: "CLASS II-RESIDENTIAL FOUR FAMILY"
- ZONING: "CLASS III-RESIDENTIAL APARTMENT"



CENTRAL AVENUE (50' R/W)

TENTH STREET (50' R/W)



G:\P\WLIMA\REPLAT-LOT.DWG, SEPT 29, 2004 - 15:35:07

NEW LIMA HOMES-SECTION FOUR
BEING A REPLAT OF PART OF AN 8 ACRE
TRACT AS RECORDED IN PB 130, PG 84

LOCATED IN NW 1/4 SECTION 7, TOWN 4, RANGE 7
PERRY TOWNSHIP, CITY OF LIMA

ALLEN COUNTY, OHIO

CONTAINING: 0.8377 ACRES

DATE: 09/08/04

PREPARED BY;



Engineering & Surveying

245 W. Elmwood Drive Suite 202
Centerville, Ohio 45459
Phone: (937) 438-5650
Fax: (937) 438-5645

DESCRIPTION:
TENTH STREET & CENTRAL AVENUE

LOCATED IN THE NORTHWEST ONE-QUARTER SECTION 7, TOWN 4, RANGE 7, PERRY TOWNSHIP, CITY OF LIMA, COUNTY OF ALLEN, STATE OF OHIO AND BEING ALL OF THAT LAND AS CONVEYED TO NEW LIMA HOMES, AN OHIO LIMITED LIABILITY COMPANY AS RECORDED IN DEED VOLUME 919, PAGE 440 OF THE DEED RECORDS OF SAID COUNTY AND THAT 16 FOOT VACATED ALLEY BY CITY ORDINANCE NUMBER AND BEING DESCRIBED MORE PARTICULARLY *Pv. 932, Pg. 833* AS FOLLOWS:

BEGINNING AT A 5/8" IRON PIN SET CAPPED VAN ATTA #7354 AT THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF CENTRAL AVENUE AND THE NORTH RIGHT-OF-WAY LINE OF TENTH STREET;

THENCE WITH THE NORTH RIGHT-OF-WAY LINE OF TENTH STREET NORTH 89°45'08" WEST, 215.42 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354;

THENCE LEAVING THE NORTH RIGHT-OF-WAY LINE OF TENTH STREET NORTH 00°02'11" WEST, 79.26 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354;

THENCE NORTH 89°45'08" WEST, 44.99 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354;

THENCE NORTH 00°02'11" WEST, 117.98 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354;

THENCE NORTH 89°45'08" WEST, 45.01 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354;

THENCE NORTH 00°02'11" WEST, 8.40 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354;

THENCE SOUTH 89°45'08" EAST, 160.02 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354;

THENCE SOUTH 00°02'11" EAST, 95.47 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354;

THENCE SOUTH 89°45'08" EAST, 145.41 FEET TO A 5/8" IRON PIN SET CAPPED VAN ATTA #7354 ON THE WEST RIGHT-OF-WAY LINE OF CENTRAL AVENUE;

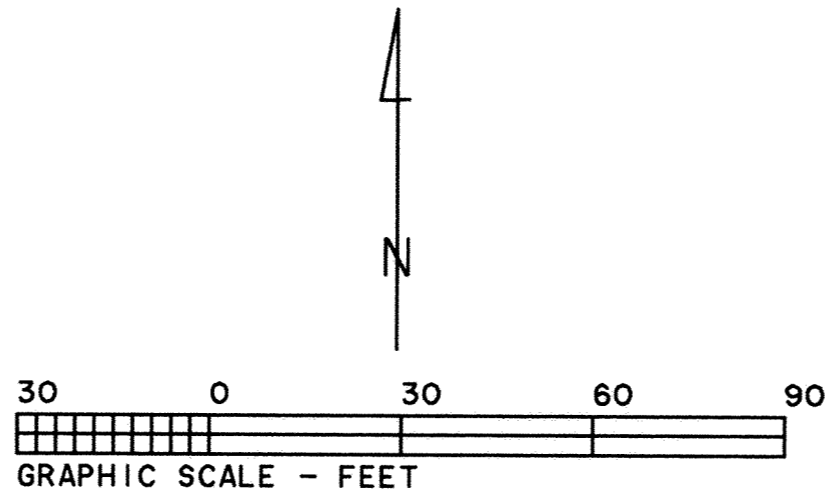
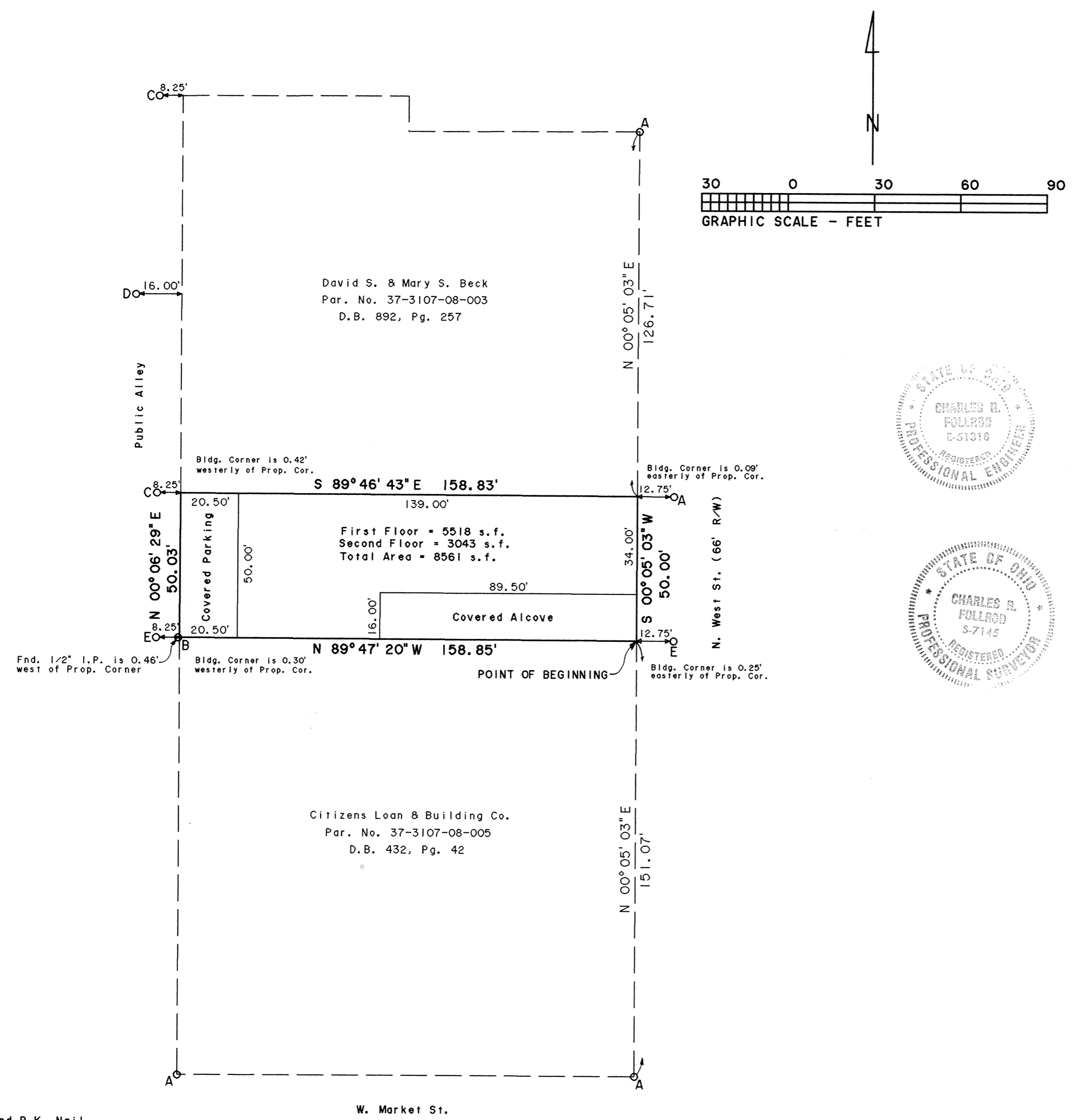
THENCE WITH THE WEST RIGHT-OF-WAY LINE OF CENTRAL AVENUE SOUTH 00°01'53" EAST, 110.17 FEET TO THE POINT OF BEGINNING CONTAINING 0.8377 ACRES, MORE OR LESS, SUBJECT HOWEVER TO ALL LEGAL HIGHWAYS, EASEMENTS AND RESTRICTIONS OF RECORD.

NOTE: THIS IS A RESULT OF A FIELD SURVEY.
NOTE: BASIS OF BEARINGS IS ASSUMED NORTH.
NOTE: LINES OF OCCUPATION AGREE IN GENERAL WITH THE BOUNDARY AS SHOWN.

G:\P\WYLIMA\REPLAT-LOT.DWG, SEPT 08, 2004 - 14:56:06

119 NORTH WEST ST. BUILDING CONDOMINIUM

Part of Outlot 16 in the Original Plat of the City of Lima

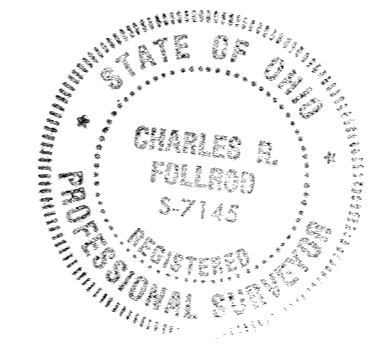
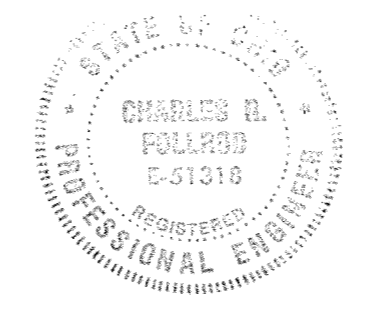


119 N. WEST ST. BUILDING CONDOMINIUM consists of a part of Outlot No. 16 in the Original Plat of the City of Lima as recorded in Plat Book 4, Page 1 in the Allen County Recorder's Office, Allen County, Ohio.

This set of drawings attached hereto consisting of a Plat Plan of 119 N. WEST ST. BUILDING CONDOMINIUM, two pages of floor plans, and one page of elevation views of the buildings, show insofar as graphically possible (1) the particulars of the building in the condominium, including but not limited to the layout, location designation and dimensions of each of the units therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities. The undersigned being a Professional Surveyor and Professional Engineer hereby certify that said drawings show the building as constructed, as graphically possible.

Charles R. Follrod
Professional Surveyor No. 7145
Charles R. Follrod, P.S.
R & A Engineers Inc.

Charles R. Follrod
Professional Engineer No. 51318
Charles R. Follrod, P.E.
R & A Engineers Inc.



No. 200422784
Filed for record this 30th day of November, 2004 at 3:11 o'clock P.M. in the office of the Allen County Recorder and recorded in Plat Book 26 on Page 104.

Fee: *Edward P. Kunk*
RECORDER, Allen County, Ohio

For DECLARATIONS see Deed Volume 934 Page 258.

Legal Description

Being a parcel of land in the NW 1/4 of Section 31, T3S, R7E, Bath Township, Allen County, Ohio and being off of the entire North side of Outlot No. 16 in the Original Plat of the Town (now City) of Lima as recorded in Plat Book 4, Page 1 in the Allen County Recorder's Office, and more particularly described as follows:

Commencing at a found P.K. nail at the Southeast corner of said Outlot No. 16 (also being the intersection of the north line of W. Market St. and the west line of N. West St.) thence N00°05'03"E with the east line of said Outlot No. 16 (also being the west line of N. West St.), 151.07' to a point that is referenced by a P.K. nail set 12.75' easterly from said point and being the POINT OF BEGINNING, thence the following courses:

- N89°47'20"W, 158.85' to a point that is referenced by a P.K. nail set 8.25' westerly from said point (also said point is 0.46' easterly from a found 1/2" iron pipe);
- N00°06'29"E with the west line of said Outlot No. 16, 50.03' to a point that is referenced by a P.K. nail found 8.25' westerly from said point;
- S89°46'43"E with the north line of said Outlot No. 16, 158.83' to a point that is referenced by a P.K. nail found 12.75' easterly from said point;
- S00°05'03"W with the east line of said Outlot No. 16 (also being the west line of N. West St.), 50.00' to the POINT OF BEGINNING.

The above described parcel contains 0.182 acres more or less subject to all legal highways and easements of record.

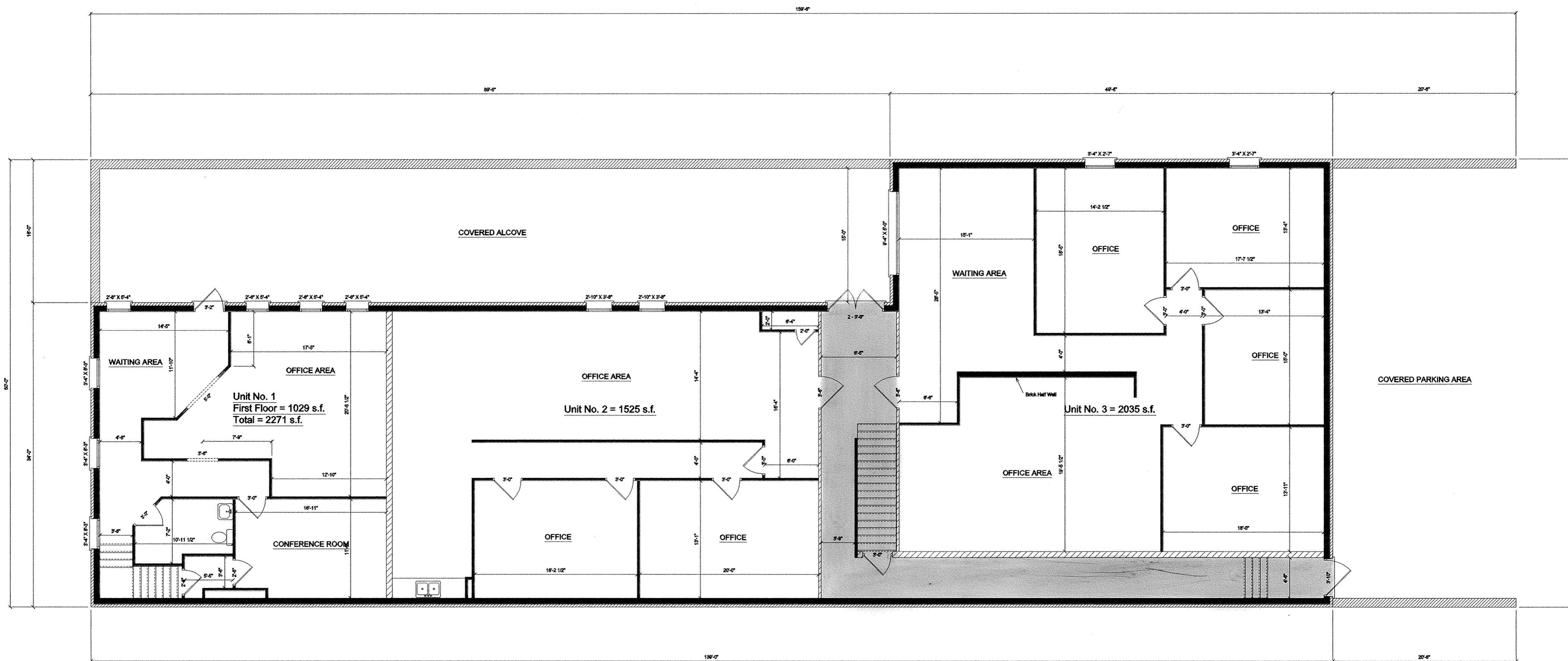
Basis of Bearings: The east line of Outlot Nos. 16 and 17 (also being the west line of N. West St.) (N00°05'03"E)

Parcel No.: 37-3107-08-004



Prior Deed Reference: D.B. 720, Pg. 563

- A - Found P.K. Nail
- B - Found 1/2" I.P.
- C - Found Mine Spike
- D - Found 1/2" Rebar
- E - Set P.K. Nail

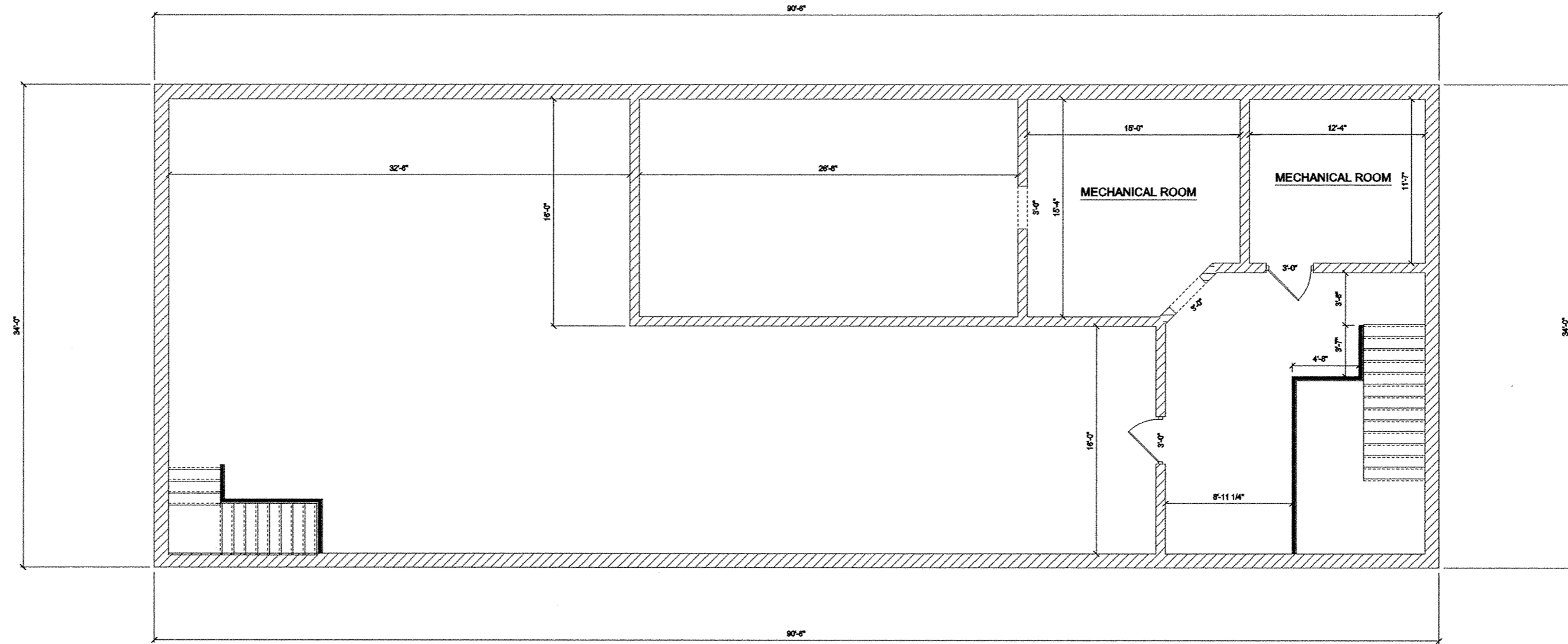
REVIEWED BY:
Michael L. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEERS
DATE: 7/15/04



SCALE: 1/8" = 1'-0"

-  - Unit Partition Wall
-  - Common Area

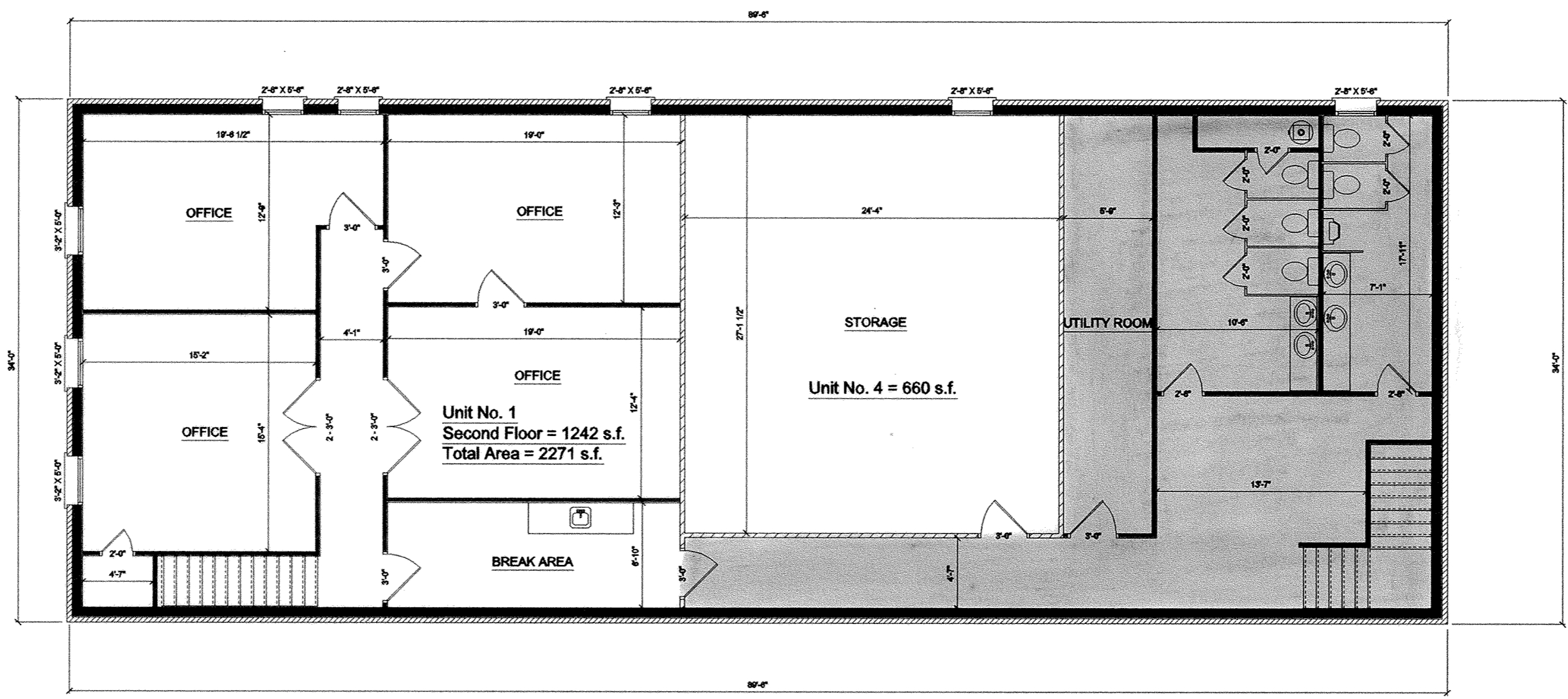
First Floor



Basement Plan

Note: All of Basement area is Common Area.

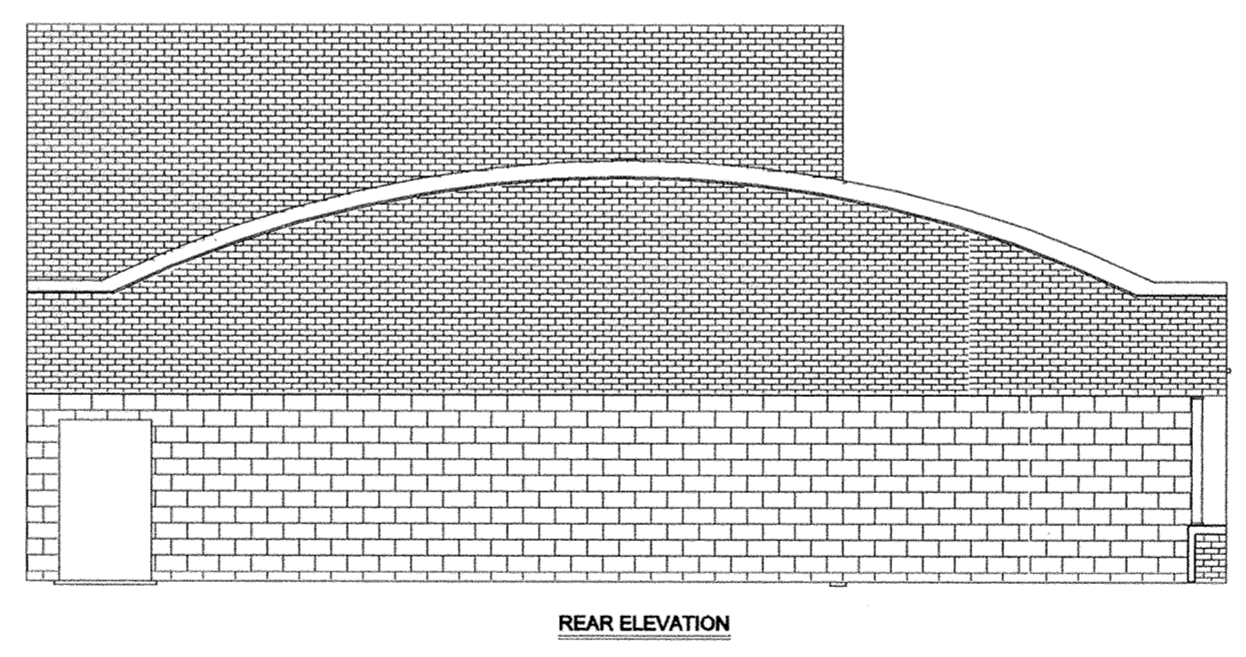
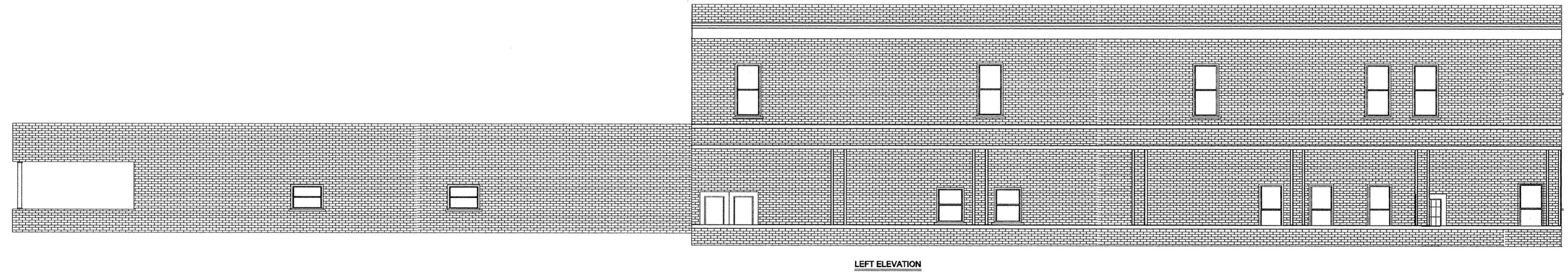
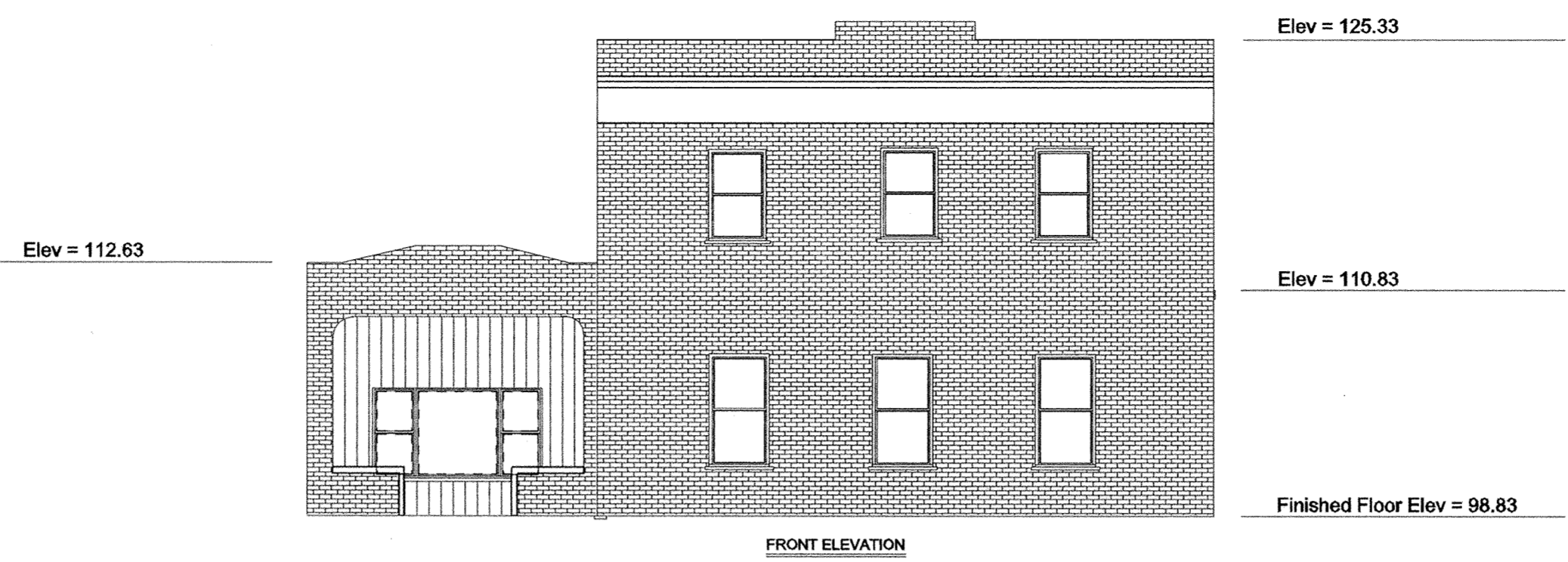
SCALE: 1/8" = 1'-0"



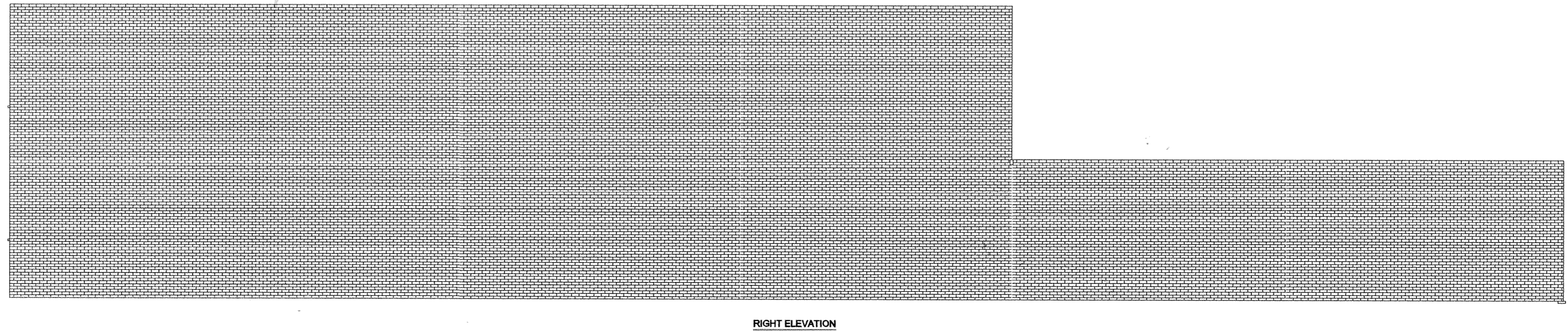
Second Floor

SCALE: 1/8" = 1'-0"

- Unit Partition Wall
- Common Area



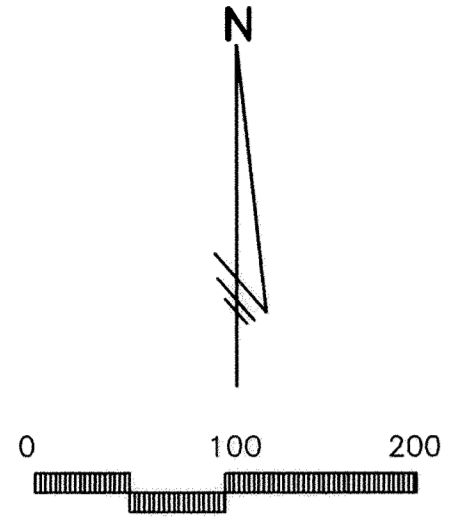
B.M. - Top of Steamer Nozzle on Fire Hydrant Located at the SW Corner of Market St. & West St. Elev. = 100.00



Amanda Lakes No. 4

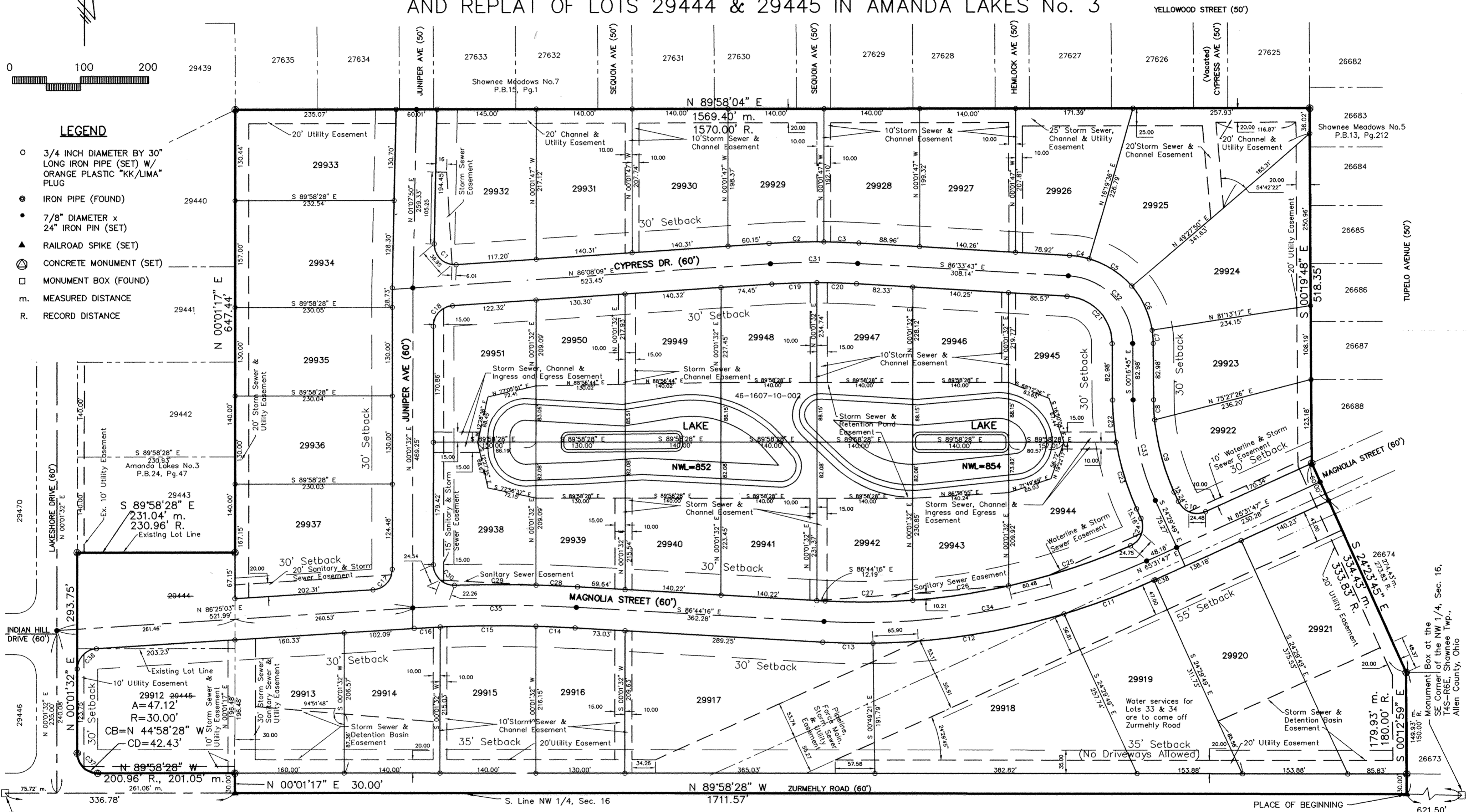
PT. NW 1/4, SEC. 16, T-4-S, R-6-E,
SHAWNEE TWP., ALLEN CO., OHIO
AND REPLAT OF LOTS 29444 & 29445 IN AMANDA LAKES No. 3

Plat refiled to add Street Names



LEGEND

- 3/4 INCH DIAMETER BY 30' LONG IRON PIPE (SET) W/ ORANGE PLASTIC "KK/LIMA" PLUG
- IRON PIPE (FOUND)
- 7/8" DIAMETER x 24" IRON PIN (SET)
- ▲ RAILROAD SPIKE (SET)
- ⊙ CONCRETE MONUMENT (SET)
- MONUMENT BOX (FOUND)
- m. MEASURED DISTANCE
- R. RECORD DISTANCE



23941	23942	23943	46-1610-02-007.005	46-1610-02-012	23944	23945	23946	23947	23948	46-1610-02-002.001	46-1610-02-002	23932	23933
Monument Box at the SW Corner of the NW 1/4, Sec. 16, T4S-R6E, Shawnee Twp., Allen County, Ohio			Shawnee Meadows No.1 P.B.10, Pg.95		Road Right-of-Way Area 6.995 Acre Lot Area 31.928 Acre Net Area 38.923 Acre		Shawnee Meadows No.1 P.B.10, Pg.95		Shawnee Meadows No.1 P.B.10, Pg.95		Shawnee Meadows No.5 P.B.13, Pg.212		

NUMBER	ARC	RADIUS	BEARING	CHORD	TAN	EXT	DELTA
C1	49.74	30.00	S 46°22'01" E	44.23	32.74	14.40	94°59'41"
C2	80.03	1030.00	N 88°21'43" E	80.01	40.04	0.78	04°27'07"
C3	51.24	1030.00	S 87°59'13" E	51.23	25.62	0.32	02°51'01"
C4	29.24	130.00	S 80°07'03" E	29.18	14.68	0.83	12°53'19"
C5	75.19	130.00	S 57°06'17" E	74.14	38.68	5.63	33°08'13"
C6	72.06	130.00	S 24°39'27" E	71.14	36.98	5.16	31°45'28"
C7	19.28	130.00	S 04°31'44" E	19.27	9.66	0.36	08°29'58"
C8	29.62	330.00	S 02°51'02" E	29.61	14.82	0.33	05°08'35"
C9	109.86	330.00	S 14°57'34" E	109.36	55.44	4.63	19°04'29"

NUMBER	ARC	RADIUS	BEARING	CHORD	TAN	EXT	DELTA
C10	47.15	30.00	S 69°26'08" E	42.45	30.01	12.43	89°58'24"
C11	140.46	1030.00	S 69°32'16" W	140.35	70.34	2.40	07°48'47"
C12	282.83	1030.00	S 81°18'39" W	281.94	142.31	9.78	15°43'59"
C13	73.43	1030.00	N 88°46'49" W	73.42	36.73	0.65	04°05'06"
C14	57.14	1970.00	N 87°34'07" W	57.14	28.57	0.21	01°39'43"
C15	140.03	1970.00	S 89°33'51" W	140.00	70.05	1.24	04°04'22"
C16	38.17	1970.00	S 86°58'22" W	38.17	19.08	0.09	01°06'36"
C17	45.23	30.00	N 43°13'18" E	41.07	28.17	11.15	86°23'31"
C18	45.09	30.00	N 43°04'50" E	40.96	28.03	11.06	86°06'37"

NUMBER	ARC	RADIUS	BEARING	CHORD	TAN	EXT	DELTA
C19	65.77	970.00	N 88°04'42" E	65.76	32.90	0.56	03°53'06"
C20	57.85	970.00	S 88°16'14" E	57.85	28.94	0.43	03°25'02"
C21	105.41	70.00	S 43°25'14" E	95.73	65.60	25.93	86°16'58"
C22	62.49	390.00	S 04°52'09" E	62.42	31.31	1.25	09°10'48"
C23	102.36	390.00	S 16°58'41" E	102.07	51.48	3.38	15°02'16"
C24	47.52	30.00	S 20°52'41" W	42.70	30.40	12.71	90°45'00"
C25	187.65	970.00	S 71°47'42" E	187.36	94.12	4.56	11°05'03"
C26	141.68	970.00	S 81°31'17" W	141.56	70.97	2.59	08°22'08"
C27	127.93	970.00	S 89°29'03" W	127.83	64.06	2.11	07°33'23"

NUMBER	ARC	RADIUS	BEARING	CHORD	TAN	EXT	DELTA
C28	60.53	2030.00	N 87°35'31" W	60.53	30.27	0.23	01°42'30"
C29	119.06	2030.00	S 89°52'25" W	119.04	59.55	0.87	03°21'37"
C30	48.08	30.00	N 45°53'26" W	43.10	30.97	13.12	91°49'55"
C31	127.45	1000.00	N 89°47'13" E	127.36	63.81	2.03	07°18'08"
C32	150.59	100.00	S 43°25'14" W	136.76	93.71	37.05	86°16'58"
C33	152.16	360.00	S 12°23'17" E	151.03	77.24	8.19	24°13'04"
C34	484.02	1000.00	S 79°23'46" W	479.31	246.85	30.02	27°43'57"
C35	238.92	2000.00	S 89°50'24" W	238.78	119.60	3.57	06°50'41"
C36	45.23	30.00	S 43°13'18" W	41.07	28.17	11.15	86°23'31"
C37	47.12	30.00	N 44°58'28" W	42.43	30.00	12.43	90°00'00"
C38	1.82	1030.00	S 65°34'50" W	1.82	0.91	0.00	00°06'05"

Amanda Lakes No. 4

PT. NW 1/4, SEC. 16, T-4-S, R-6-E,
SHAWNEE TWP., ALLEN CO., OHIO

AND REPLAT OF LOTS 29444 & 29445 IN AMANDA LAKES No. 3

COUNTY ENGINEER'S CERTIFICATION

Having checked the construction of the streets in the subdivision, I find that they have been constructed in accordance with the specifications set forth on the plans and regulations thereof, and that they are in good repair and this endorsement shall constitute acceptance of the streets for public use.

If the streets have not been installed, I am in agreement with the performance bond to insure the completion of construction which has been filed with and approved by the Planning Commission.

Wayne E. Seideman
Allen County Engineer

APPROVAL OF COUNTY COMMISSIONERS

In accordance with Ohio Revised Code Section 711.041, the Board of Allen County Commissioners hereby accept this plat by Commissioner's Resolution Number _____, dated _____, said plat having been approved by the Allen County Engineer and the Lima Allen County Regional Planning Commissioners.

[Signature]
President of the Board of Allen County Commissioners

Plat refiled to correct scribes error as to ownership and deed reference on original plat.

LEGAL DESCRIPTION

Owners of Record - Richard L. Williams, individually and Richard L. Williams, Trustee of the Richard Lee Williams Loving Trust, dated May 25, 1990 and Julie A. Kuhlman, Trustee of Julie A. Kuhlman Living Trust, dated November 21, 1996. (Allen County Deed Vol. 908, Page 189) (Tax Parcel Number 46-1607-10-002) (Allen County Deed Vol. 880, Page 198) (Tax Parcel Numbers 46-1607-02-008 and 46-1607-02-009) (Allen County Deed Vol. 934, Page 59) (Tax Parcel Numbers 46-1607-02-012, 46-1607-02-013 & 46-1607-02-014)

Being a Replat of Lot Numbers 29444 and 29445 in Amanda Lakes No. 3 (Allen County Plat Book 24, Page 47) and part of the Northwest quarter of Section 16, T-4-S, R-6-E, Shawnee Township, Allen County, Ohio and being more particularly described as follows:

Commencing at a monument box (found) at the Southeast corner of said Northwest quarter;

thence N 89°58'28"W, 621.50 feet, with the South line of said Northwest quarter (centerline of Zurmehly Road), to a railroad spike (set) at the Southwest corner of Shawnee Meadows No. 5 (Allen County Plat Book 13, Page 212) and being the PLACE OF BEGINNING;

thence continuing N 89°58'28"W, 1711.57 feet, with said South line (centerline of Zurmehly Road), to a railroad spike (set) at the Southeast corner of Amanda Lakes No. 3 (Allen County Plat Book 24, Page 47);

thence N 0°01'17"E, 30.00 feet, with the East line of said Amanda Lakes No. 3, to an iron pipe (set) on the North right-of-way line of Zurmehly Road;

thence N 89°58'28"W, 201.05 feet (measured distance) (200.96 feet record distance), parallel to and 30.00 feet North of said South line of the Northwest quarter (centerline of Zurmehly Road) and with said North right-of-way line, to an iron pipe (set) at a Point of Curvature;

thence Northwesterly, with the Easterly right-of-way line of Lakeshore Drive, on a curve to the right, said curve having a radius of 30.00 feet, a chord bearing N 44°58'28"W, a chord distance of 42.43 feet, an arc distance of 47.12 feet to an iron pipe (set) at a Point of Tangency;

thence N 0°01'32"E, 293.75 feet, with the East right-of-way line of said Lakeshore Drive, to an iron pipe (set) at the Southwest corner of Lot Number 29443 in said Amanda Lakes No. 3;

thence S 89°58'28"E, 231.04 feet (measured distance) (230.96 feet record distance), with the South line of said Lot Number 29443, to an iron pipe (set) at the Southeast corner of said Lot Number 29443;

thence N 0°01'17"E, 647.44 feet, with the East line of said Amanda Lakes No. 3, to a pinched iron pipe (found) at the Southwest corner of Lot Number 27635 in Shawnee Meadows No. 7 (Allen County Plat Book 15, Page 1);

thence N 89°58'04"E, 1569.40 feet (measured distance) (1570.00 feet record distance), with the South line of said Shawnee Meadows No.7, to a pinched iron pipe (found) at the Southeast corner of Lot Number 27625, said point also being on the West line of Lot Number 26683 in Shawnee Meadows No. 5 (Allen County Plat Book 13, Page 212);

thence S 0°19'48"E, 518.35 feet, with the West line of said Shawnee Meadows No. 5, to an iron pipe (set) at the Southwest corner of Lot Number 26688 and on the Northerly right-of-way line of Magnolia Street;

thence S 24°23'45"E, 334.43 feet (measured distance) (333.83 feet record distance), continuing with said West line of Shawnee Meadows No.5, to an iron pipe (found) at the Northwest corner of Lot Number 26673, the aforesaid line passing through an iron pipe (set) at 60.00 feet on the Southerly right-of-way line of Magnolia Street;

thence S 0°12'59"E, 179.93 feet (measured distance) (180.00 feet record distance), continuing with said West line of Shawnee Meadows No.5 and West line of said Lot Number 26673, to the PLACE OF BEGINNING, the aforesaid line passing through an iron pipe (set) at 149.93 feet (measured distance) (150.00 feet record distance) on the North right-of-way line of Zurmehly Road.

This parcel contains a gross area of 38.923 acres more or less of which 1.179 acres is Zurmehly Road right-of-way, leaving a net area of 37.744 acres of which 1.713 acres is Replatted Lot Numbers 29444 and 29445 in Amanda Lakes No.3 and is subject to all legal highways, easements, and restrictions of record. 37.210 acres is in Tax Parcel Number 46-1607-10-002 and 1.713 acres is in Tax Parcel Numbers 46-1607-02-008 and 46-1607-02-009.

The legal description above is base on surveying work performed under the supervision of James A. Frederick of Kohli & Kaliher Associates, Inc. through September 27, 2004. The basis of bearing is the South line of the Northwest quarter of Section 16 (centerline of Zurmehly Road) being N 89°58'28"W. Iron pipes called for are 3/4-inch diameter by 30-inch long with an orange plastic "K&K/LIMA" plug. The Boundary corners and right-of-way corners on Zurmehly Road called for in this legal description (found and set), except for railroad spikes in Zurmehly Road, are to be replaced with 6-inch diameter by 30-inch long concrete monuments with iron rebar.

12-1-2004
Date
James A. Frederick
James A. Frederick
Ohio Registered Surveyor No. 6622

K&K
KOHLI & KALIHAR ASSOCIATES, INC.
ENGINEERS AND SURVEYORS
311 East Market Street, Lima, Ohio 45801 419-227-1135

OWNERS' DEDICATION AND ACKNOWLEDGMENT

The undersigned, Richard L. Williams, individually and Richard L. Williams, Trustee of the Richard Lee Williams Loving Trust, dated May 25, 1990, and Donna E. Williams, Wife of Richard L. Williams, and Julie A. Kuhlman, Trustee of Julie A. Kuhlman Living Trust, dated November 21, 1996, being the owners of the land platted herein, do hereby voluntarily consent to the execution of said plat, and dedicate the streets as shown thereon, comprising of a total of 5.816 acres, to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement or removal of water, storm sewer, open ditch, sanitary sewer, gas, electric telephone or other utility lines or services and for the express privilege of removing any trees or other obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

This plat is subject to the covenants and restrictions shown on the separate document attached hereto and labeled sheet 3 of 4 pages.

[Signature]
Witness as to Richard L. Williams

[Signature]
Witness as to Richard L. Williams

[Signature]
Witness as to Donna E. Williams

[Signature]
Witness as to Donna E. Williams

[Signature]
Witness as to Julie A. Kuhlman

[Signature]
Witness as to Julie A. Kuhlman

[Signature]
Richard L. Williams, individually and Richard L. Williams, Trustee of the Richard Lee Williams Loving Trust, dated May 25, 1990 (Tax Parcel Number 46-1607-10-002) & (Tax Parcel Numbers 46-1607-02-008 and 46-1607-02-009)

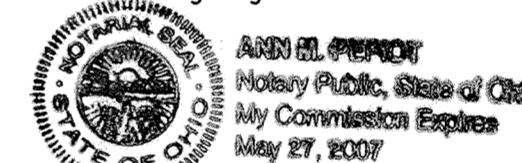
[Signature]
Donna E. Williams (Tax Parcel Number 46-1607-10-002)

[Signature]
Julie A. Kuhlman, Trustee of Julie A. Kuhlman Living Trust, dated November 21, 1996. (Tax Parcel Numbers 46-1607-02-012, 46-1607-02-013 & 46-1607-02-014)

State of Ohio, S.S., Allen County

Be it remembered that on this 1ST day of December, 2004 personally came the said owners listed above, to me known, and acknowledged the signing and execution of the foregoing statement to be their voluntary act and deed.

[Signature]
Notary Public in and for Allen County, Ohio



APPROVAL BY THE PLANNING COMMISSION

I hereby certify that this plat was approved by the Planning Commission on _____.

This approval becomes void unless the plat is filed for recording within ninety (90) days of this approval.

Certified _____

Director, Lima-Allen County Regional Planning Commission

ALLEN COUNTY COMBINED HEALTH DISTRICT

I hereby certify that this plat meets the requirements of the Allen County Combined Health District.

Director, Allen County Combined Health District

COUNTY AUDITOR

I hereby certify that the land described by this plat was transferred on Dec 2, 2004.

[Signature]
Allen County Auditor
200423273

COUNTY RECORDER

I hereby certify that this plat was filed for recording on Dec 2, 2004, and that it was recorded on Dec 2, 2004 Vol. 216, Page 108, plat records of Allen County, Ohio. Fee \$124.20

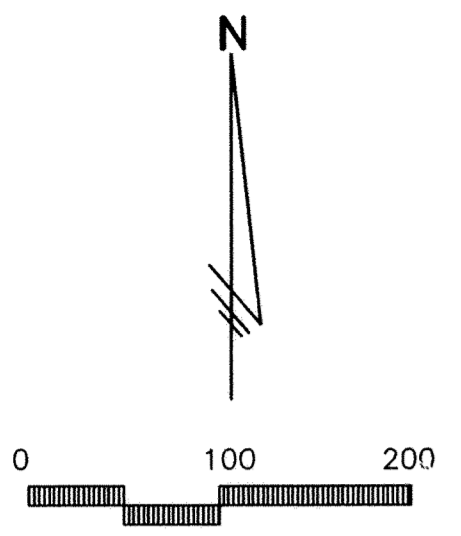
[Signature]
Allen County Recorder

SURVEY OF DEDICATOR'S LANDS FOR Amanda Lakes No. 4

PT. NW 1/4, SEC. 16, T-4-S, R-6-E,
SHAWNEE TWP., ALLEN CO., OHIO

AND REPLAT OF LOTS 29444 & 29445 IN AMANDA LAKES No. 3

Plat refiled to correct scribblers error as to ownership and deed reference on original plat.



- LEGEND**
- 3/4 INCH DIAMETER BY 30" LONG IRON PIPE (SET) W/ ORANGE PLASTIC "K&K/LIMA" PLUG
 - IRON PIPE (FOUND)
 - 7/8" DIAMETER x 24" IRON PIN (SET)
 - ▲ RAILROAD SPIKE (SET)
 - ⊗ CONCRETE MONUMENT (SET)
 - MONUMENT BOX (FOUND)
 - m. MEASURED DISTANCE
 - R. RECORD DISTANCE

LEGAL DESCRIPTION

Owners of Record - Richard L. Williams, individually and Richard L. Williams, Trustee of the Richard Lee Williams Loving Trust, dated May 25, 1990 and Julie A. Kuhlman, Trustee of Julie A. Kuhlman Living Trust, dated November 21, 1996.
 (Allen County Deed Vol. 908, Page 189) (Tax Parcel Number 46-1607-10-002)
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Commencing at a monument box (found) at the Southeast corner of said Northwest quarter;

thence N 89°58'28"W, 621.50 feet, with the South line of said Northwest quarter (centerline of Zurmehly Road), to a railroad spike (set) at the Southwest corner of Shawnee Meadows No. 5 (Allen County Plat Book 13, Page 212) and being the PLACE OF BEGINNING;

thence continuing N 89°58'28"W, 1711.57 feet, with said South line (centerline of Zurmehly Road), to a railroad spike (set) at the Southeast corner of Amanda Lakes No. 3 (Allen County Plat Book 24, Page 47);

thence N 0°01'17"E, 30.00 feet, with the East line of said Amanda Lakes No. 3, to an iron pipe (set) on the North right-of-way line of Zurmehly Road;

thence N 89°58'28"W, 201.05 feet (measured distance) (200.96 feet record distance), parallel to and 30.00 feet North of said South line of the Northwest quarter (centerline of Zurmehly Road) and with said North right-of-way line, to an iron pipe (set) at a Point of Curvature;

thence Northwesterly, with the Easterly right-of-way line of Lakeshore Drive, on a curve to the right, said curve having a radius of 30.00 feet, a chord bearing N 44°58'28"W, a chord distance of 42.43 feet, an arc distance of 47.12 feet to an iron pipe (set) at a Point of Tangency;

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thence N 0°01'17"E, 647.44 feet, with the East line of said Amanda Lakes No. 3, to a pinched iron pipe (found) at the Southwest corner of Lot Number 27635 in Shawnee Meadows No. 7 (Allen County Plat Book 15, Page 1);

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thence S 0°19'48"E, 518.35 feet, with the West line of said Shawnee Meadows No. 5, to an iron pipe (set) at the Southwest corner of Lot Number 26688 and on the Northerly right-of-way line of Magnolia Street;

thence S 24°23'45"E, 334.43 feet (measured distance) (333.83 feet record distance), continuing with said West line of Shawnee Meadows No.5, to an iron pipe (found) at the Northwest corner of Lot Number 26673, the aforesaid line passing through an iron pipe (set) at 60.00 feet on the Southerly right-of-way line of Magnolia Street;

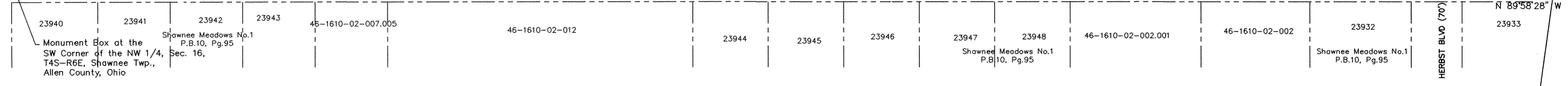
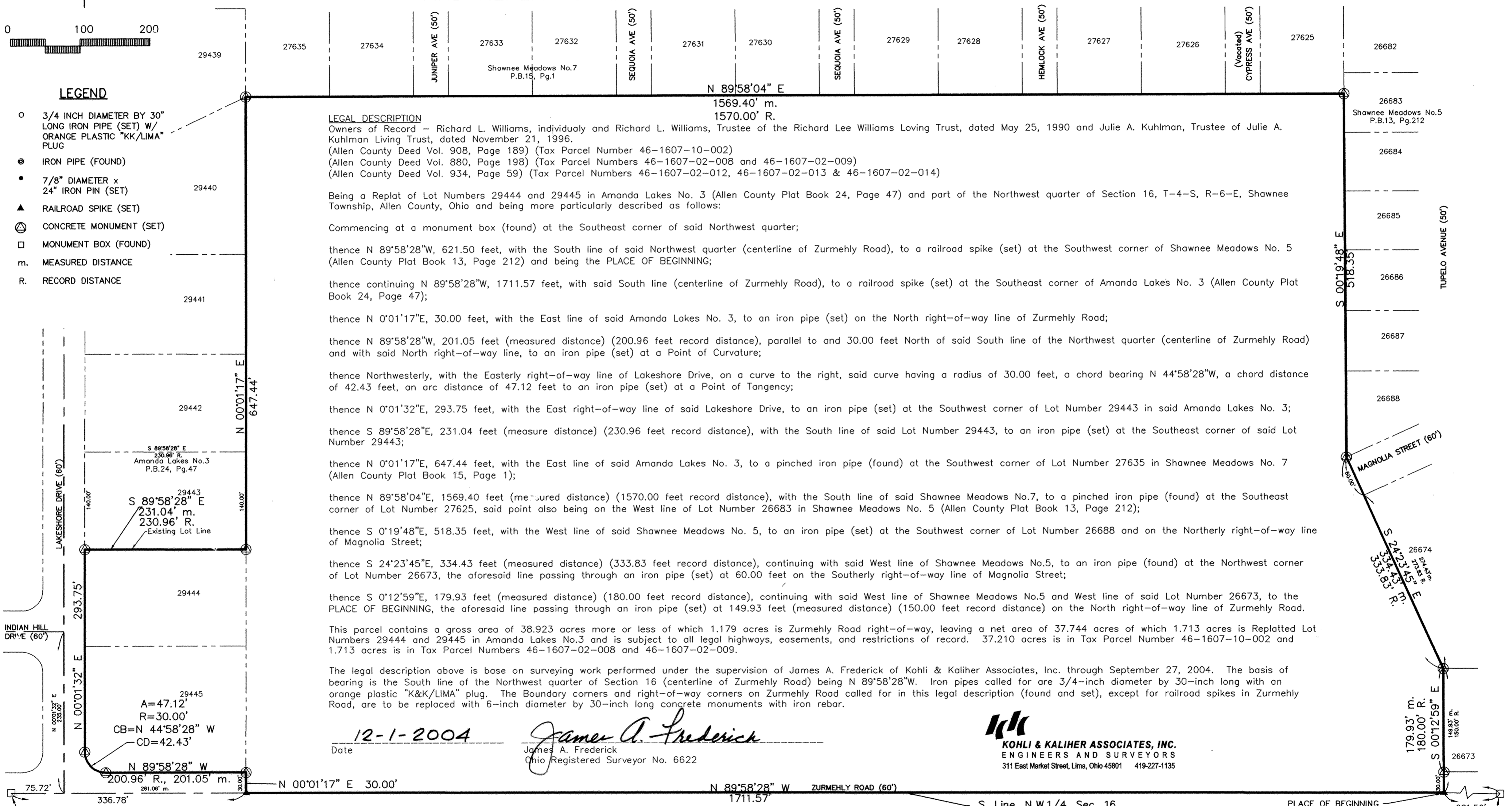
thence S 0°12'59"E, 179.93 feet (measured distance) (180.00 feet record distance), continuing with said West line of Shawnee Meadows No.5 and West line of said Lot Number 26673, to the PLACE OF BEGINNING, the aforesaid line passing through an iron pipe (set) at 149.93 feet (measured distance) (150.00 feet record distance) on the North right-of-way line of Zurmehly Road.

This parcel contains a gross area of 38.923 acres more or less of which 1.179 acres is Zurmehly Road right-of-way, leaving a net area of 37.744 acres of which 1.713 acres is Replatted Lot Numbers 29444 and 29445 in Amanda Lakes No.3 and is subject to all legal highways, easements, and restrictions of record. 37.210 acres is in Tax Parcel Number 46-1607-10-002 and 1.713 acres is in Tax Parcel Numbers 46-1607-02-008 and 46-1607-02-009.

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Date 12-1-2004
 James A. Frederick
 Ohio Registered Surveyor No. 6622

KOHLI & KALIHAR ASSOCIATES, INC.
 ENGINEERS AND SURVEYORS
 311 East Market Street, Lima, Ohio 45801 419-227-1135



Monument Box at the SE Corner of the NW 1/4, Sec. 16, T4S-R6E, Shawnee Twp., Allen County, Ohio

REVIEWED BY:
 MICHAEL L. HOWERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 12/2/04

HOMESTEAD FARM ESTATES, PHASE #2 FINAL PLAT

PART OF THE SW 1/4 OF SECTION 33, T3S, R6E, AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO

LEGAL DESCRIPTION

Being a part of parcel #36-3303-02-005.000 located in the SW 1/4 of Section 33, T3S, R6E, American Township, Allen County, Ohio, recorded in prior Deed Volume 772, Page 398 and more particularly described as follows:

Beginning at an existing #5 rebar at the Southeast corner of Lot #29706 of Homestead Farm Estates Subdivision as platted in Plat Book 25, Page 20; thence the following courses:

- 1) S 88°-44'-31" E, 620.77' to a set #5 rebar, passing an existing railroad spike at 43.51', and an existing #5 rebar at 60.01';
- 2) S 1°-32'-42" W, 1086.76' to a set #5 rebar, passing a set #5 rebar at 50.00';
- 3) N 88°-44'-31" W, 1305.99' to a #5 rebar set on the West line of the SW 1/4 of Section 33;
- 4) N 1°-32'-42" E on said fractional section line, 1086.76' to a set #5 rebar;
- 5) S 88°-44'-31" E, 90.00' to an existing #5 rebar at the Southwest corner of Lot #29,702 of Homestead Farm Estates Subdivision as platted in Plat Book 25, Page 20;
- 6) Continue S 88°-44'-31" E on the South line of said subdivision, 595.22' to the POINT OF BEGINNING.

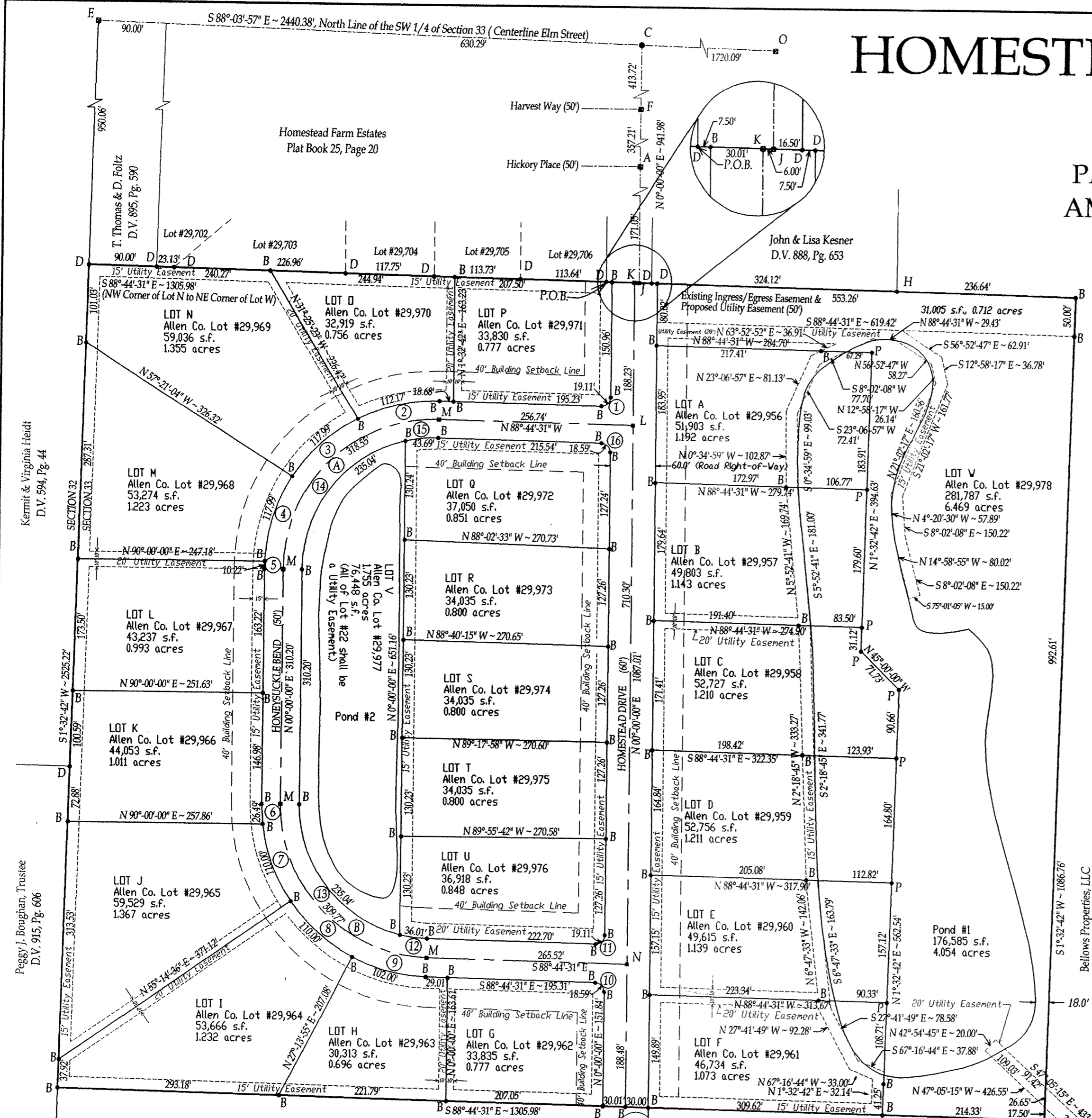
The above-described parcel of land contains 32.582 acres, more or less, of which 0.000 acres are occupied by road right-of-way. This parcel of land is subject to all legal highways and easements of record.

The basis of bearings for this survey is based on the assumption that the centerline of the original 33.00' road right-of-way of Homestead Drive (formerly Albright Road) is N 0°-00'-00" E. This legal description and the accompanying plat represent an actual boundary survey conducted under the direct supervision of Brad J. Core, P.S. #8004 on July 23, 2003. All markers called for above are in place.

Note:
1) There exists a "Blanket" Ohio Power Easement over this entire property as recorded in Deed Volume 227, Page 453.

LEGEND

- A = Existing Monument Box at the intersection of the centerline of Hickory Place and the original centerline of Homestead Drive (formerly known as Albright Road).
- B = Set #5 rebar
- C = Existing Railroad Spike at the intersection of the centerline of Elm Street and the original centerline of Homestead Drive (formerly known as Albright Road).
- D = Existing #5 Rebar
- E = Existing Monument Box at the NW corner of the SW 1/4 of Section 33.
- F = Existing Monument Box at the intersection of the centerline of Harvest Way and original centerline of Homestead Drive (formerly known as Albright Road).
- G = Stone Found at the SW corner of Section 33.
- H = Existing Wood Corner Post
- J = Monument Box set, replacing an existing Railroad Spike at the South end of the original centerline of Homestead Drive (formerly known as Albright Road).
- K = Monument Box set at the South end of the centerline of widened Homestead Drive (formerly known as Albright Road).
- L = Monument Box set at the North intersection of Homestead Drive and Honeysuckle Bend.
- M = Monument Box set at the centerline PC/PT of Honeysuckle Bend.
- N = Monument Box set at the South intersection of Homestead Drive and Honeysuckle Bend.
- O = Existing Monument Box at the intersection of Elm Street and Stevick Road.
- P = Unmonumented Property Corner



CURVE DATA FOR ROAD RIGHT-OF-WAY

CURVE	RADIUS	ARC LENGTH	CHORD BEARING & LENGTH
1	12.00'	19.11'	S 45°-37'-44" W 17.16'
2	225.00'	112.17'	S 76°-58'-34" W 111.01'
3	225.00'	117.99'	S 47°-40'-17" W 116.64'
4	225.00'	117.99'	S 17°-37'-35" W 116.64'
5	225.00'	10.22'	S 1°-18'-07" W 10.22'
6	225.00'	26.49'	S 3°-22'-22" E 26.47'
7	225.00'	110.00'	S 20°-45'-04" E 108.91'
8	225.00'	110.00'	S 48°-45'-44" E 108.91'
9	225.00'	102.00'	S 75°-45'-18" E 101.13'
10	12.00'	18.59'	S 44°-22'-16" E 16.78'
11	12.00'	19.11'	S 45°-37'-44" E 17.56'
12	175.00'	36.01'	N 82°-50'-50" W 16.78'
13	175.00'	235.04'	N 38°-28'-34" W 217.77'
14	175.00'	235.04'	N 38°-28'-34" E 217.77'
15	175.00'	43.69'	N 84°-06'-18" E 43.59'
16	12.00'	18.59'	S 44°-22'-16" E 16.78'

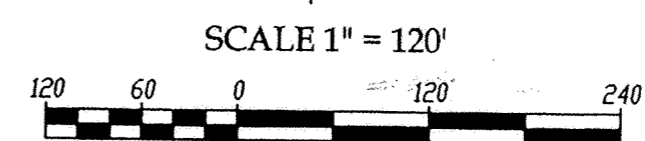
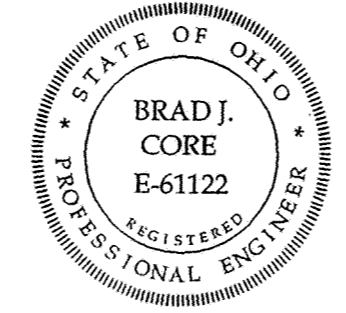
CURVE DATA FOR ROAD CENTERLINE

CURVE	RADIUS	ARC LENGTH	CHORD BEARING & LENGTH
(A)	200.00'	318.55'	S 45°-37'-44" W 285.93'
(B)	200.00'	309.77'	S 44°-22'-16" E 279.72'

Easements:
All easements within this subdivision and shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of all utilities, public and private, including but not limited to water, storm sewer, detention, sanitary sewer, gas, electric, telephone, cable television or other utility lines or services and for the express privilege of removing any trees or other obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever. No permanent structures or permanent plantings of trees or shrubs shall be placed on easements designated on this plat. The grade in all easements is critical to the proper function of storm sewers, storm water detention, and surface drainage, therefore, there must not be any changes made to the grade in any easement, within the subdivision, shown on this plat.

This description and plat are based on an actual survey performed under my direct supervision on July 23, 2003. All markers called for will be set within 60 days of recording of this plat.

Brad J. Core
Brad J. Core, P.E., P.S.



REVISED	CORE CONSULTING A DIVISION OF MATERIALS TESTING, INC. 1660 S. DEFIANCE TRAIL SPENCERVILLE, OHIO 45887 (419) 647-6163		
11/23/2004	DEVELOPER/OWNER Bellows Properties, LLC	DEVELOPER/OWNER ADDRESS: 4150 W. Elm St., Lima, Ohio, 45807	
DRAWN BY: D.J.D.	DATE: 11-5-2004	CHECKED BY: B.J.C.	DATE: 11-17-2004
SCALE: 1" = 120'	PAGE 1	OF 4	PAGES

HOMESTEAD FARM ESTATES, PHASE #2 SUBDIVISION RESTRICTIONS & COVENANTS

In order to establish a general plan for the use, occupancy and enjoyment of the subdivision known as Homestead Farm Estates, Phase #2, all lots and preserves within the subdivision shall be subject to the following restrictions, covenants and easements which shall run with the land and inure to the benefit of all owners, their heirs and assigns.

ARTICLE 1. PROTECTIVE COVENANTS AND RESTRICTIONS

SECTION 1. LAND USE:

SINGLE FAMILY RESIDENCE. The property shall be used solely for single family residential purposes. No portion of the property shall be used for the purpose of any business, trade or profession except that a business may be operated by any resident provided that it shall be conducted solely within the residence building and not in the garage or any other structure or upon any other portion of the lot and provided further that the residence shall not have the outward appearance of a business and provided finally that no more than two (2) employees other than the resident may be employed at the residence. Improvements constructed on the property shall be limited to single family residences and such other improvements as are appropriately appurtenant thereof. "Family" as used in the instrument shall mean one (1) or two (2) unrelated persons or two or more persons related by blood, marriage or adoption residing on the premises as a single housekeeping unit and including domestic servants, if any, as distinguished from a group occupying a boarding house, lodging, motel, fraternity or sorority house. It is intended to exclude non-residential uses and exclude any group home, multi-family apartment, double, duplex, twin single, two-family, boarding house, commune, half-way house, or other non-single family use. Such restrictions shall not prohibit the rental of any property for the use consistent with this section.

BUILDING SETBACK LINES: No building may be erected closer to any of the lot lines than the building setback lines shown on the record plat of subdivision, which are incorporated herein.

UTILITIES EASEMENTS: Easements shown on this plat are for the construction, operation, maintenance, repair, replacement or removal of all utilities, public and private, including but not limited to water, storm sewer, open ditch, sanitary sewer, gas, electric, telephone or other utility lines or services and for the express privilege of removing any trees or other obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever. No permanent structures or permanent planting of trees or shrubs shall be placed on easements designated on the final plat.

SECTION 2. TEMPORARY STRUCTURES/NON RESIDENTIAL STRUCTURES

No structure of a temporary character shall be used on any portion of the property for more than forty-eight hours; however, this shall not prohibit the use of any temporary structures in connection with the construction of any subdivision improvements or the construction of a dwelling.

SECTION 3. SIGNS:

No sign of any kind shall be displayed to the public view on any lot, except that each owner may erect and maintain, one sign of not more than one square foot giving his address, name or profession or combination thereof, and one sign of not more than five (5) square feet, offering the premises for sale or rent.

CONTRACTORS SIGNS: Signs, announcing the names of the construction firm(s), the engineer, the architect, and/or the subcontractors, participating in the construction of a building on the property shall be permitted during the actual construction, provided that only one (1) sign per lot is used which does not exceed five (5) square feet per side in the display area; nor is higher than three (3) feet and provided further that it shall not be placed on the lot any closer to the street than five (5) feet from the property line.

SECTION 4. NUISANCES:

- A) No activity, noxious or offensive, which constitutes a civil nuisance shall be carried on within any portion of the ground encompassed within this plat.
- B) Noise levels related to Ponds use are to be maintained at absolute minimum levels.

SECTION 5. DOMESTIC ANIMALS

No animals, livestock or poultry of any kind shall be raised, bred or kept on any lot except that cats, dogs or other household pets may be kept, if confined to the pet owners dwelling or lot provided that they are not kept, bred or maintained for any commercial purpose. No doghouses, dog pens or runway (kennels) are permitted. Not more than two (2) mature members of a given animal genus may be maintained on the property. Any animal older than ninety (90) days shall be considered as mature. Any dogs, which are not prohibited by this restriction, must nonetheless be kept in a manner, which does not disturb other residents of the Subdivision.

SECTION 6. GARBAGE AND RUBBISH DISPOSAL:

No portion of the property shall be used or maintained as a dumping ground for rubbish or other similar material. All materials from construction shall be picked up weekly. All garbage and other similar materials shall be kept in sanitary containers. All equipment for the storage or disposal of such material shall be kept inside the owners dwelling.

SECTION 7. ANTENNAS:

There shall be no television or radio antennas or discs permitted in Homestead Farm Estates, Phase #2 unless the same be approved by the Architectural Committee and then they will only be permitted in the rear of the house shielded from view of the street and adjoining lot owners.

SECTION 8. CLOTHES LINE AND HANGING DEVICES:

Articles such as clothes, diapers, towels, bedding, rugs, draperies, or other similar items shall not be hung out in exposed view on any portion of the property to dry. Nor, shall there be any exterior clothesline or other hanging devices.

SECTION 9. FUEL TANKS:

Fuel tanks or other similar storage receptacles may be installed only within the main dwelling structure or buried underground and shall not be exposed to view.

SECTION 10. OUTDOOR FIRES:

No outdoor fires shall be built within or upon the properties except in outdoor grills.

SECTION 11. BUILDING PLANS:

- A) No building shall be erected, placed or altered on any building site unless the plans, specification and site plan showing the location of such building have been approved in writing by the Homestead Farm Estates, Phase #2 Architecture Review Committee (established hereinafter) or its designee.
- B) There will be NO homes in Homestead Farm Estates, Phase #2 built alike, mirror imaged, similar or from the same floor plans. Every home shall be the ONLY one in Phase #2 of that plan or design.
- C) Such design shall be submitted to Homestead Farm Estates, Phase #2 Architecture Review Committee or its designee for approval which shall have the right to approve or disapprove the plans and to designate permissible facing materials for all exteriors of structures and which will consider durability, form, color, and compatibility with the structure, terrain and neighborhood in determining the acceptability of said materials. Neutral colors and designs not using vinyl, plastic, or aluminum siding are required. Construction may not begin until Homestead Farm Estates, Phase #2 Architecture Review Committee or its designee has approved said plans.

D) Each property owner shall submit a basic site landscape plan for approval by Homestead Farm Estates, Phase #2 Architecture Review Committee or its designee, which plans shall be carefully considered, taking into account the natural condition of the existing land, the projected plans of the owner and adjoining properties and project design objectives, and such plan shall designate the minimum landscaping to be completed thereon within the ensuing six (6) months after completion of the house.

E) Any modification of the exterior of any structure including change of siding, change of color, substantial modification of landscaping, change of roof, must be approved by Homestead Farm Estates, Phase #2 Architecture Review Committee or its designee, which shall take into consideration the compatibility of the proposed change with the terrain and surrounding neighborhood in determining the acceptability of said modification. Application will be made in writing and shall be deemed approved if not denied within thirty days of submission.

SECTION 12. Structure requirements:

- A) The minimum enclosed livable floor area of the residence to be constructed, exclusive of basement, garages, porches, and attics, shall not be less than three thousand (3,000) square feet for a one (1) story plan; three thousand two hundred (3,200) square feet for a one and one-half (1 1/2) story plan; and three thousand four hundred (3,400) square feet for a two (2) story plan. All homes shall be required to have walkout, or daylight basements if located on lots A, B, C, D, E, F, Q, R, S, T, or U. Additionally homes built on lots Q, R, S, T, or U are required to be one and one-half (1 1/2) or two (2) story homes. Any requests for modification of these requirements must be made in writing to Homestead Farm Estates, Phase #2 Architecture Review Committee or its designee, and in return, the Committee must deliver a written review, within thirty (30) days of the request of modification.
- B) A two (2) car garage with an inside width not less than twenty (20) feet and door opening(s) totaling not less than sixteen (16) feet must be integrated with or attached to all residences.
- C) Each residence must be constructed of new material. No building or other structure whatsoever erected elsewhere, shall be permitted to be moved upon any lot. A building contractor, engaged in the home building business, must construct every home.
- D) Construction must start within twelve (12) months after transfer of deed to lot. Requests for postponement of construction must be made in writing to developer within thirty (30) days before this deadline. Exterior construction of all buildings, in accordance with the plans and specifications, shall be completed no later than fourteen (14) months after excavation has begun. Landscaping shall be completed within six (6) months after completion of the building.

E) No swimming pools of any kind shall be permitted to be placed or suffered to remain on any lot unless the same shall be installed in ground so that the top thereof, exclusive of diving boards and or slides, shall not be more than one (1) foot above the established grade level of the lot on which said swimming pool is to be installed. This restriction shall not be construed to apply to infant, inflatable or portable wading pools.

F) No storage sheds or detached buildings of any kind are permitted.

G) Only open type fence, not including metal or chain link, or hedge not to exceed four (4) feet in height above ground level shall be erected or planted on any building site and shall not extend closer to the street than the rear wall of the house. This height restriction does not apply to fencing and screening around entry ways, courtyards, pools, or patio areas where the same is intended solely for decorative effect and privacy and where the same has been approved, in writing, by the Homestead Farm Estates, Phase #2 Architecture Review Committee.

H) Driveways:

- 1. All driveways shall be constructed and completed with the residence and shall be constructed in an attractive permanent fashion. All driveways must be constructed of decorative exterior quality brick pavers, finished concrete or asphalt concrete.
- 2. All driveways constructed on lots G, P, Q, & U shall enter onto Honeysuckle Bend, not Homestead Drive.

I) Sidewalks:

- 1. As required by the Lima/Allen County Regional Planning Commission, sidewalks shall be installed on both sides of the streets. Sidewalks shall be constructed according to the standard construction specifications of the Allen County Engineer. Sidewalks shall be installed in the exact locations designated by the construction drawings for this subdivision, which are on file with the Allen County Engineer. Installation of said sidewalks shall be at the expense of the homeowner, not the developer.
- 2. The sidewalk to be installed along the frontage of lot V shall be installed at the expense of the 15 homeowners who each own 1/15 of said lot. These homeowners are the owners of lots G, H, I, J, K, L, M, N, O, P, Q, R, S, T, & U.

J) NO HOME MAY BE OCCUPIED UNTIL COMPLETED.

K) All mailboxes shall be of uniform design as established by Homestead Farm Estates, Phase #2 Architectural Committee.

SECTION 13. Excavation

A) Excavation on any site shall be back-filled as soon as possible with good construction practice and the disturbed area shall be graded. Immediately upon grading, steps shall be taken to effectively minimize erosion, either through sod, seeding, straw, placement of straw bales or other approved methods. Erosion and its effects to the watercourse or any other portion of any lot within this plat are the responsibility of the Owner and Builder and not the Homestead Farm Estates, Phase #2 Development Company.

B) The Homestead Farm Estates, Phase #2 Architectural Committee or its designee, may establish grades, slopes and swells on the lots and fix grade at which any dwelling shall be erected or placed, so that these may conform to a general plan for the subdivision subject, within the guidelines of local building code restrictions.

C) All lot owners shall be prohibited from filling roadway swales. All lot owners shall be prohibited from connecting downspouts, sump pumps, footer tiles, A/C condensation lines and other surface inlets into roadside underdrains, except for lots H, I, & K. These all must conform to current county and township regulations.

D) All surface water, as reasonably possible, and downspouts from each lot and dwelling, shall be directed toward the ponds, except lots G & P, which shall direct theirs toward the streets.

SECTION 14. Ponds

- A) Swimming is allowed within 30' of each respective building lot shoreline.
- B) Boating
 - 1) Paddle boats, rowboats, canoes, and sailboats under 12 feet in length are permitted within 30' of each respective building lot shoreline. No gasoline powered motor boats permitted.

C) No dock, pier or any structure may be built extending more than 10 feet into the lake past the present shoreline and may not be larger than 250 square feet. No swings or poles with swinging devices to enter the ponds are permitted.

D) Each of the owners of Lots G, H, I, J, K, L, M, N, O, P, Q, R, S, T, & U shall own a 1/15 interest in Lot V (Pond #2). This interest in Lot V may not be separated from the ownership of the corresponding lot. (Example: John Doe purchases Lot G from the developer. The developer shall transfer John Doe all of Lot G and a 1/15 interest in Lot V. When John Doe sells his property, he must transfer all of Lot G and the 1/15 interest in Lot V to the buyer. John Doe may not transfer ownership of Lot G without also transferring ownership of the 1/15 interest in Lot V to the same person or vice versa.)

E) Only those persons who own Lots G, H, I, J, K, L, M, N, O, P, Q, R, S, T, & U shall have a right to use Pond #2 for recreational purposes. Only those persons who own Lots A, B, C, D, E, F, & W shall have a right to use Pond #1 for recreational purposes.

SECTION 15. LOT MAINTENANCE:

A) No portion of the lots shall be used for any purpose other than that of a woods, lawn, landscaped area, or flower garden. Nothing herein contained however, shall be construed as preventing the use of the premises for walks and drives, the planting of trees or shrubbery, the growing of flowers or ornamental plants, or the construction of children's outdoor toys provided that such toys shall not exceed eight (8) feet in height nor be larger in area than twelve (12) feet by twelve (12) feet and be of a style and architecture conforming in appearance to the main residential structure. No metal outdoor toys are permitted.

B) It shall be the duty of the property owner to keep the property including lawns, shrubbery, and the trees in a neat and well-mannered condition.

SECTION 16. PARKING:

A) Overnight parking on the paved portion of the street is prohibited and parking on the shoulders is prohibited at all times. No inoperable motor vehicle; no trailer, motor home, camper, recreational vehicle, boat, aircraft, motorcycle, or any truck larger than three-quarter ton shall be parked on any lot or anywhere else within the subdivision for more than 48 hours during any 7 day period. Unless stored wholly within a private garage or screened with natural landscaping from view from adjoining lots and abutting streets.

B) All trucks must be parked in garages. Commercial vehicles, not including company cars are prohibited. All vehicles must be licensed and in good repair.

SECTION 17. UTILITIES:

The Homestead Farm Estates, Phase #2 Developer or its designee reserves the right to grant easements for the construction and operation of electric lights, telephone lines, gas piping, storm water sewers, sanitary sewers, cable television, water lines and other utilities, public or private in and upon the property within the platted utility easement areas until such services are granted to all properties in the Homestead Farm Estates, Phase #2 Subdivision.

SECTION 18. ARCHITECTURAL COMMITTEE

A) The Homestead Farm Estates, Phase #2 Architectural Committee shall be composed of three individuals appointed by the developer, his successor or assignee. In the event of the death or resignation of any member of the Committee originally appointed, the remaining members or member of the Committee shall have the power to appoint new members to fill the vacancies.

REVISED	CORE CONSULTING A DIVISION OF MATERIALS TESTING, INC. 1660 S. DEFIANCE TRAIL SPENCERVILLE, OHIO 45887 (419) 647-6163			
DEVELOPER/OWNER Bellows Properties, LLC		DEVELOPER/OWNER ADDRESS: 4150 W. Elm St., Lima, Ohio, 45807		
DRAWN BY: D.J.D.	DATE: 11-5-2004	CHECKED BY: B.J.C.	DATE: 11-17-2004	
SCALE: NONE	PAGE 2		OF 4 PAGES	

HOMESTEAD FARM ESTATES, PHASE #2 SUBDIVISION RESTRICTIONS & COVENANTS

COUNTY AUDITOR'S CERTIFICATE

Filed for transfer on this 8 day of Dec., 2004.

Ben E. Diepenbroek SMS
Auditor, Allen County, Ohio

COUNTY ENGINEER'S CERTIFICATE

Having checked the construction of the streets in the subdivision, I find that they have been constructed in accordance with the specifications set forth on the plans and regulations thereof, and that they are in good repair and/or the appropriate performance bond has been posted. This endorsement shall constitute acceptance of the streets for public use.

Wayne Lendrum M.H.
Allen County Engineer

ALLEN COUNTY COMBINED HEALTH DISTRICT

I hereby certify that this plat meets the requirements of the Allen County Combined Health District.

Director, Allen County Combined Health District

OWNER'S DEDICATION AND ACKNOWLEDGMENT

We, the undersigned, being all the owners of the land platted herein, do hereby voluntarily consent to the execution of said plat, and dedicated the streets as shown thereon, comprising of a total of 3.104 acres, to the public forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement or removal of water, storm sewer, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or other obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

Don Bellows 12-8-04
Don Bellows, for Bellows Properties, LLC Date

Zachary J. Gardeman 12-8-04
Witness Date

Cheryl Bellows 12-8-04
Cheryl Bellows, for Bellows Properties, LLC Date

Zachary J. Gardeman 12-8-04
Witness Date

State of Ohio
County Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNERS who acknowledged that they signed the hereon plat and the signing thereof was their free act and deed.
IN WITNESS thereof, I affix my hand and seal this 8th day of December, 2004

Zachary J. Gardeman
Notary Public
Zachary J. Gardeman
My Commission Expires 1-15-2007

ARTICLE II. HOME OWNERS ASSOCIATION

SECTION 1. MEMBERSHIP AND VOTING

- A) All persons owning property within the area designated as Homestead Farm Estates, Phase #2 shall be required to subscribe for membership in such Homeowners Association and shall be subject to and abide by the regulations and by-laws thereof.
- 1) All lot owners within the area designated as Homestead Farm Estates, Phase #2 must belong to the Homeowners Association to be known as Homestead Farm Estates, Phase #2 Homeowners Association. The Developer shall appoint three (3) individuals as trustees who are lot owners in Homestead Farm Estates, Phase #2 to manage Homestead Farm Estates, Phase #2 Homeowners Association. The initial terms shall be as follows: One trustee-three (3) years; one trustee-two (2) years; and one trustee-one (1) year. The Homeowners Association shall then assign one (1) new trustee to a three (3) year term each succeeding year thereafter.
- B) As of the date of acceptance and recording of these restrictions and covenants, every person or entity who becomes a homeowner or thereafter becomes an owner of a lot within the subdivision shall be a dues paying member of the Homestead Farm Estates, Phase #2 Homeowners Association. The association shall meet once a year to elect a president, vice president and secretary. Each lot shall be entitled to one (1) vote in the affairs of the association, with the exception of Lot V, which will not be entitled to voting rights. Persons having the power to convey fee simple in a given lot shall constitute a unit having one (1) vote. The vote of any lot may not be split. The association may adopt a membership fee to be collected at the time a new Owner purchases a residence and may adopt an annual membership fee, all by a majority vote of the members attending a duly-called meeting for that purpose. Votes may be cast by proxy.

SECTION 2. GENERAL MAINTENANCE

- 1) The association shall be responsible for the maintenance of: both ponds including all mowing of Lot V; all storm sewers not located within road right-of-way; and all subdivision signage not maintained by American Township.
- 2) The Homeowners Association shall follow the guidelines as set forth by the Ohio Cooperative Extension Service Agency which issues a bulletin titled Ohio Pond Management, No. 374, or any revisions thereafter, as a basis for proper pond management. The Association shall use this publication as a guide in determining fish stocking programs, weed control programs and fish harvesting.
- 3) An initial deposit of Two Hundred and 00/100 dollars (\$200.00) shall be due from each individual lot owner, 22 lot owners total, at the time of purchase from the developer. The trustees of the Association shall calculate each and every year thereafter the amount of association fees necessary for the coming year for proper maintenance. Each individual lot owner shall pay 1/22 of this amount on or before the 1st day of June of each calendar year, for each lot they own, to cover maintenance costs.
- 4) All rules and regulations shall be subject to enforcement by the Homestead Farm Estates, Phase #2 Homeowners Association. The Association is authorized and directed to prosecute any proceedings at law against any tract owner failing or refusing to pay their respective portion of said maintenance or improvement including the costs and expenses incurred in the prosecution of such proceedings.

COUNTY COMMISSIONERS

In accordance with Ohio Revised Code Section 711.041, the Board of Allen County Commissioners hereby accept this Plat of Dedicator's Lands by Commissioners Resolution No.#801-04, dated November 23, 2004 after said plat had been approved by the Allen County Eng. and the Lima-Allen County Regional Planning Commission.

[Signature]
President of the Board of Allen County Commissioners

ARTICLE III GENERAL PROVISIONS

SECTION 1. VIOLATION OF COVENANTS:

Any person or persons owning any real property situated in Homestead Farm Estates, Phase #2, or the Homestead Farm Estates, Phase #2 Architectural Committee, or its designee may prosecute any proceedings in law or in equity against the person or persons violating or attempting to violate any of the covenants herein. Failure by any party to enforce any covenant, restriction, or agreement herein contained shall in no event be deemed a waiver of the right to take such action for the violation or for any further violation. No lot owner, nor the Architectural Committee, or its designee shall be obligated to enforce these restrictions. Violation of any of the restrictions shall give the Committee or its designee the right, but not the obligation, to enter onto the property upon which such violation exists and to abate summarily, at the expense of its owner, anything or condition that may exist in violation of these restrictions, and the consent of the Committee or its designee shall not thereby be deemed guilty of trespass, for such entry and abatement.

SECTION 2. TERMS OF COVENANTS AND RESTRICTIONS:

The herein enumerated restrictions, rights, reservations, limitations, agreements, covenants, and conditions shall be deemed as covenants and shall run with the land and bind all lot owners, their successors, and their heirs, executors, administrators and assigns for forty (40) years and shall be automatically extended for successive periods of ten (10) years unless amended or repealed by a vote of a simple majority of all lots in the subdivision.

SECTION 3. AMENDMENTS

The restrictions may be amended at any time by an affirmative vote of a simple majority of all lots in the subdivision. Each lot shall be entitled to one (1) vote and that vote cannot be split. Any restriction requiring any action by any governmental office cannot be amended without approval of appropriate governmental action.

SECTION 4. DESIGNEE DEFINED:

The word "designee" as used in the foregoing restrictions shall mean any person, committee, firm or corporation expressly designated and nominated by the Developer, to act for it, or any successor of said Developer which becomes such either by voluntary transfer and conveyance, or by operation of law.

SECTION 5. PARAGRAPH

The paragraph headings are intended for convenience only and are not intended to be a part of these restrictions or in any way to define, limit, or describe the scope or intent of the particular section to which they refer.

SECTION 6. EFFECT OF INVALIDATION:

If any provision of these restrictions is held to be invalid by any court of competent jurisdiction, the validity of such provision shall not affect the validity of the remaining provisions hereof.

SECTION 7. APPROVALS:

Any approvals required under these restrictions shall be deemed granted if not disapproved within thirty (30) days after submission of a written request for approval.

APPROVAL OF REGIONAL PLANNING COMMISSION

This plat having been approved by the Regional Planning Commission of Allen County, Ohio and Executive Director of the Regional Planning Commission, hereby on behalf of said Commission, approve and except this plat this 7 day of December, 2004

[Signature]
Executive Director, Regional Planning Commission

COUNTY RECORDER'S CERTIFICATE 200423671

Filed for record under file no.# 200423671 on this 8th day of Dec., 2004, at a time of 1:12PM in the County

Recorder's Office for a fee of 165.60 and recorded in Plat Book 26, on Page 111.

Edward P. Kuska by MH
Recorder, Allen County, Ohio

REVISED	CORE CONSULTING A DIVISION OF MATERIALS TESTING, INC. 1660 S. DEFIANCE TRAIL SPENCERVILLE, OHIO 45887 (419) 647-6163						
DEVELOPER/OWNER	Bellows Properties, LLC		DEVELOPER/OWNER ADDRESS: 4150 W. Elm St., Lima, Ohio, 45807				
DRAWN BY:	D.J.D.	DATE:	11-5-2004	CHECKED BY:	B.J.C.	DATE:	11-17-2004
SCALE:	NONE		PAGE	3	OF	4	PAGES

HOMESTEAD FARM ESTATES, PHASE #2 SURVEY OF DEDICATOR'S LAND

PART OF THE SW 1/4 OF SECTION 33, T3S, R6E,
AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO

LEGAL DESCRIPTION

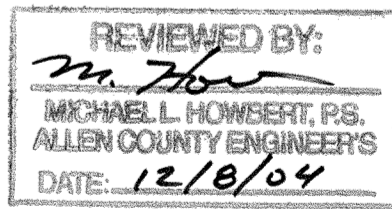
Being parcel #36-3303-02-005.000 located in the SW 1/4 of Section 33, T3S, R6E, American Township, Allen County, Ohio, recorded in prior Deed Volume 915, Page 606 and more particularly described as follows:

Commencing at the monument box at the NW corner of the SW 1/4 of Section 33; thence S 88°-03'-57" E on the North line of the SW 1/4 of Section 33 (centerline of Elm Street), 969.55' to an existing Mag nail; thence S 1°-59'-34" W, 27.73' to an existing #5 rebar, passing an existing #5 rebar at 20.00'; thence S 48°-49'-42" E, 108.14' to an existing #5 rebar at the POINT OF BEGINNING; thence the following courses:

- 1) Continue S 48°-49'-42" E, 15.08' to an existing #5 rebar;
- 2) S 68°-11'-56" E, 117.39' to an existing #5 rebar;
- 3) S 81°-51'-22" E, 381.70' to an existing #5 rebar;
- 4) S 62°-23'-15" E, 99.74' to a point within the banks of the Ottawa River;
- 5) S 76°-59'-19" E, 112.25' to a point within the banks of the Ottawa River;
- 6) S 66°-39'-52" E, 249.90' to a point within the banks of the Ottawa River;
- 7) S 34°-52'-33" E, 69.13' to a point within the banks of the Ottawa River;
- 8) S 11°-28'-20" E, 184.65' to a point within the banks of the Ottawa River;
- 9) S 27°-39'-29" E, 135.07' to a point within the banks of the Ottawa River;
- 10) S 69°-53'-21" E, 331.88' to a point within the banks of the Ottawa River;
- 11) S 46°-06'-28" E, 111.05' to a point within the banks of the Ottawa River;
- 12) S 14°-20'-56" E, 95.24' to a point within the banks of the Ottawa River;
- 13) S 3°-49'-17" E, 59.03' to a point within the banks of the Ottawa River;
- 14) S 19°-19'-27" W, 166.43' to a point within the banks of the Ottawa River;
- 15) S 18°-24'-03" W, 110.67' to a point within the banks of the Ottawa River;
- 16) S 2°-07'-30" E, 76.25' to a point within the banks of the Ottawa River;
- 17) S 16°-40'-54" E, 241.67' to a point within the banks of the Ottawa River;
- 18) S 26°-24'-18" W, 173.51' to a point within the banks of the Ottawa River;
- 19) S 77°-01'-46" W, 130.33' to a point within the banks of the Ottawa River;
- 20) S 78°-37'-52" W, 344.51' to a point within the banks of the Ottawa River;
- 21) S 42°-02'-30" W, 89.22' to a point within the banks of the Ottawa River;
- 22) S 15°-45'-38" W, 162.94' to a point within the banks of the Ottawa River;
- 23) S 43°-07'-05" W, 111.78' to a point within the banks of the Ottawa River;
- 24) S 77°-21'-30" W, 134.56' to a point within the banks of the Ottawa River;
- 25) N 76°-37'-56" W, 127.37' to a point within the banks of the Ottawa River;
- 26) S 63°-14'-52" W, 163.55' to a point within the banks of the Ottawa River;
- 27) S 23°-39'-05" W, 108.12' to a point within the banks of the Ottawa River;
- 28) S 18°-57'-30" E, 118.06' to a point within the banks of the Ottawa River;
- 29) S 2°-41'-56" W, 34.24' to a point within the banks of the Ottawa River and on the South line of Section 33;
- 30) N 88°-47'-50" W on the South line of Section 33, 1453.37' to an existing Section Stone at the SW corner of Section 33, passing a #5 rebar set at 100.00';
- 31) N 1°-32'-42" E on the West line of the SW 1/4 of Section 33, 488.40' to an existing #5 rebar;
- 32) S 88°-44'-31" E, 1305.98' to an existing #5 rebar;
- 33) N 1°-32'-42" E, 1086.76' to an existing #5 rebar, passing an existing #5 rebar at 1036.76';
- 34) N 88°-44'-31" W, 236.64' to an existing wood corner post;
- 35) N 0°-24'-21" E, 841.59' to the POINT OF BEGINNING, passing existing #5 rebars at 304.30' and 608.60'.

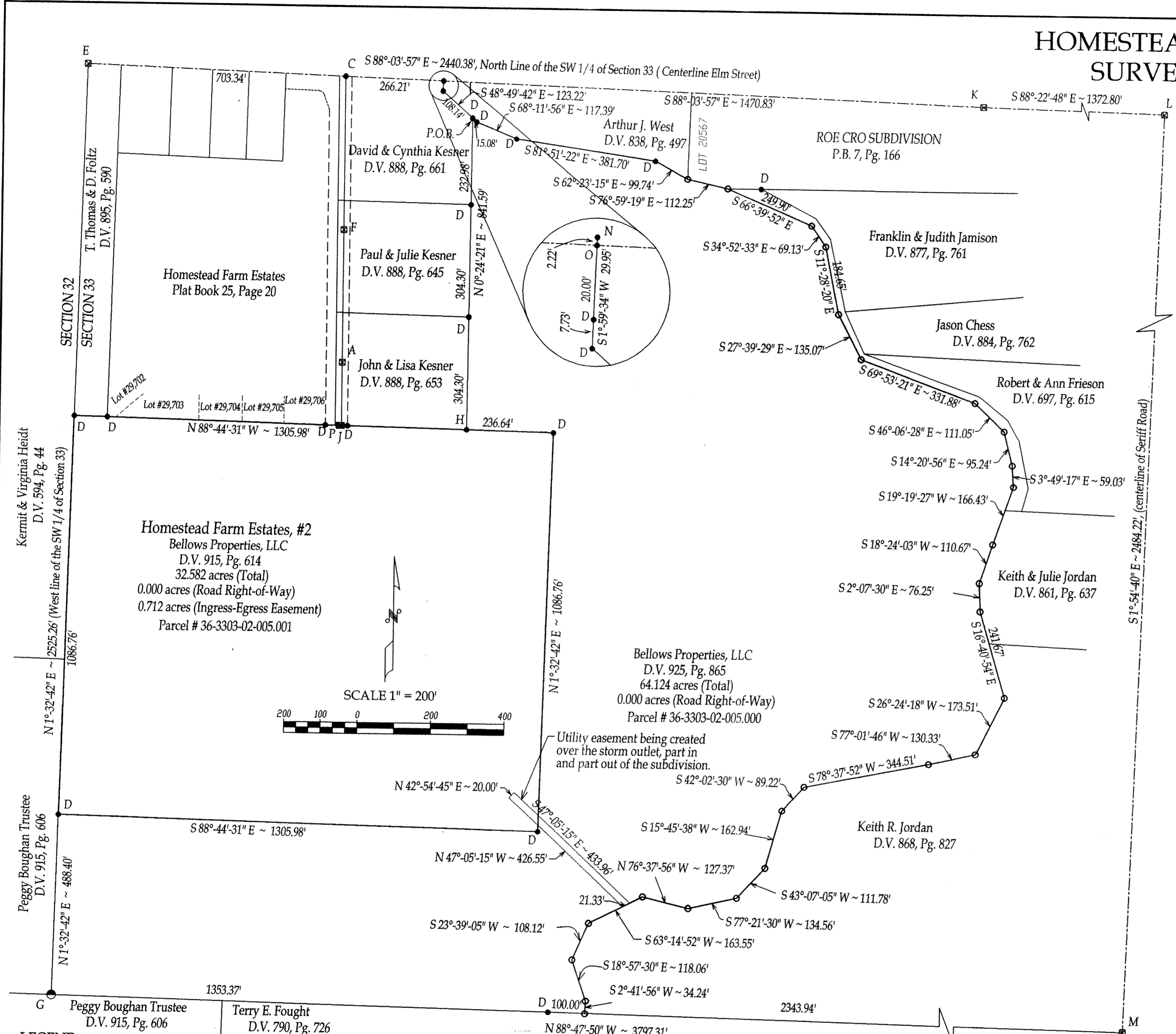
The above-described parcel of land contains 64.124 acres, more or less, of which 0.000 acres are occupied by road right-of-way. This parcel of land is subject to all legal highways and easements of record.

The basis of bearings for this survey is based on the assumption that the centerline of the original 33.00' road right-of-way of Homestead Drive (formerly Albright Road) is N 0°-00'-00" E. This legal description and the accompanying plat represent an actual boundary survey conducted under the direct supervision of Brad J. Core, P.S. #8004 on January 7, 2004. All markers called for above are in place.



BASIS OF BEARINGS

All bearings based on the assumption that the bearing of the original centerline of Homestead Drive (formerly known as Albright Road) is N 0°-00'-00" E.



LEGEND

- A = Existing Monument Box at the intersection of the centerline of Hickory Place and the original centerline of Homestead Drive (formerly known as Albright Road).
- B = Set #5 rebar
- C = Existing Railroad Spike at the intersection of the centerline of Elm Street and the original centerline of Homestead Drive (formerly known as Albright Road).
- D = Existing #5 Rebar
- E = Existing Monument Box at the NW corner of the SW 1/4 of Section 33.
- F = Existing Monument Box at the intersection of the centerline of Harvest Way and original centerline of Homestead Drive (formerly known as Albright Road).
- G = Existing Section Stone at the SW corner of Section 33.
- H = Existing Wood Corner Post
- J = Monument Box set, replacing an existing Railroad Spike at the South end of the original centerline of Homestead Drive. (formerly known as Albright Road)
- K = Existing Monument Box at the intersection of the centerline of Stevick Road and the North Line of the SW 1/4 of Section 33 (centerline of Elm Street).
- L = Existing Monument Box at the intersection of the centerline of Seriff Road and the North Line of the SE 1/4 of Section 33 (centerline of Elm Street).
- M = Existing Monument Box at the intersection of the centerline of Seriff Road and the South Line of Section 33
- N = Existing PK Nail
- O = Existing Mag Nail
- P = Monument Box set at the South end of the centerline of widened Homestead Drive (formerly known as Albright Road).
- "o" = Unmonumented Point within the banks of the Ottawa River.
- "●" = Section Stone
- "●" = Monumented Point
- "⊠" = Monument Box

REVISED	CORE CONSULTING A DIVISION OF MATERIALS TESTING, INC. 1660 S. DEFIANCE TRAIL SPENCERVILLE, OHIO 45887 (419) 647-6163	
DEVELOPER/OWNER	Bellows Properties, LLC	DEVELOPER/OWNER ADDRESS: 4150 W. Elm St., Lima, Ohio, 45807
DRAWN BY:	D.J.D.	CHECKED BY: B.J.C.
DATE:	11-5-2004	DATE: 11-17-2004
SCALE:	1" = 200'	PAGE 4 OF 4 PAGES

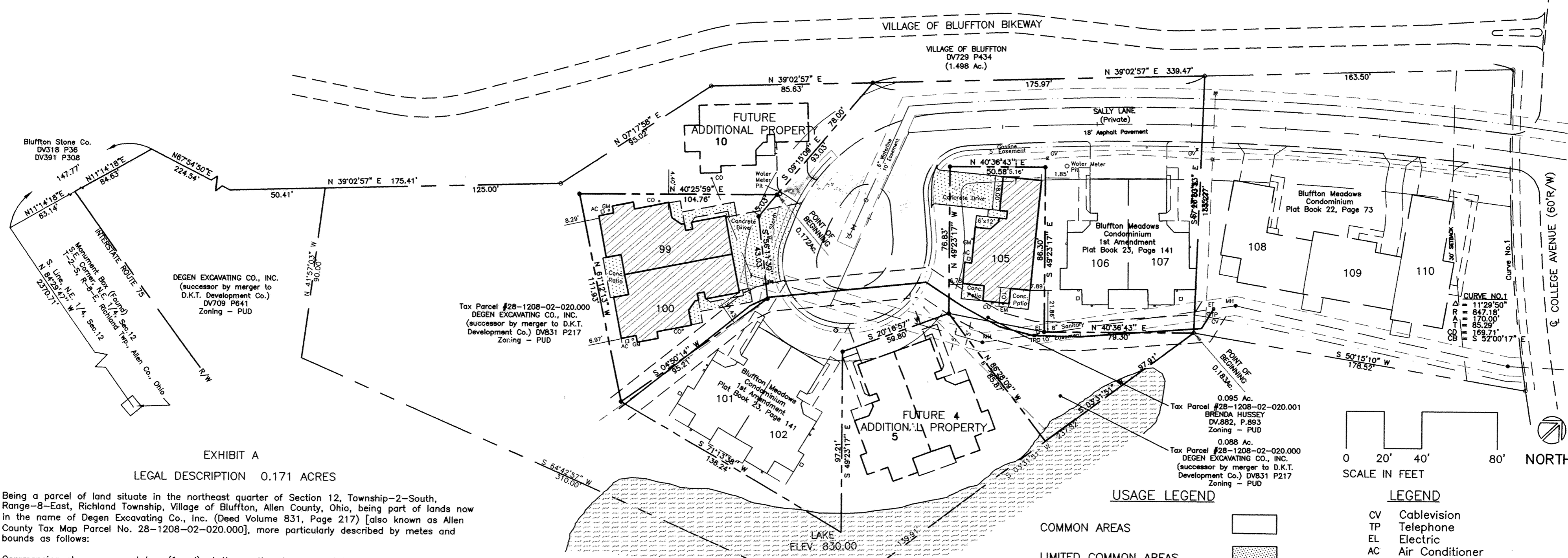


EXHIBIT A
 LEGAL DESCRIPTION 0.171 ACRES

Being a parcel of land situate in the northeast quarter of Section 12, Township-2-South, Range-8-East, Richland Township, Village of Bluffton, Allen County, Ohio, being part of lands now in the name of Degen Excavating Co., Inc. (Deed Volume 831, Page 217) [also known as Allen County Tax Map Parcel No. 28-1208-02-020.000], more particularly described by metes and bounds as follows:

Commencing at a monument box (found) at the southeast corner of the northeast quarter of said Section 12;

thence N 84°29'47"W, 2370.71 feet with the south line of said northeast quarter;

thence N 11°14'18"E, 147.77 feet with the east line of property owned by the Bluffton Stone Company (said line passes the north right-of-way line of Interstate 75 at 63.14 feet);

thence generally northeasterly with the southeast lines of a 1.498-acre parcel granted to the Village of Bluffton (Deed Volume 729, Page 434) on four courses as follows:

(one) N 67°54'50"E, 224.54 feet;

(two) N 39°02'57"E, 175.41 feet to an iron pipe (found);

(three) N 07°17'58"E, 95.02 feet to an iron pipe (found); and

(four) N 39°02'57"E, 85.63 feet to an iron pipe (set) at an angle point in the west line of the Bluffton Meadows Condominium First Amendment area (Plat Book 23, Page 141);

thence S 09°15'09"E, 78.00 feet with the west line of said First Amendment area to an iron pipe (set) at the POINT OF BEGINNING;

thence continuing southerly with the west lines of Bluffton Meadows Condominium First Amendment on three courses as follows:

(one) S 09°15'09"E, 15.03 feet;

(two) S 56°11'30"E, 43.03 feet to an iron pipe (found); and

(three) S 04°50'14"W, 95.21 feet to an iron pipe (found) at the southwest corner of Bluffton Meadows Condominium First Amendment;

thence N 61°12'13"W, 111.93 feet to an iron pipe (set);

thence N 40°26'59"E, 104.76 feet to the POINT OF BEGINNING.

This parcel contains 0.171 acres, subject to all legal easements or other restrictions of record. Of this 0.171 acres, 0.171 acres are part of Tax Map Parcel No. 28-1208-02-020.000.

This description and bearings herein are based on the recorded plats of the adjacent Swiss Park Subdivision and the Bluffton Meadows Condominium, both previously prepared by Kohli & Kaliber.

EXHIBIT B
 LEGAL DESCRIPTION 0.183 ACRES

Being a parcel of land situate in the northeast quarter of Section 12, Township-2-South, Range-8-East, Richland Township, Village of Bluffton, Allen County, Ohio, part of which parcel is now in the name of Degen Excavating Co., Inc. (Deed Volume 831, Page 217) [also known as Allen County Tax Map Parcel No. 28-1208-02-020.000], and part of which parcel is now in the name of Brenda Hussey (Deed Volume 882, Page 893) [also known as Allen County Tax Map Parcel No. 28-1208-02-020.001], together more particularly described by metes and bounds as follows:

Commencing at a monument box (found) at the southeast corner of the northeast quarter of said Section 12;

thence N 84°29'47"W, 2370.71 feet with the south line of said northeast quarter;

thence N 11°14'18"E, 147.77 feet with the east line of property owned by the Bluffton Stone Company (said line passes the north right-of-way line of Interstate 75 at 63.14 feet);

thence generally northeasterly with the southeast lines of a 1.498-acre parcel granted to the Village of Bluffton (Deed Volume 729, Page 434) on four courses as follows:

(one) N 67°54'50"E, 224.54 feet;

(two) N 39°02'57"E, 175.41 feet to an iron pipe (found);

(three) N 07°17'58"E, 95.02 feet to an iron pipe (found); and

(four) N 39°02'57"E, 85.63 feet to an iron pipe (set) at an angle point in the west line of the Bluffton Meadows Condominium First Amendment area (Plat Book 23, Page 141);

thence N 39°02'57"E, 175.97 feet with the northwest line of said First Amendment area to an iron pipe (found) at the southwest corner of lands previously platted as Bluffton Meadows Condominium (Plat Book 22, Page 73);

thence S 47°20'53"E, 135.27 feet with the southwest line of said Bluffton Meadows Condominium to an iron pipe (found) at the southeast corner of said Condominium lands, and the POINT OF BEGINNING;

thence S 03°31'51"W, 97.91 feet to a point in a lake;

- USAGE LEGEND**
- COMMON AREAS [Symbol]
 - LIMITED COMMON AREAS [Symbol]
 - UNIT [Symbol]
- Declarant, for itself and assigns reserves an easement for construction, ingress and egress, over all common areas for future expansion.
- Iron pipes set this survey are understood to be 3/4-inch diameter by 30-inch long iron pipes capped with an orange plastic "K&K/LIMA" plug. Pipes will be set within 30 days of plat approval.
- Iron pipes found this survey were set by Kohli & Kaliber during previous surveys and are understood to be 3/4-inch diameter by 30-inch long iron pipes capped with an orange plastic "K&K/LIMA" plug.
- thence N 86°28'09"W, 85.87 feet to an iron pipe (found) in the boundary of said First Amendment area;
- thence with the boundaries of said First Amendment area on four courses as follows:
- (one) northwesterly at N 49°23'17"W, 76.83 feet to an iron pipe (found);
- (two) northeasterly at N 40°36'43"E, 50.58 feet to an iron pipe (found);
- (three) southeasterly at S 49°23'17"E, 86.30 feet to an iron pipe (found); and
- (four) northeasterly at N 40°36'43"E, 79.30 feet to the POINT OF BEGINNING.
- This parcel contains 0.183 acres, subject to all legal easements or other restrictions of record. Of this 0.183 acres, 0.088 acres are part of Tax Map Parcel No. 28-1208-02-020.000, and 0.095 acres are the entirety of Tax Map Parcel No. 28-1208-02-020.001.
- This description and bearings herein are based on the recorded plats of the adjacent Swiss Park Subdivision and the Bluffton Meadows Condominium, both previously prepared by Kohli & Kaliber.
- LEGEND**
- CV Cablevision
 - TP Telephone
 - EL Electric
 - AC Air Conditioner
 - GM Gas Meter
 - EM Electric Meter
 - GV Gas Valve
 - MH Manhole
 - CO Clean Out
 - ET Electric Transformer on Concrete Pad
 - UGC Underground Cables
 - Telephone Cablevision
 - o Iron Pipe (found)
 - 3/4 inch diameter by 30" long Iron Pipe (set) w/ orange plastic "KK/LIMA" plug

BLUFFTON MEADOWS CONDOMINIUM

N.E. 1/4, SEC. 12, T-2-S, R-8-E, RICHLAND TWP.,
 VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO

BLUFFTON VILLAGE COUNCIL

I hereby approve and accept the above plat and the easements thereon for the Village of Bluffton this 27 day of December, 2004.

Eed W. Sulcomer
 President - Village Council

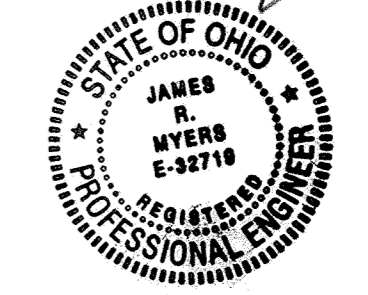
County Record's Certificate
 No. R200500229
 Filed for record in the Allen County, Ohio, Recorder's Office this 5th day of Jan., 2005 at 11:30 o'clock AM, and recorded in Allen County, Ohio, Plat Book 26 on Page 115.
 Fee: 455.70
See Deed VOL 935 Pg 880
Mona Losh Recorder M.B.
 Recorder of Allen County, Ohio

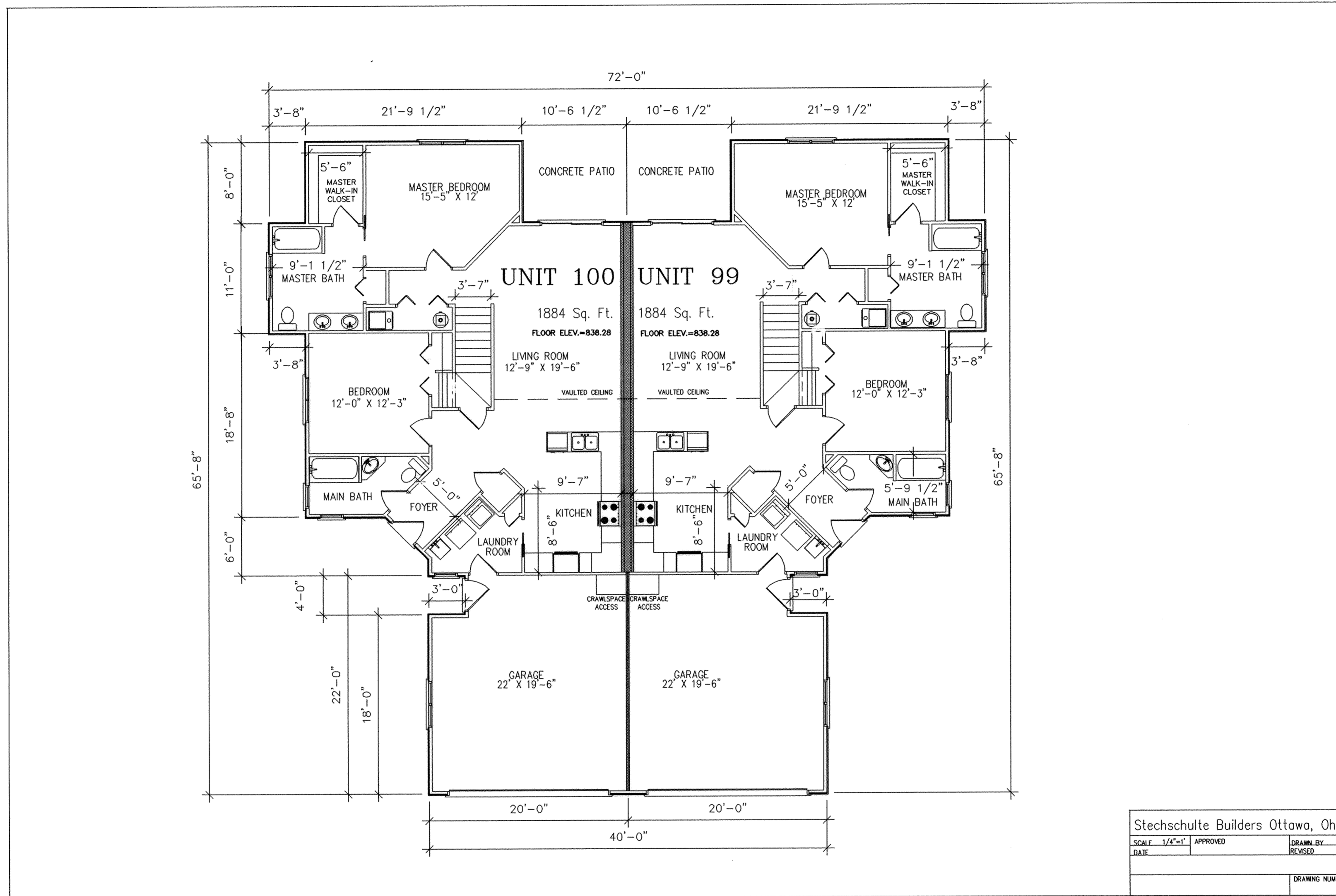
SITE PLAN

KOHLI & KALIBER ASSOCIATES, INC.
 311 East Market Street, Lima, Ohio
 (419) 227-1135

The undersigned hereby certify that these drawings accurately show the location, dimensions and configuration of Units 99, 100 & 105 of the Bluffton Meadows Condominium, Second Amendment, as constructed.

Michael A. Buettner James R. Myers
 Registered Surveyor No. 6881 Licensed Professional Engineer No. 32719

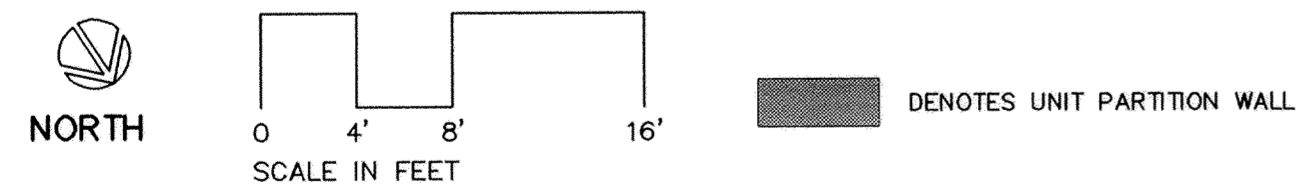




Stechsulte Builders Ottawa, Ohio		
SCALE 1/4"=1'	APPROVED	DRAWN BY
DATE		REVISED
		DRAWING NUMBER

UNIT AREAS

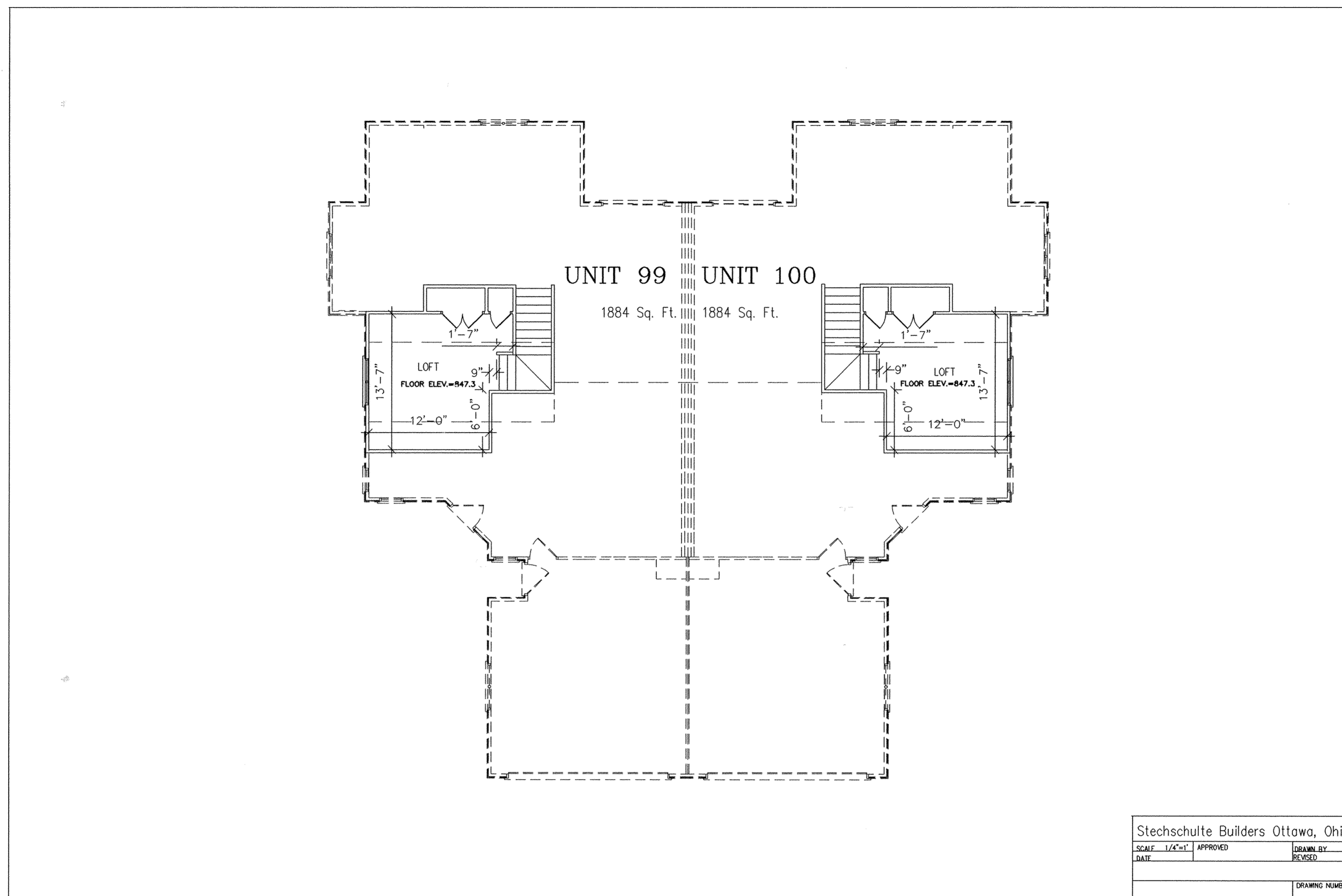
UNIT 99	1884 Sq. Ft.
UNIT 100	1884 Sq. Ft.
TOTAL	3768 Sq. Ft.



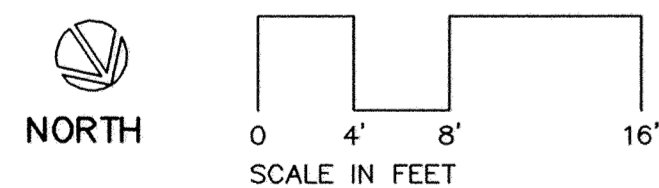
BLUFFTON MEADOWS CONDOMINIUM

FLOOR PLAN - UNITS 99 & 100

N.E. 1/4, SEC. 12, T-2-S, R-8-E, RICHLAND TWP.,
VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO



Stechsulte Builders Ottawa, Ohio		
SCALE 1/4"=1'	APPROVED	DRAWN BY
DATE		REVISED
		DRAWING NUMBER



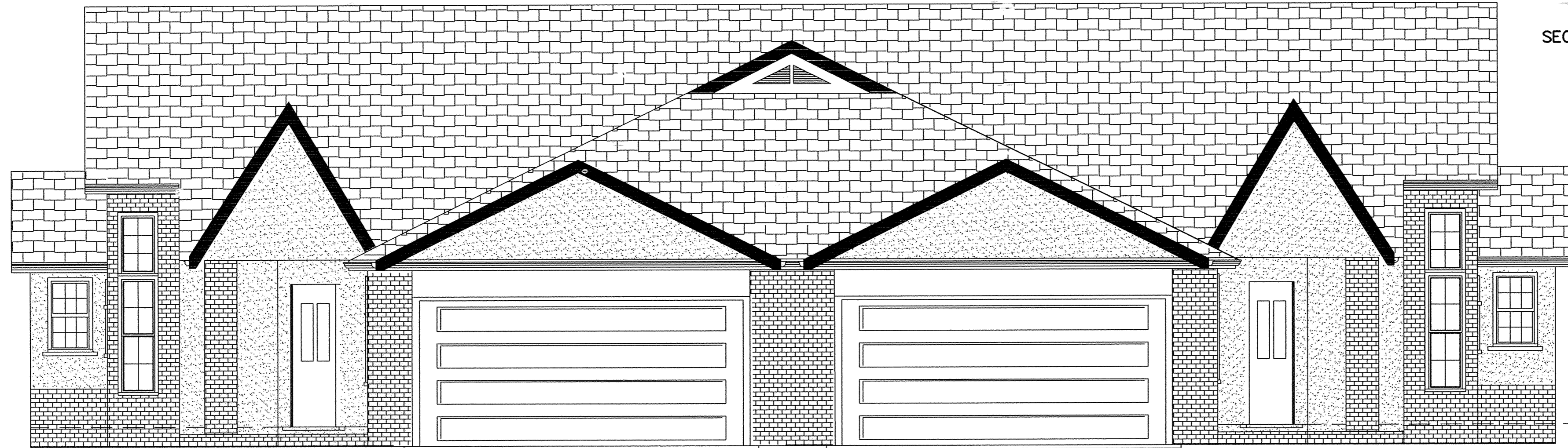
■ DENOTES UNIT PARTITION WALL

UNIT AREAS	
UNIT 99	1884 Sq. Ft.
UNIT 100	1884 Sq. Ft.
TOTAL	3768 Sq. Ft.

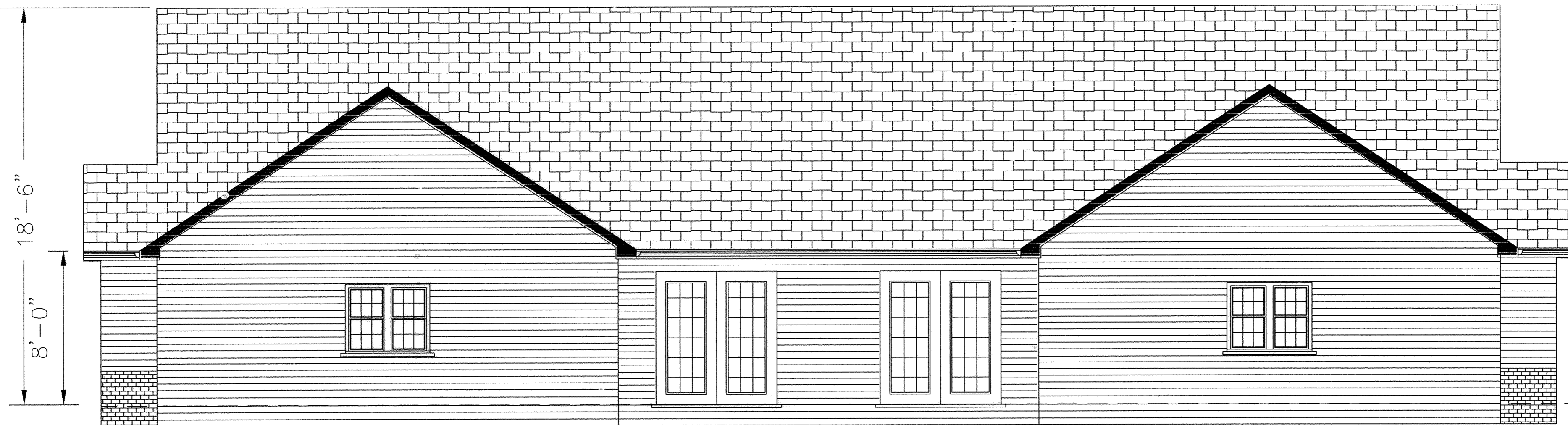
BLUFFTON MEADOWS CONDOMINIUM

FLOOR PLAN – UNITS 99 &100

N.E. 1/4, SEC. 12, T-2-S, R-8-E, RICHLAND TWP.,
VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO



Front Elevation



Rear Elevation

BRICK

VINYL SIDING

SYNERGY SYSTEM STUCCO

0 2' 4' 8'

SCALE IN FEET

BLUFFTON MEADOWS CONDOMINIUM

ELEVATIONS - UNITS 99&100

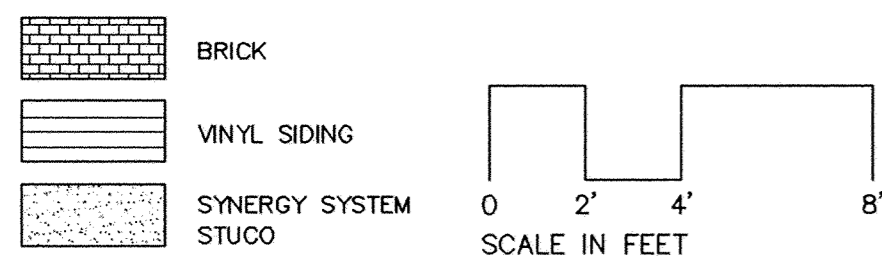
N.E. 1/4, SEC. 12, T-2-S, R-8-E, RICHLAND TWP.,
VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO



Left Elevation



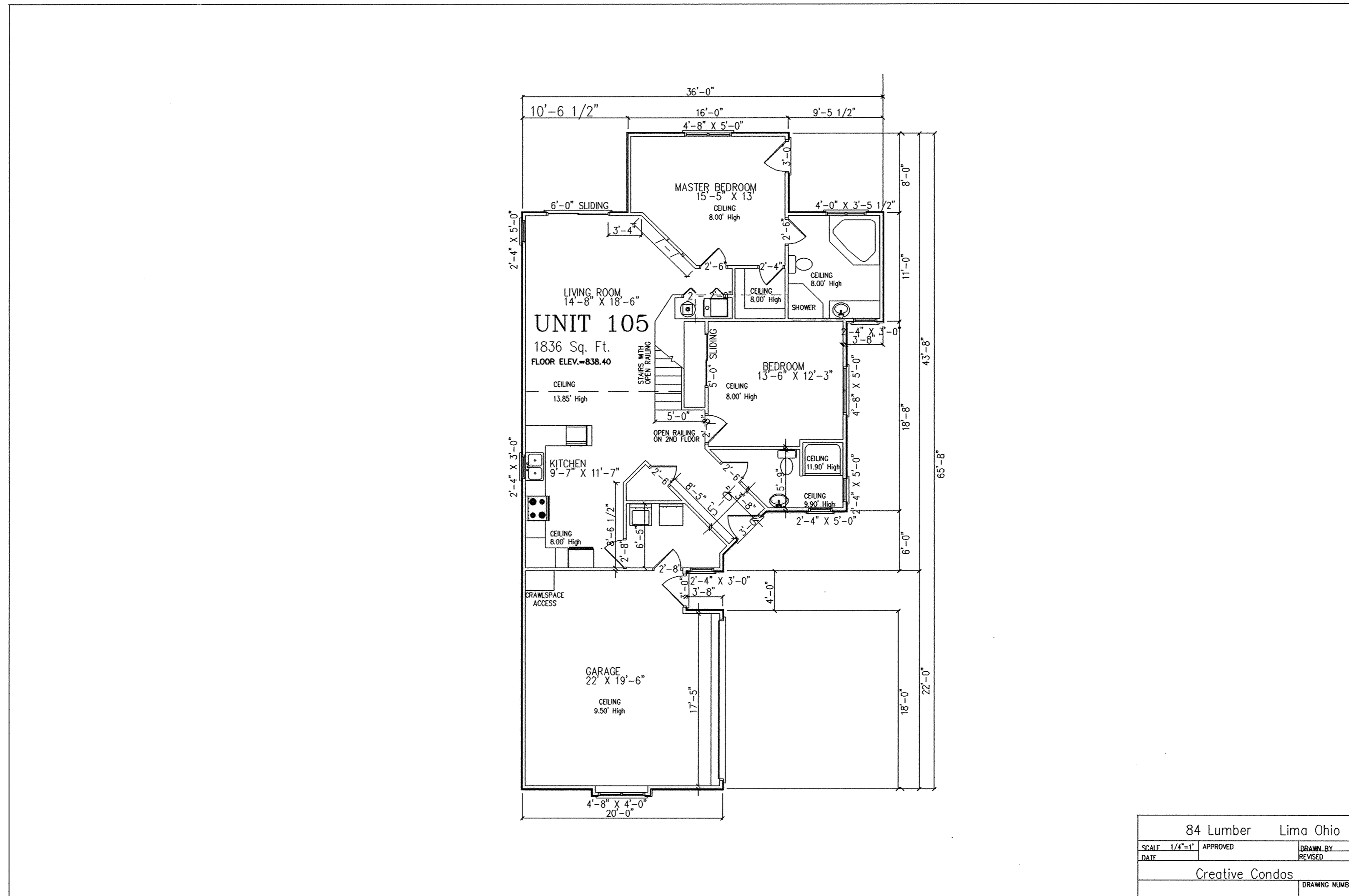
Right Elevation



BLUFFTON MEADOWS CONDOMINIUM

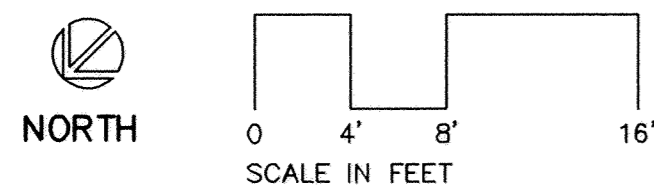
ELEVATIONS - UNITS 99&100

N.E. 1/4, SEC. 12, T-2-S, R-8-E, RICHLAND TWP.,
VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO



84 Lumber		Lima Ohio	
SCALE 1/4"=1'	APPROVED	DRAWN BY	REVISOR
DATE			
Creative Condos			DRAWING NUMBER

UNIT AREA
UNIT 105 1836 Sq. Ft.

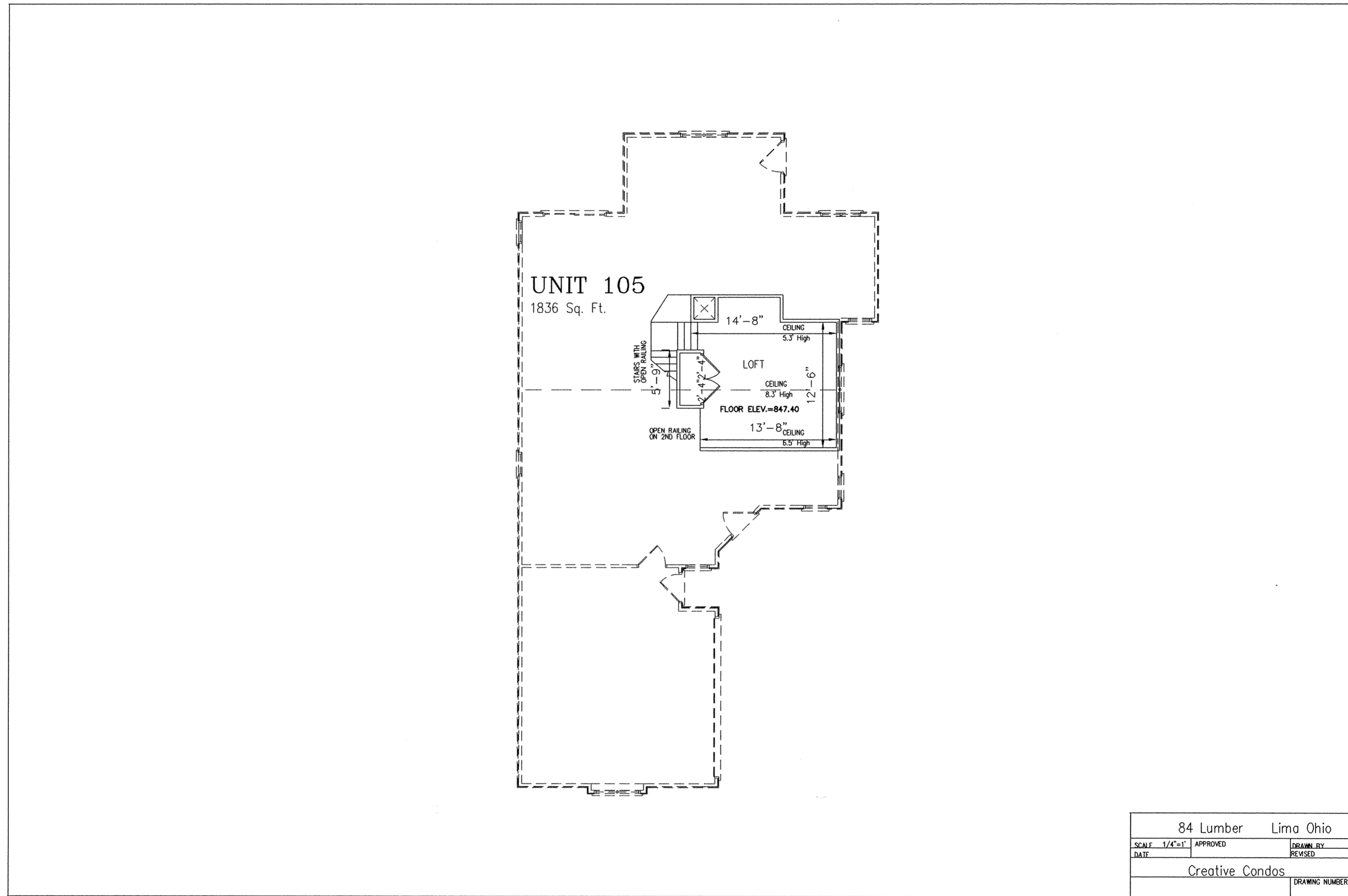


BLUFFTON MEADOWS CONDOMINIUM

FIRST FLOOR PLAN - UNIT 105

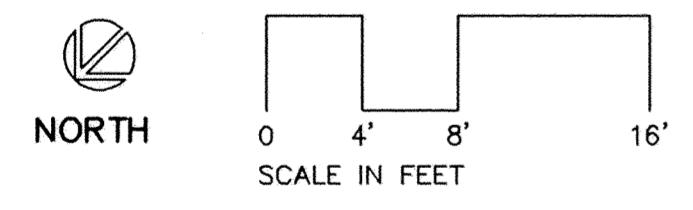
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VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO

121



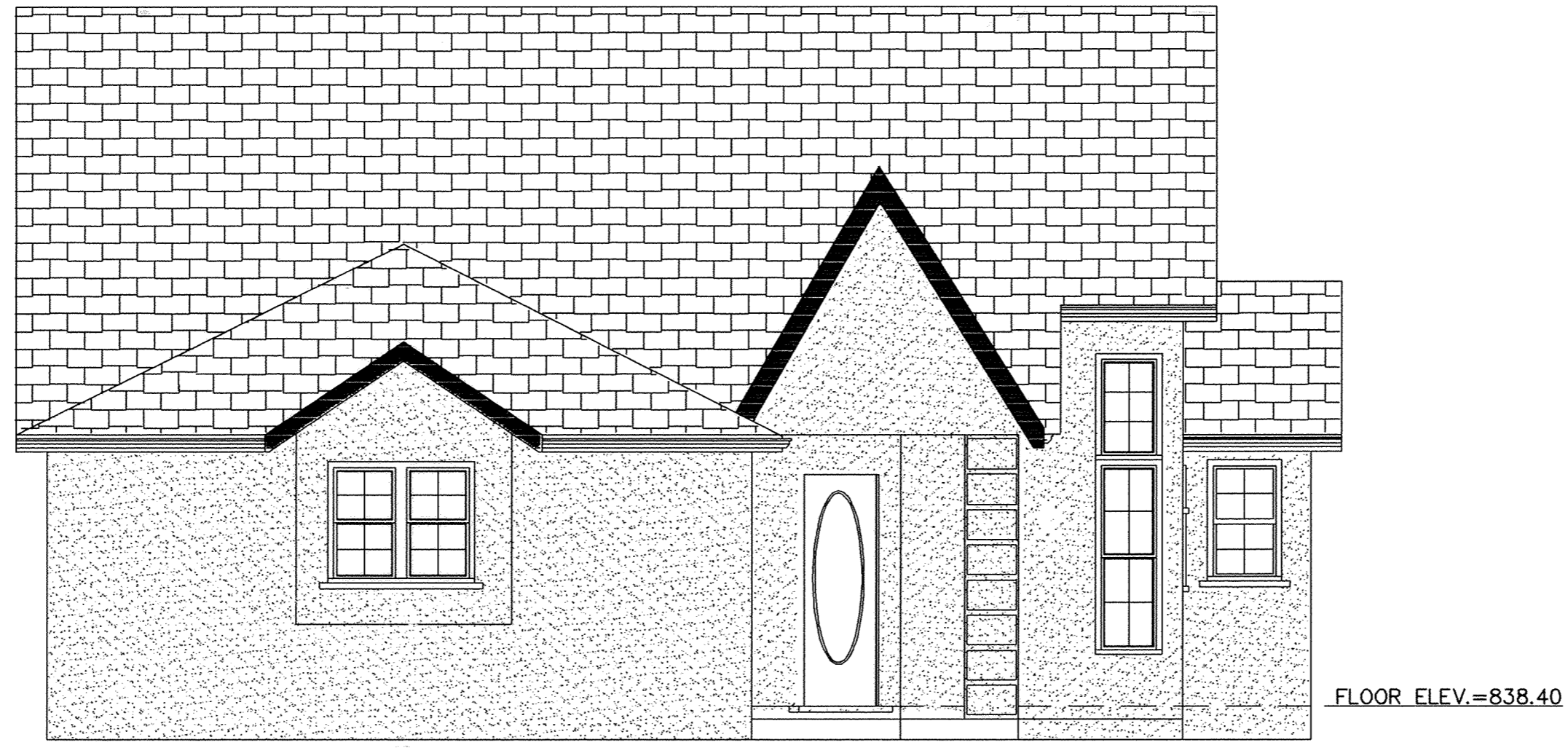
84 Lumber		Lima Ohio	
SCALE 1/4"=1'	APPROVED	DRAWN BY	REVISION
DATE			
Creative Condos		DRAWING NUMBER	

UNIT AREA
UNIT 105 1836 Sq. Ft.



BLUFFTON MEADOWS CONDOMINIUM SECOND FLOOR PLAN - UNIT 105

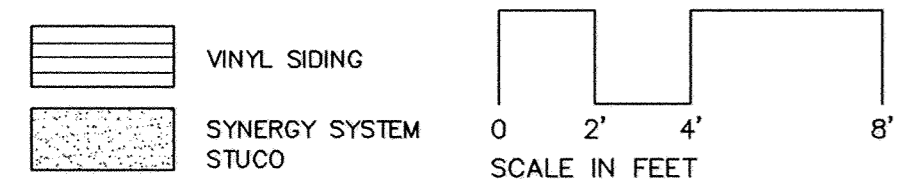
N.E. 1/4, SEC. 12, T-2-S, R-8-E, RICHLAND TWP.,
VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO



Front Elevation



Rear Elevation



BLUFFTON MEADOWS CONDOMINIUM

ELEVATIONS - UNIT 105

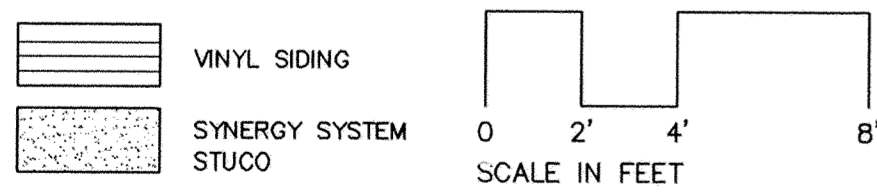
N.E. 1/4, SEC. 12, T-2-S, R-8-E, RICHLAND TWP.,
VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO



Left Elevation



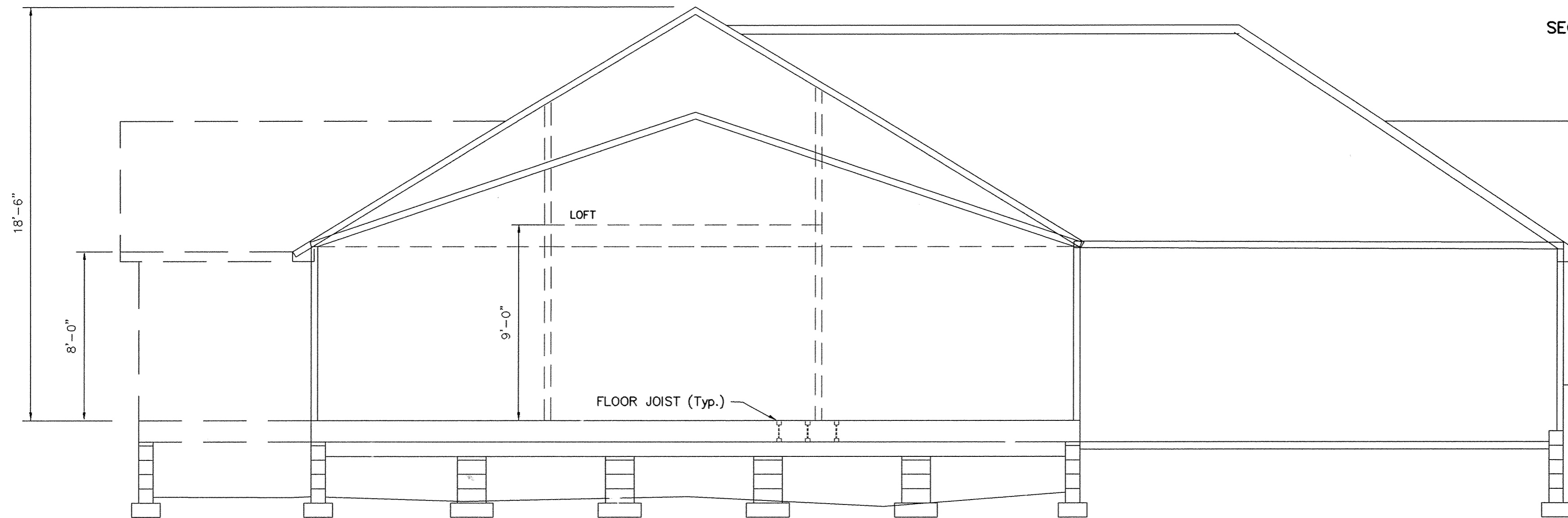
Right Elevation



BLUFFTON MEADOWS CONDOMINIUM

ELEVATIONS - UNIT 105

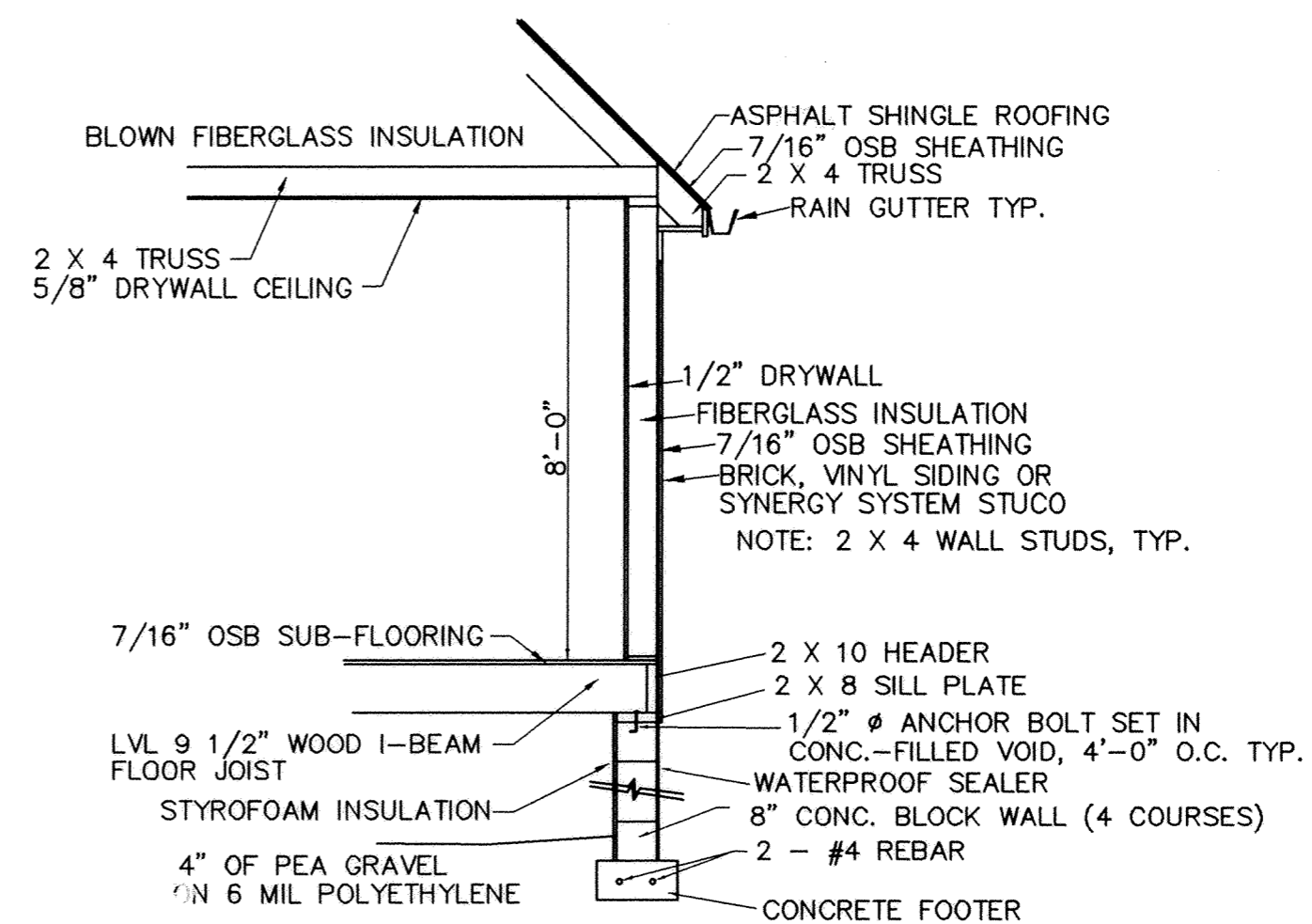
N.E. 1/4, SEC. 12, T-2-S, R-8-E, RICHLAND TWP.,
VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO



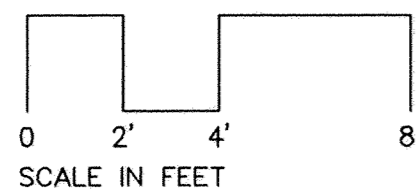
Cross Section

EXTERIOR WALLS: TYP. 2" X 4" STUD WALL,
 OUTSIDE FINISH: SHEATHING AND VINYL SIDING
 OR SHEATHING AND STUCCO
 OR SHEATHING AND BRICK
 INTERIOR FINISH: PAINTED 1/2" DRYWALL

INTERIOR WALLS: TYPICAL 2" X 4" STUD WALL,
 PAINTED 1/2" DRYWALL EACH SIDE



Section



BLUFFTON MEADOWS CONDOMINIUM

SECTIONS

N.E. 1/4, SEC. 12, T-2-S, R-8-E, RICHLAND TWP.,
 VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO

KOHLI & KALIHAR ASSOCIATES, INC.
311 East Market Street, Lima, Ohio
(419) 227-1135

SECOND AMENDMENT

Being a parcel of land situate in the northeast quarter of Section 12, Township-2-South, Range-8-East, Richland Township, Village of Bluffton, Allen County, Ohio, said parcel now part of lands in the name of Degen Excavating Co., Inc. (Deed Volume 831, Page 217) [also known as Allen County Tax Map Parcel No. 28-1208-02-020.000], more particularly described by metes and bounds as follows:

Commencing at a monument box (found) at the southeast corner of the northeast quarter of said Section 12;

thence N 84°29'47"W, 2370.71 feet with the south line of said northeast quarter;

thence N 11°14'18"E, 147.77 feet with the east line of property owned by the Bluffton Stone Company (said line passes the north right-of-way line of Interstate 75 at 63.14 feet);

thence generally northeasterly with the southeast lines of a 1.498-acre parcel granted to the Village of Bluffton (Deed Volume 729, Page 434) on two courses as follows:

(one) N 67°54'50"E, 224.54 feet; and
(two) N 39°02'57"E, 50.41 feet to an iron pipe (set) at the POINT OF BEGINNING of the parcel herein described;

thence continuing generally northeasterly with said southeast lines of said 1.498-acre parcel on three courses as follows:

(one) N 39°02'57"E, 125.00 feet to an iron pipe (found);
(two) N 07°17'58"E, 95.02 feet to an iron pipe (found); and
(three) N 39°02'57"E, 85.63 feet to an iron pipe (found) at the southwest corner of lands platted as Bluffton Meadows Condominium, First Amendment Plat Book 23, Page 141);

thence southerly, easterly and northerly with the boundary lines lines of said Condominium lands on six courses as follows;

(one) S 09°15'09"E, 78.00 feet to an iron pipe (set);
(two) S 40°25'59"W, 104.76 feet to an iron pipe (set);
(three) S 61°12'13"E, 111.93 feet to an iron pipe (found);
(four) N 71°13'38"E, 136.24 feet to a point in a lake;
(five) N 49°23'17"W, 97.21 feet to an iron pipe (found);
(six) N 20°16'57"E, 59.80 feet to an iron pipe (found);

thence easterly through the grantors lands at S 86°28'09"E, 85.87 feet to a point in a lake;

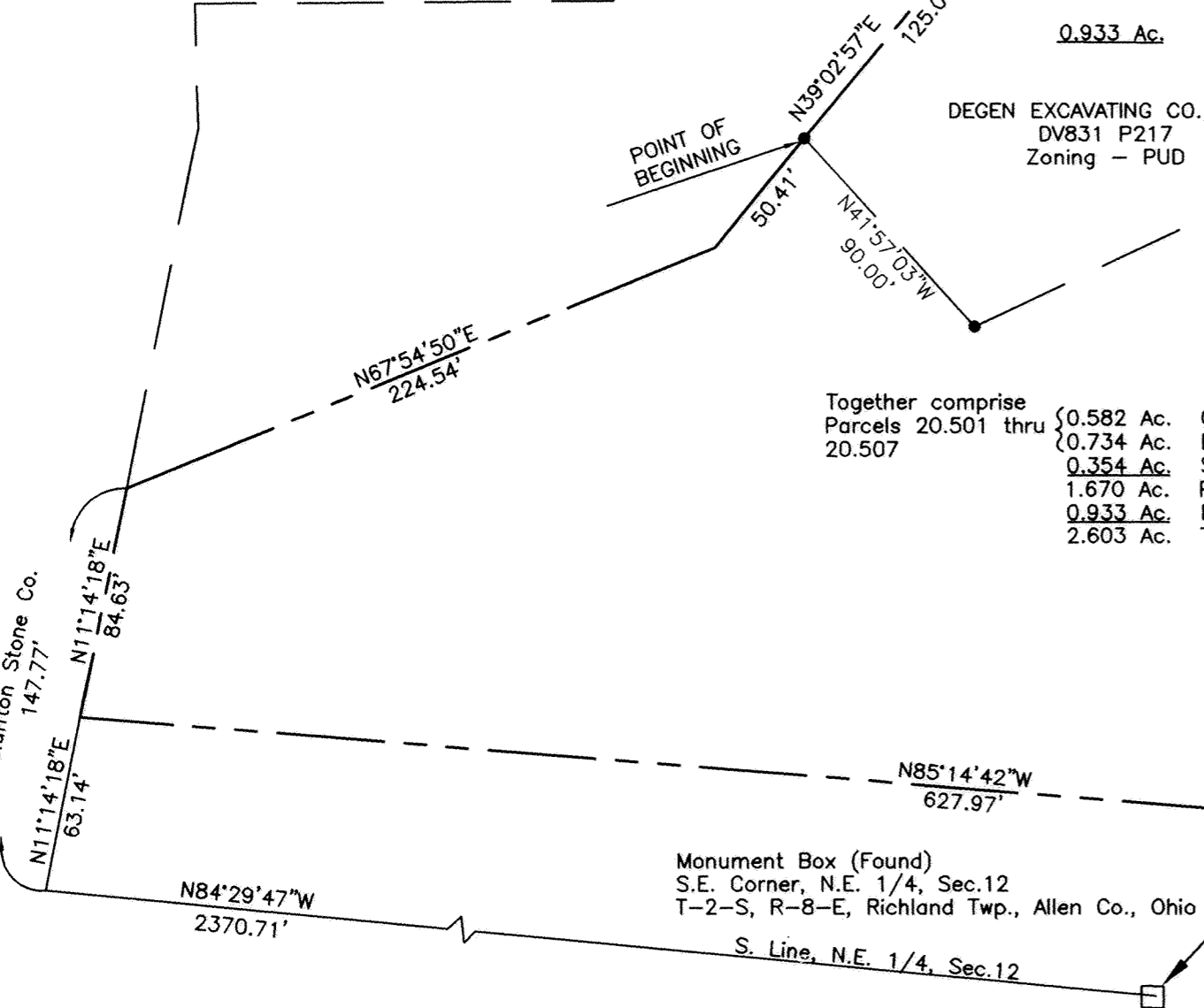
thence generally southwesterly with the east lines of grantors lands (Deed Volume 831, Page 217) on two courses as follows:

(one) S 03°31'51"W, 139.91 feet to a point in a lake; and
(two) S 64°42'57"W, 310.00 feet;

thence northwesterly with the south line of grantors lands at N 41°57'03"W, 90.00 feet to the POINT OF BEGINNING.

This parcel contains 0.933 acres, subject to all legal easements or other restrictions of record.

This description and bearings herein are based on the recorded plats of the adjacent Swiss Park Subdivision and the Bluffton Meadows Condominium, both previously prepared by Kohli & Kaliher.



Together comprise	0.582 Ac.	Original Condominium Property	0.095 Ac.	Brenda Hussey property (Tax Parcel #28-1208-02-020.001)
Parcels 20.501 thru	0.734 Ac.	First Amendment	0.088 Ac.	Degen Excavating Co., Inc. property (Tax Parcel #28-1208-02-020.000)
20.507	0.354 Ac.	Second Amendment	0.171 Ac.	Degen Excavating Co., Inc. property (Tax Parcel #28-1208-02-020.000)
	1.670 Ac.	Present Condominium Property		
	0.933 Ac.	Future Additional Property		
	2.603 Ac.	Total		

CURVE DATA

CURVE NO.1	CURVE NO.2
Δ = 11°29'50"	Δ = 31°43'45"
R = 847.18'	R = 847.18'
A = 170.00'	A = 469.15'
T = 85.29'	T = 240.76'
CD = 169.71'	CD = 463.18'
CB = S 52°00'17" E	CB = S 73°37'05" E

REVIEWED BY: *WL*
M. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 1-5-05



The undersigned hereby certify that these drawings accurately show the location, dimensions and configuration of Units 99, 100 & 105 of the Bluffton Meadows Condominium, Second Amendment, as constructed.

Michael G. Buettner Registered Surveyor No.6881
James R. Myers Licensed Professional Engineer No.32719

BLUFFTON MEADOWS CONDOMINIUM

OVERALL

N.E. 1/4, SEC. 12, T-2-S, R-8-E, RICHLAND TWP.,
VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO

LEGEND

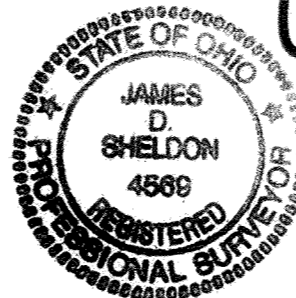
- 5/8" X 30" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- 5/8" IRON PIN CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH" FOUND
- CONCRETE MONUMENT FOUND
- MAIN WATER LINE
- - - SANITARY SEWER LATERAL
- - - STORM SEWER
- - - SANITARY SEWER
- ▨ LIMITED COMMON ELEMENTS
- COMMON ELEMENTS
- ▨ PHASE IV VILLA COMMUNITY AT THE OUTER BANKS
- ▨ PHASE II VILLA COMMUNITY AT THE OUTER BANKS
- ▨ PHASE VI VILLA COMMUNITY AT THE OUTER BANKS
- ☆ 4" PVC CLEAN OUT
- ⊙ STORM MANHOLE
- ⊙ SANITARY MANHOLE
- ⊙ WATER VALVE
- ⊙ CATCH BASIN/YARD DRAIN
- ⊙ WATER METER AND VALVE
- ⊙ ELECTRIC METER
- ⊙ GAS METER
- ⊙ AIR CONDITIONING UNIT
- ⊙ TRANSFORMER BOX
- ⊙ TELEPHONE PEDESTAL
- ⊙ LIGHT POLE
- x-x- PRIVACY FENCE (FUTURE IMPROVEMENT)
- ▨ BUILDING

CERTIFICATION

I, James D. Sheldon, Registered Engineer No. 24779, State of Ohio, and Registered Surveyor No. 4569, State of Ohio, do hereby certify that the drawings herein, consisting of sheets numbered 1 through 4, correctly represent the location, dimensions and configurations of Villa Community at the Outer Banks Condominiums Phase VII as they existed on the date shown.

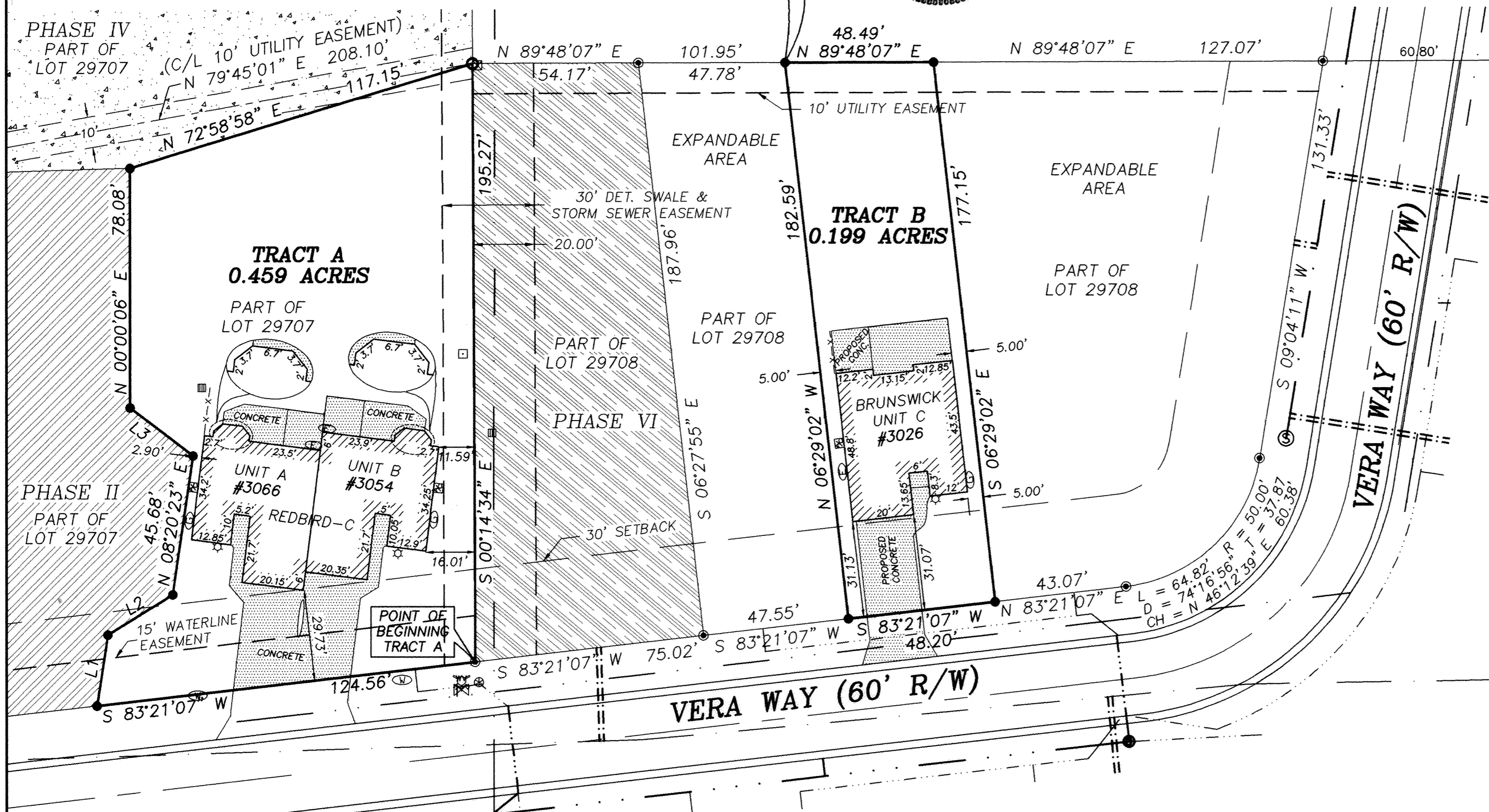
Date: 13 Jan 05

James D. Sheldon
James D. Sheldon, P.E., P.S.



**PLAT OF VILLA COMMUNITY
AT THE OUTER BANKS
CONDOMINIUMS PHASE VII
PART OF LOTS 29707 & 29708 IN
JEFF CIMINILLO SUBDIVISION REPLAT
(P.B. 25, P.24)
IN THE S.W. 1/4 OF SECTION 34
T 3 S - R 6 E, AMERICAN TOWNSHIP
ALLEN COUNTY, OHIO**

**BBA BUILDERS, INC.
VOL. 886, P. 859**



**DESCRIPTION
VILLA COMMUNITY AT THE OUTER BANKS PHASE VII
TRACT A
0.459 ACRES**

Being a Part of Lot 29707 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin found on the northerly right of way of Vera Way marking the southeast corner of said Lot 29707 -
Thence South 83°-21'-07" West on and along said northerly right of way for a distance of 124.56 feet to a 5/8-inch iron pin set -
Thence through said Lot the following six (6) courses:
1) North 08°-41'-11" East through said Lot for a distance of 23.48 feet to a 5/8-inch iron pin set -
2) North 58°-23'-25" East for a distance of 25.03 feet to a 5/8-inch iron pin set -
3) North 08°-20'-23" East for a distance of 45.68 feet to a 5/8-inch iron pin set -
4) North 52°-31'-54" West for a distance of 25.97 feet to a 5/8-inch iron pin set -
5) North 00°-00'-06" East for a distance of 78.08 feet to a 5/8-inch iron pin set -
6) North 72°-58'-58" East for a distance of 117.15 feet to a 5/8-inch iron pin in a concrete monument found on the east line of said Lot 29707 marking the northwest corner of Lot 29708 -
Thence South 00°-14'-34" East on and along said east line of Lot 29707 and the west line of said Lot 29708 for a distance of 195.27 feet to the **place of beginning**.

Containing in all 19,993 square feet or 0.459 acres of land subject, however, to all legal easements and rights of way.

**DESCRIPTION
VILLA COMMUNITY AT THE OUTER BANKS PHASE VII
TRACT B
0.199 ACRES**

Being a Part of Lot 29708 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

Commencing for reference at a 5/8-inch iron pin in a concrete monument found marking the northwest corner of said Lot 29708 -
Thence North 89°-48'-07" East on and along the north line of said Lot for a distance of 101.95 feet to a 5/8-inch iron pin set marking the **PRINCIPAL POINT OF BEGINNING** for the parcel to be described by this instrument -
Thence continuing North 89°-48'-07" East on and along the north line of said Lot for a distance of 48.49 feet to a 5/8-inch iron pin set -
Thence South 06°-29'-02" East through said Lot for a distance of 177.15 feet to a 5/8-inch iron pin set on the northerly right of way of Vera Way -
Thence South 83°-21'-07" West on and along said northerly right of way for a distance of 48.20 feet to a 5/8-inch iron pin set -
Thence North 06°-29'-02" West through said Lot for a distance of 182.59 feet to the **place of beginning**.

Containing in all 8,670 square feet or 0.199 acres of land subject, however, to all legal easements and rights of way.

The foregoing descriptions are based on office records of previous surveys and a current field survey completed in January 2004, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

NOTES: 1. Bearings are based on the west line of the Jeff Ciminillo Subdivision Replat as being North 00°-09'-37" East.
2. All iron pins found or set are 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.

200500450
COUNTY RECORDER'S CERTIFICATION

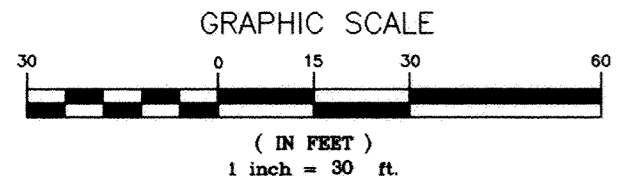
NO. 200500450
FILED FOR RECORD IN THE ALLEN COUNTY, OHIO, RECORDER'S OFFICE THIS 14th DATE OF Jan, 2005 AT 3:44 O'CLOCK P.M. AND RECORDED IN ALLEN COUNTY PLAT BOOK 26 ON PAGE 126.

FEE: \$ 165.60
DECLARATION: D.V. 936 PAGE 238.

BY: Mona Lesh *ML*
RECORDER OF ALLEN COUNTY, OHIO

THIS PLAT IS BASED ON OFFICE RECORDS OF PREVIOUS SURVEYS AND AN ACTUAL SURVEY COMPLETED IN JANUARY 2005. REFERENCES INCLUDE OFFICE RECORDS.

LINE	LENGTH	BEARING
L1	23.48'	N 08°41'11" E
L2	25.03'	N 58°23'25" E
L3	25.97'	N 52°31'54" W



SHEET 1 OF 4

SHELDON ENGINEERING & SURVEYING, INC.

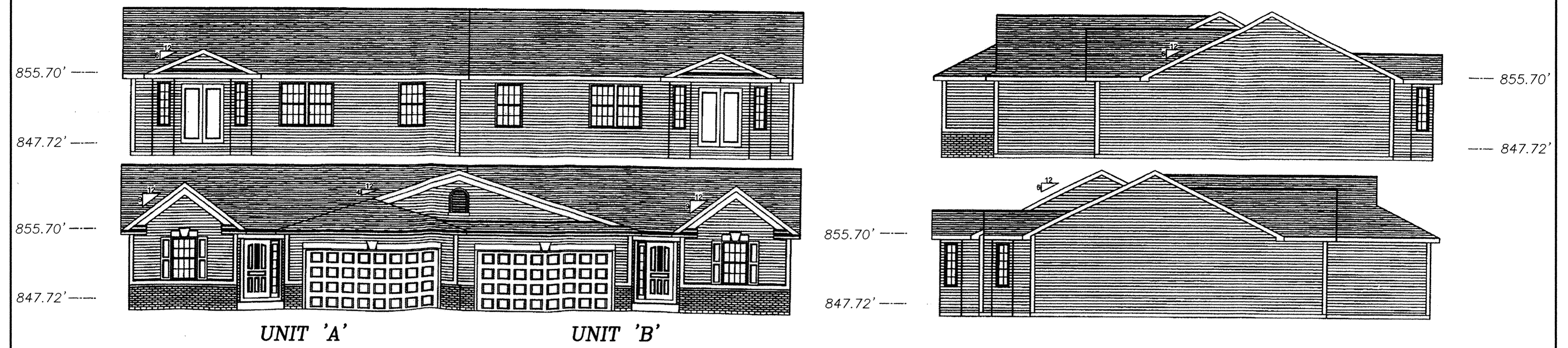


LIMA, OHIO

PREPARED BY:
SHELDON ENGINEERING & SURVEYING, INC.
1280 N. COLE ST. LIMA, OHIO 45801
TELE: (419) 228-4421
JAMES D. SHELDON, P.E., P.S.

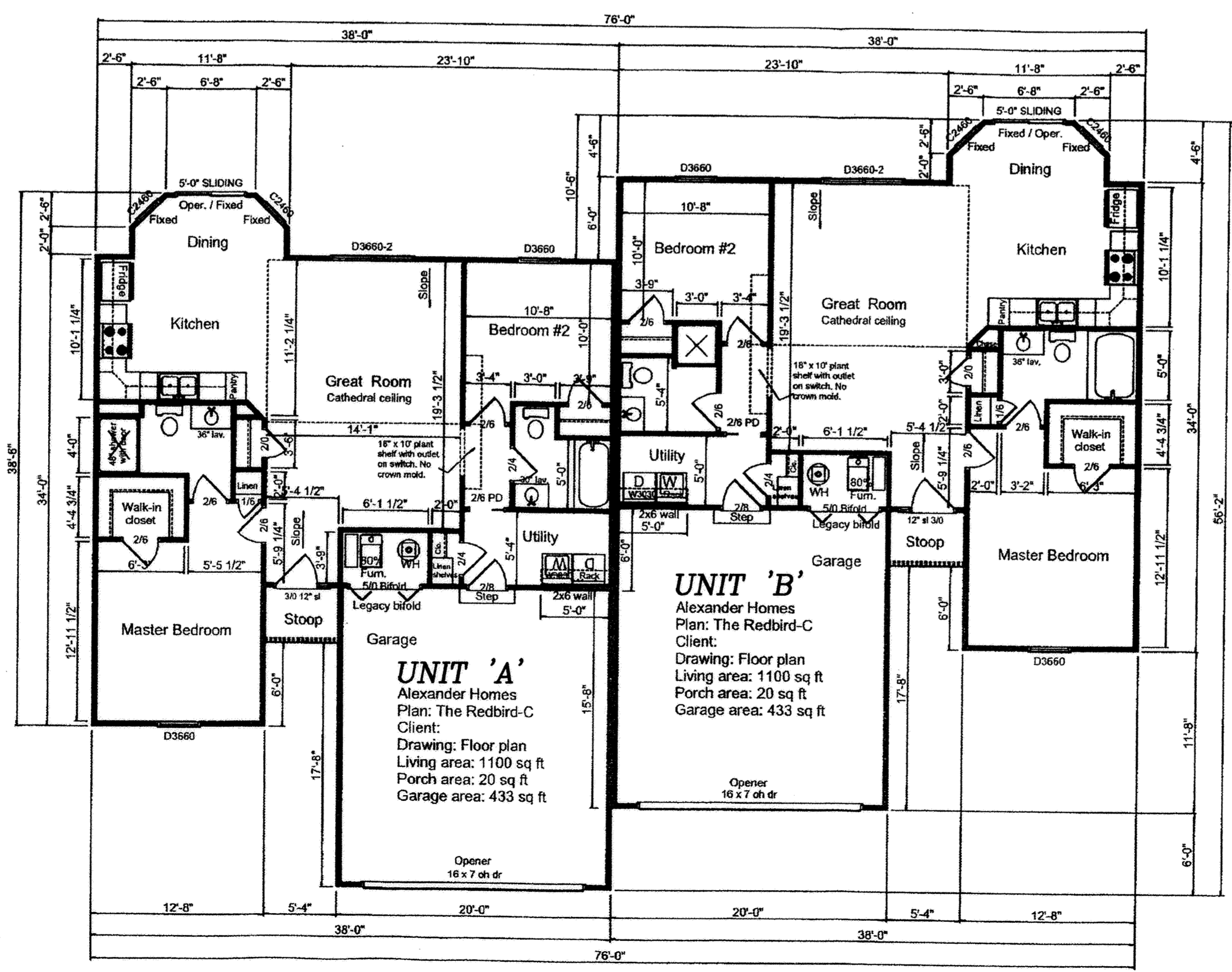
12-30-2004	DATE	JOB NO.	22201G
DRAWN	WSM	CHECKED	JDS
CHECKED	JDS	APPROVED	JDS
SCALE		1" = 30'	

UNITS 'A' & 'B' - FLOOR PLANS & BUILDING ELEVATIONS



UNIT 'A'

UNIT 'B'



UNIT 'A'
 Alexander Homes
 Plan: The Redbird-C
 Client:
 Drawing: Floor plan
 Living area: 1100 sq ft
 Porch area: 20 sq ft
 Garage area: 433 sq ft

UNIT 'B'
 Alexander Homes
 Plan: The Redbird-C
 Client:
 Drawing: Floor plan
 Living area: 1100 sq ft
 Porch area: 20 sq ft
 Garage area: 433 sq ft

SHEET 2 OF 4

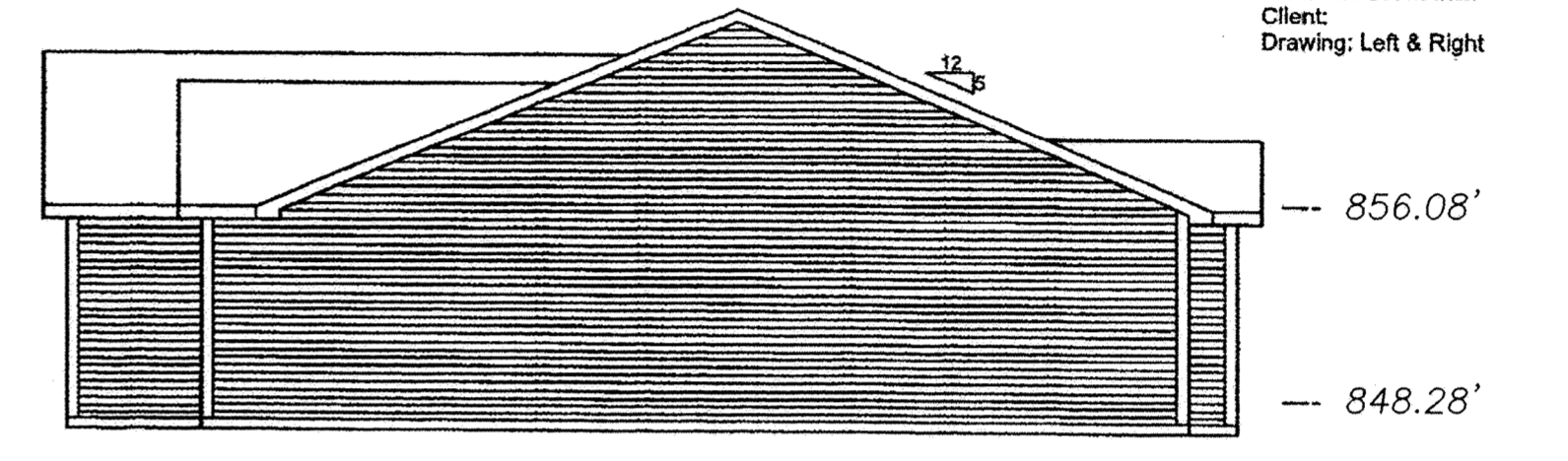
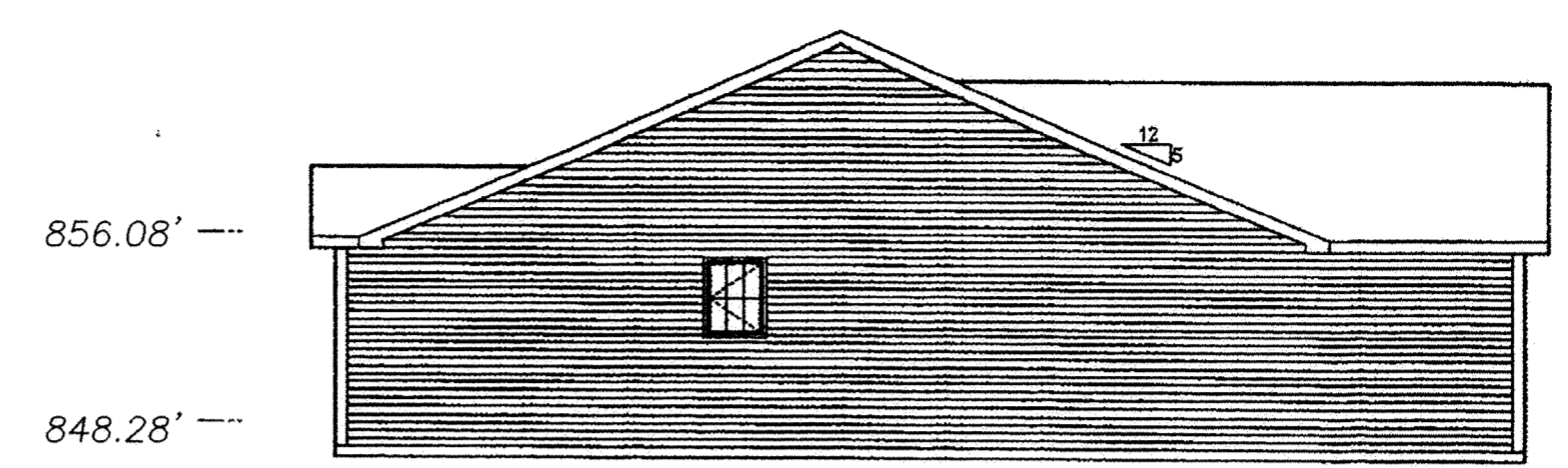
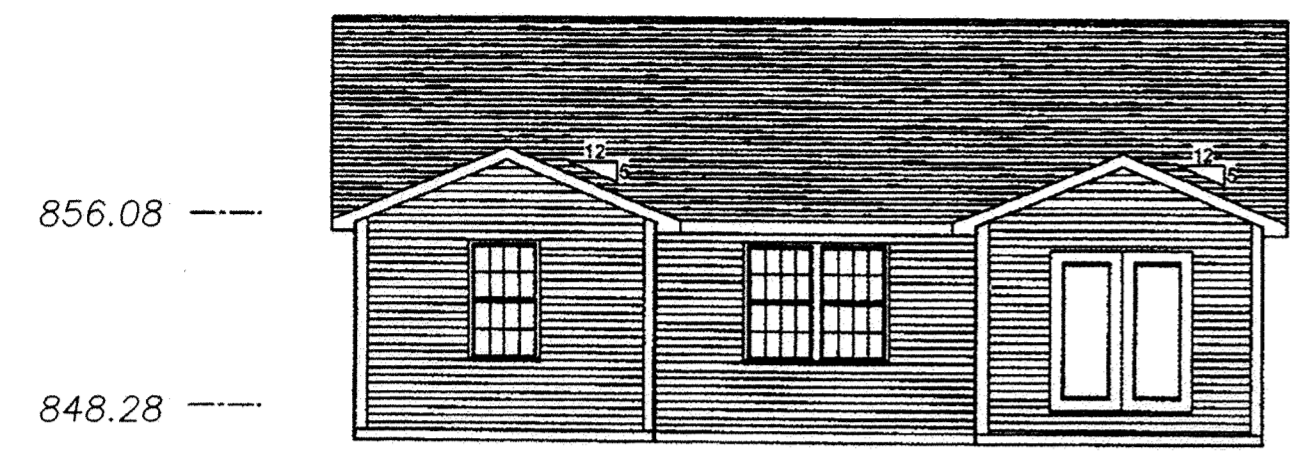
SHELDON ENGINEERING & SURVEYING, INC.



LIMA, OHIO

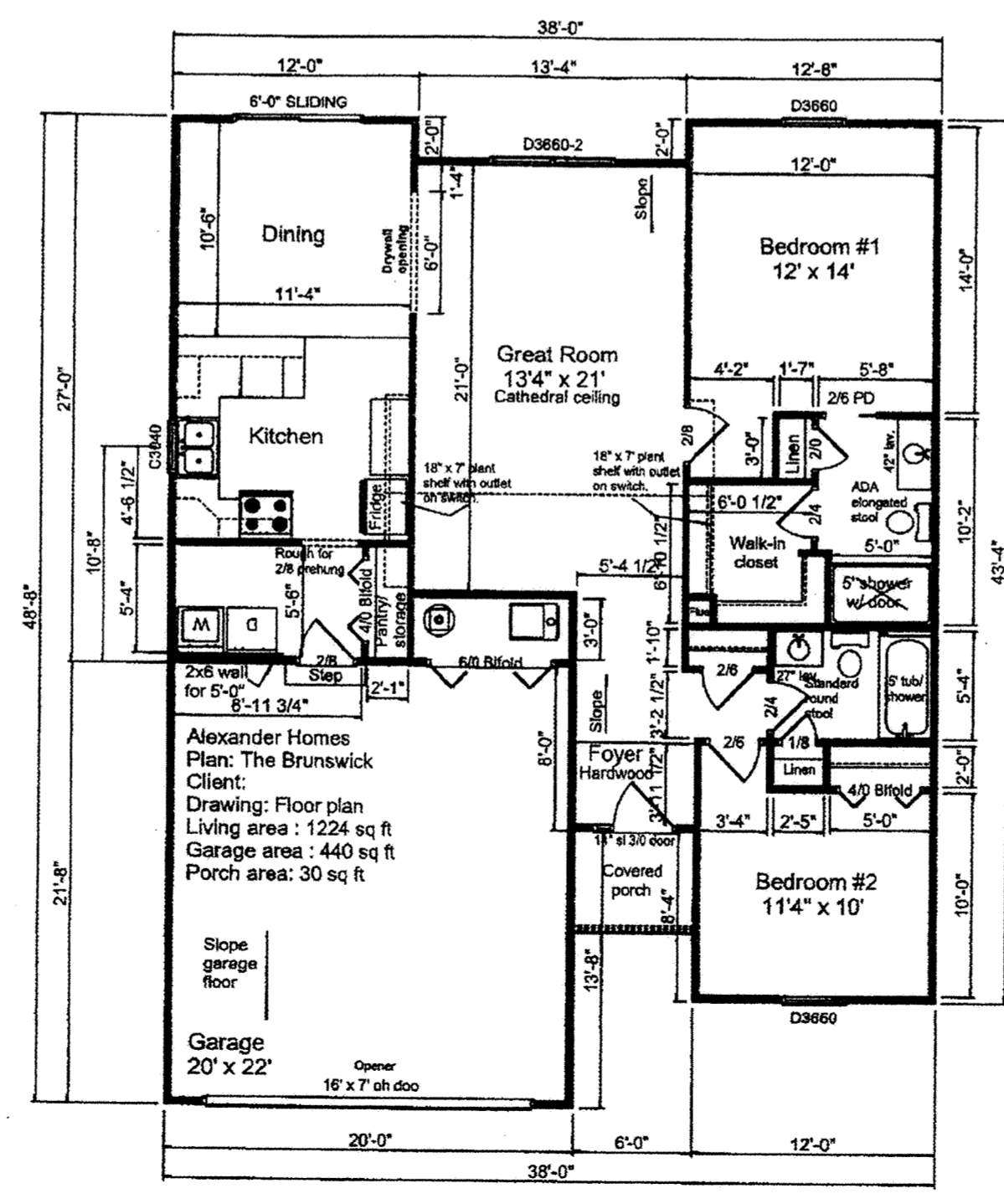
01-05-2004	DATE	JOB NO.
WSM	DATE	22201G
JDS	CHECKED	SCALE
JDS	APPROVED	NONE

UNIT 'C' - FLOOR PLAN & BUILDING ELEVATIONS



Alexander Homes
Plan: The Brunswick
Client:
Drawing: Front & Rear

Alexander Homes
Plan: The Brunswick
Client:
Drawing: Left & Right



Alexander Homes
Plan: The Brunswick
Client:
Drawing: Floor plan
Living area : 1224 sq ft
Garage area : 440 sq ft
Porch area: 30 sq ft

SHEET 3 OF 4

SHELDON ENGINEERING & SURVEYING, INC.



LIMA, OHIO

01-05-2004	DATE	JOB NO.	22201G
WSM	DRAWN	SCALE	NONE
JDS	CHECKED		
JDS	APPROVED		

DEDICATOR'S LAND
VILLA COMMUNITY AT THE OUTER BANKS CONDOMINIUMS PHASE VII
LOT 29710 AND PART OF LOTS 29708 & 29709
JEFF CIMINILLO SUBDIVISION REPLAT (P.B. 25, P. 24)
IN THE S.W. 1/4 OF SECTION 34, T3S-R6E
AMERICAN TOWNSHIP, ALLEN COUNTY, OHIO
BBA BUILDERS, INC. (VOL. 886, P. 859)

DEDICATOR'S LAND
 VILLA COMMUNITY AT THE OUTER BANKS PHASE VII
 3.207 ACRES

Being all of Lot 29710 (containing 1.461 acres of land) in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and those parts of Lots 29708 and 29709 more particularly described as follows:

Part of Lot 29708 (Part 1):
 Being a Part of Lot 29708 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin found on the westerly right of way of Vera Way marking the northeast corner of said Lot 29708 -
 Thence on and along said Lot and said right of way the following three (3) courses:
 1) South 09°-04'-11" West for a distance of 131.33 feet to a 5/8-inch iron pin found -
 2) With a curve to the right having a radius of 50.00 feet, an arc length of 64.82 feet, a delta of 74°-16'-56" and a chord bearing South 46°-12'-39" West for a distance of 60.38 feet to a 5/8-inch iron pin found -
 3) South 83°-21'-07" West for a distance of 43.07 feet to a 5/8-inch iron pin set on the south line of said Lot -
 Thence North 06°-29'-02" West through said Lot for a distance of 177.15 feet to a 5/8-inch iron pin set on the north line of said Lot -
 Thence North 89°-48'-07" East on and along the north line of said Lot for a distance of 127.07 feet to the **place of beginning**.
Containing in all 17,505 square feet or 0.402 acres of land.

Part of Lot 29708 (Part 2):
 Being a Part of Lot 29708 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin found on the westerly right of way of Vera Way marking the northeast corner of said Lot 29708 -
 Thence on and along said Lot and said right of way the following three (3) courses:
 1) South 09°-04'-11" West for a distance of 131.33 feet to a 5/8-inch iron pin found -
 2) With a curve to the right having a radius of 50.00 feet, an arc length of 64.82 feet, a delta of 74°-16'-56" and a chord bearing South 46°-12'-39" West for a distance of 60.38 feet to a 5/8-inch iron pin found -
 3) South 83°-21'-07" West for a distance of 91.27 feet to a 5/8-inch iron pin set on the south line of said Lot marking the **PRINCIPAL POINT OF BEGINNING** -
 Thence continuing South 83°-21'-07" West on and along said Lot and said right of way for a distance of 47.55 feet to a 5/8-inch iron pin found -
 Thence North 06°-27'-55" West through said Lot for a distance of 187.96 feet to a 5/8-inch iron pin found on the north line of said Lot -
 Thence North 89°-48'-07" East on and along the north line of said Lot for a distance of 47.78 feet to a 5/8-inch iron pin set -
 Thence South 06°-29'-02" East through said Lot for a distance of 182.59 feet to the **place of beginning**.
Containing in all 8,804 square feet or 0.202 acres of land.

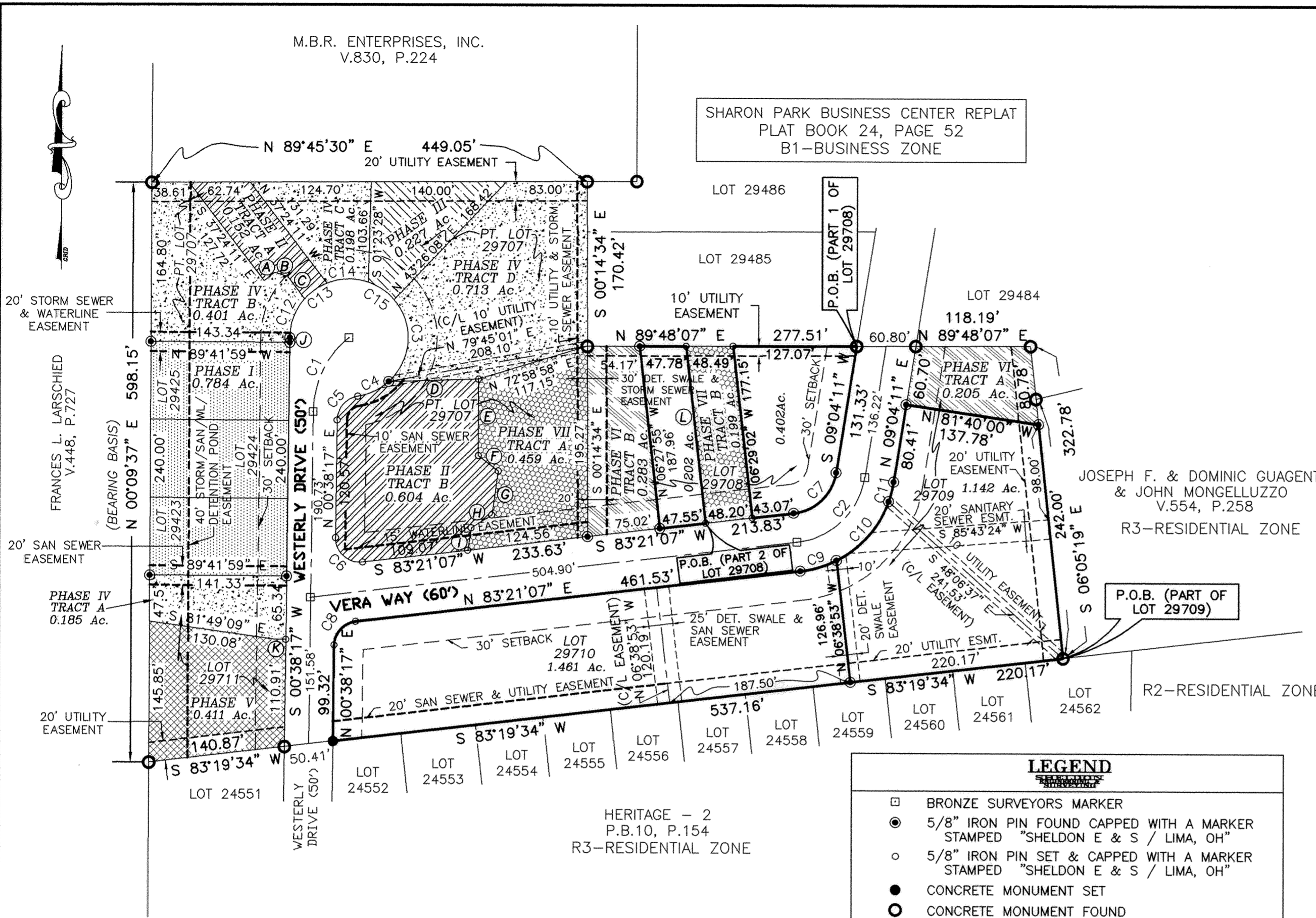
Part of Lot 29709:
 Being a Part of Lot 29709 in the Jeff Ciminillo Subdivision Replat (Plat Book 25, Page 24) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin in a concrete monument found marking the southeast corner of said Lot 29709 -
 Thence on and along said Lot the following five (5) courses:
 1) South 83°-19'-34" West for a distance of 220.17 feet to a 5/8-inch iron pin found -
 2) North 06°-38'-53" West for a distance of 126.96 feet to a 5/8-inch iron pin found on the southerly right of way of Vera Way -
 3) With a curve to the left having a radius of 110.00 feet, an arc length of 82.95 feet, a delta of 43°-12'-15" and a chord bearing North 41°-24'-23" East for a distance of 80.99 feet to a 5/8-inch iron pin found -
 4) With a curve to the left having a radius of 110.00 feet, an arc length of 20.61 feet, a delta of 10°-44'-05" and a chord bearing North 14°-26'-13" East for a distance of 20.58 feet to a 5/8-inch iron pin found -
 5) North 09°-04'-11" East for a distance of 80.41 feet to a 5/8-inch iron pin found -
 Thence South 81°-40'-00" East through said Lot for a distance of 137.78 feet to a 5/8-inch iron pin found on the east line of said Lot -
 Thence South 06°-05'-19" East on and along the east line of said Lot for a distance of 242.00 feet to the **place of beginning**.
Containing in all 49,766 square feet or 1.142 acres of land.

Dedicator's Land contains in all a total of 3.207 acres subject, however, to all legal easements and rights of way.
 (1.461 acres in Lot 29710
 0.202 acres in Part of Lot 29708 - Part I
 0.402 acres in Part of Lot 29708 - Part 2
 1.142 acres in Part of Lot 29709
 3.207 acres)

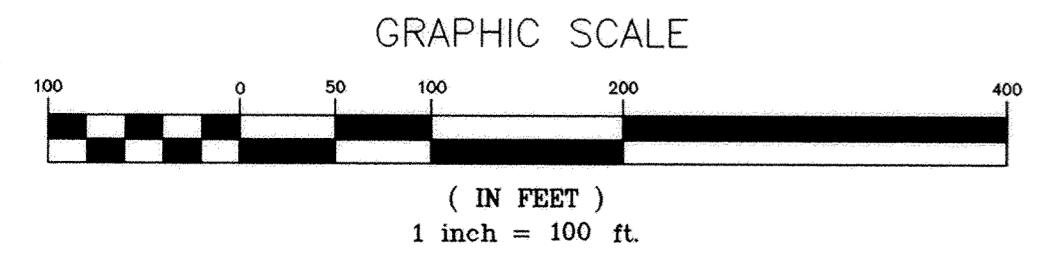
The foregoing description is based on office records of previous surveys and a current field survey completed in January 2004, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

NOTES: 1. Bearings are based on the west line of the Jeff Ciminillo Subdivision Replat as being North 00°-09'-37" East.
 2. All iron pins found or set are 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.



(A)	(B)	(C)	(D)	(E)	(F)
N 52°35'49" E 13.40'	N 74°13'24" W 14.07'	N 37°01'48" W 29.23'	N 88°18'20" E 92.80'	N 00°00'06" E 78.08'	N 52°31'54" W 25.97'
(G)	(H)	(I)	(J)	(K)	(L)
N 08°20'23" E 45.68'	N 58°23'25" E 25.03'	N 08°41'11" E 23.48'	S 00°38'17" W 5.12'	S 89°41'59" E 11.98'	S 06°29'02" E 182.59'

CURVE TABLE						
STREET	CURVE	LENGTH	RADIUS	TANGENT	BEARING	DELTA
WESTERLY DR	C1	87.36	99.36	46.73	N 25°49'40" E	84.57
	C2	84.57	80.00	46.72	N 39°21'21" E	80.69
VERA WAY	C3	93.99	61.00	59.20	S 03°33'18" E	84.96
	C4	35.74	61.00	18.40	N 64°28'51" E	35.23
	C5	35.18	25.00	21.21	N 40°57'08" E	32.35
	C6	42.45	25.00	28.40	N 48°00'18" W	37.53
	C7	64.82	50.00	37.87	S 46°12'39" W	60.38
	C8	36.09	25.00	22.01	N 41°59'42" E	33.04
	C9	39.06	110.00	19.74	N 73°10'49" E	38.85
	C10	82.95	110.00	43.56	N 41°24'23" E	80.99
	C11	20.61	110.00	10.33	N 14°26'13" E	20.58
	C12	43.79	61.00	22.89	N 20°33'53" E	42.85
	C13	28.63	61.00	14.59	S 54°34'37" W	28.37
	C14	43.35	61.00	22.64	S 88°23'06" W	42.45
	C15	32.65	61.00	16.73	N 55°55'11" E	32.26



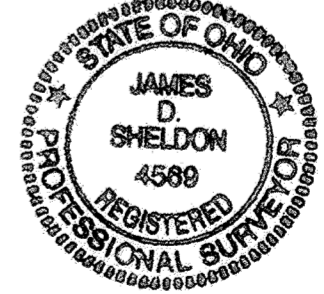
LEGEND

- BRONZE SURVEYORS MARKER
- 5/8" IRON PIN FOUND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- 5/8" IRON PIN SET & CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- CONCRETE MONUMENT SET
- CONCRETE MONUMENT FOUND
- 5/8" IRON PIN FOUND (NO CAP)
- ▨ PHASE I VILLA COMMUNITY AT THE OUTER BANKS (0.784 ACRES)
- ▨ PHASE II VILLA COMMUNITY AT THE OUTER BANKS (0.756 ACRES COMBINED)
- ▨ PHASE III VILLA COMMUNITY AT THE OUTER BANKS (0.227 ACRES)
- ▨ PHASE IV VILLA COMMUNITY AT THE OUTER BANKS (1.523 ACRES)
- ▨ PHASE V VILLA COMMUNITY AT THE OUTER BANKS (0.385 ACRES)
- ▨ PHASE VI VILLA COMMUNITY AT THE OUTER BANKS (0.488 ACRES)
- ▨ PHASE VII VILLA COMMUNITY AT THE OUTER BANKS (0.658 ACRES)
- EXPANDABLE AREA (3.207 ACRES)

OWNER'S DEDICATION AND ACKNOWLEDGMENT
 THE UNDERSIGNED, BEING THE OWNER OF THE LAND PLATTED HEREIN, DOES HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT.
 Date **13 JAN 05**
 Charlotte A. Bellman, WITNESS
 R. MICHAEL ALEXANDER, PRESIDENT
 BBA BUILDERS, INC.

ACKNOWLEDGMENT
 STATE OF OHIO SS:
 COUNTY OF ALLEN
 BE IT REMEMBERED THAT ON THIS **14th** DAY OF **Jan.**, 2005 PERSONALLY CAME THE SAID **R. Michael Alexander** TO ME KNOWN, WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE THEIR VOLUNTARY ACT AND DEED.
 Charlotte A. Bellman

CHARLOTTE A. BELLMAN
 Notary Public, State of Ohio
 My Commission Expires
 October 20, 2009



James D. Sheldon
 James D. Sheldon, P.E., P.S.
 Registered Surveyor #4569

REVIEWED BY:
M. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEERS
 DATE: **1/13/05**

SHEET 4 OF 4
 SHELDON ENGINEERING & SURVEYING, INC.

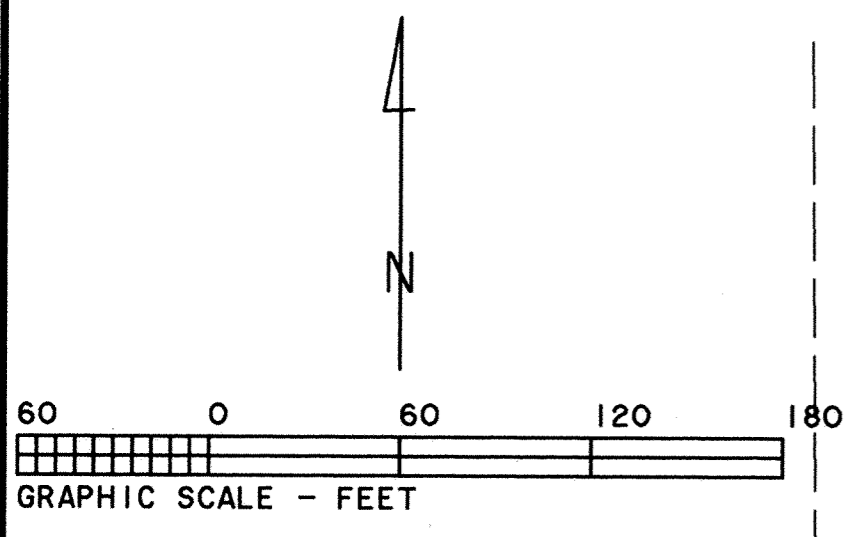
12-30-2004	DATE	JOB NO.	22201G
JDS	WSD	SCALE	1" = 100'
JDS	JDS		

SPRINGBROOK GREENS CONDOMINIUMS NO. 12

Part of the NW 1/4 of Section 7, T3S, R7E, Bath Twp., Allen Co., Oh.

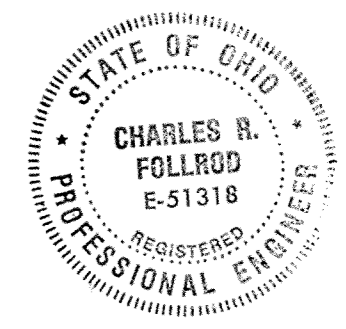
R. J. Stone Development Group, Inc.
D.B. 875 Pg. 350

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	60.00'	93.44'	89° 13' 31"	84.28'	N 44° 06' 11" E
C-2	100.00'	87.87'	50° 20' 50"	85.07'	N 24° 39' 51" E
C-3	75.00'	50.89'	38° 52' 41"	49.92'	N 69° 16' 37" E
C-4	40.00'	63.37'	90° 46' 29"	56.95'	S 45° 53' 48" E
C-5	75.00'	52.36'	40° 00' 00"	51.30'	S 20° 30' 34" E
C-6	100.00'	69.81'	40° 00' 00"	68.40'	S 20° 30' 34" E



- Limited Common Area
- Expandable Area
- Fnd. P.K. Nail
- Fnd. #5 Rebar
- Fnd. 3/4" Pipe
- Set #5 Rebar
- Set P.K. Nail

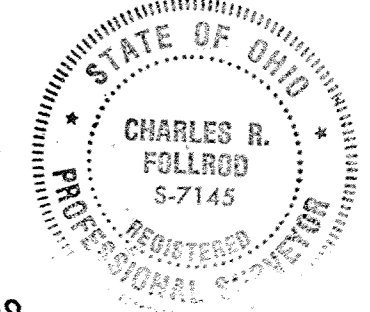
Aubrey G. Stormann
D.B. 612 Pg. 365



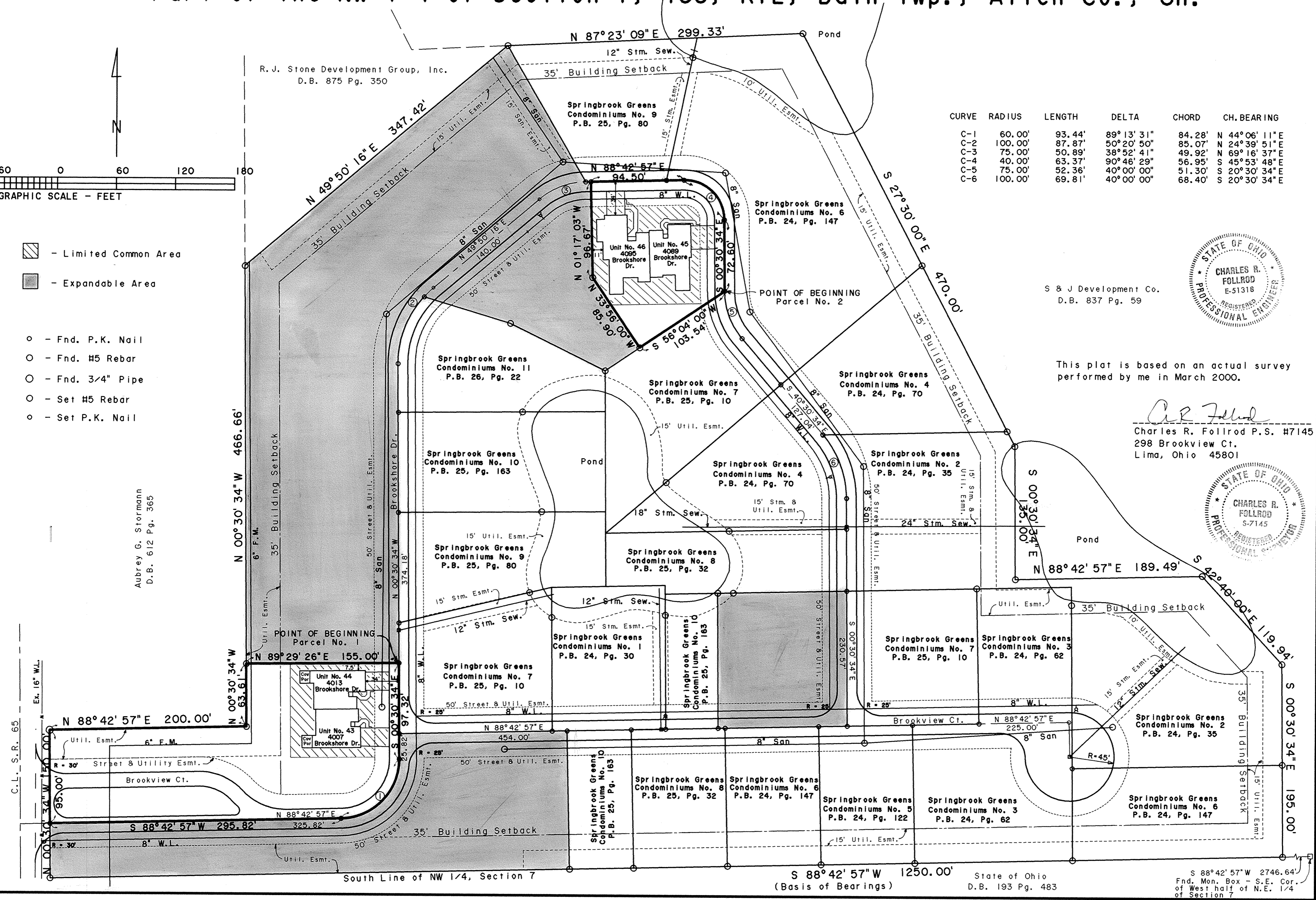
S & J Development Co.
D.B. 837 Pg. 59

This plat is based on an actual survey performed by me in March 2000.

Charles R. Follrod
 Charles R. Follrod P.S. #7145
 298 Brookview Ct.
 Lima, Ohio 45801



C.L. S.R. 65



S 88° 42' 57" W 1250.00'
(Basis of Bearings)

State of Ohio
D.B. 193 Pg. 483

S 88° 42' 57" W 2746.64'
Fnd. Mon. Box - S.E. Cor.
of West half of N.E. 1/4
of Section 7

SPRINGBROOK GREENS CONDOMINIUMS NO. 12

SPRINGBROOK GREENS CONDOMINIUMS NO. 12, consists of a part of the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio.

This set of drawings attached hereto consisting of a Plat Plan of SPRINGBROOK GREENS CONDOMINIUMS NO. 12, one page of descriptions, two pages of floor plans, two pages of elevation views of the buildings and one page showing the survey of the dedicating land, show insofar as graphically possible (1) the particulars of the buildings in the condominiums, including but not limited to the layout, location designation and dimensions of each of the units therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities and the expandable area. The undersigned being a Professional Surveyor and Professional Engineer hereby certify that said drawings show the building as constructed, as graphically possible.

Charles R. Follrod
Professional Surveyor No. 7145
Charles R. Follrod, P.S.
R & A Engineers Inc.

Charles R. Follrod
Professional Engineer No. 51318
Charles R. Follrod, P.E.
R & A Engineers Inc.

No. 200501043
Filed for record this 24th day of January, 2005 at 3:54 o'clock
P.M. in the office of the Allen County Recorder and recorded in Plat Book 26 on Page 130.

Fee: 289.80
Mona S Lash
RECORDER, Allen County, Ohio MH

For DECLARATIONS see Deed Volume 936 Page 490.

DESCRIPTION (Springbrook Greens Condominiums No. 12) Parcel No. 1

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found P.K. nail at the Northwest corner of Springbrook Greens Condominiums No. 7 (Parcel No. 3) as recorded in P.B. 25, Pg. 10 in the Allen County Recorder's Office, thence S00°30'34"E with the west line of said parcel, 40.46' to a set P.K. nail and being the POINT OF BEGINNING, thence the following courses:

1. S00°30'34"E with said west line, 97.32' to a set P.K. nail;
2. Southwesterly on a curve to the right an arc distance of 93.44', said curve having a radius of 60.00', a delta angle of 89°13'31", and an L.C. of S44°06'11"W, 84.28' to a set P.K. nail;
3. S88°42'57"W, 295.82' to a set P.K. nail;
4. N00°30'34"W with the east right-of-way line of S.R. 65, 95.00' to a found 3/4" pipe;
5. N88°42'57"E, 200.00' to a found #5 rebar;
6. N00°30'34"W, 63.61' to a set #5 rebar;
7. N89°29'26"E, 155.00' to the POINT OF BEGINNING.

The above described parcel contains 0.980 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Prior Deedholder: R.J. Stone Development Group, Inc. (D.B. 870 Pg. 624)

Parcel No.: 37-0702-01-019.001

Parcel No. 2

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

BEGINNING at a found P.K. nail at the Northeast corner of Springbrook Greens Condominiums No. 7 (Parcel No. 1) as recorded in P.B. 25, Pg. 10 in the Allen County Recorder's Office, thence the following courses:

1. S56°04'00"W with the north line of said Springbrook Greens Condominiums No. 7 (Parcel No. 1), 103.54' to a set #5 rebar;
2. N33°56'00"W, 85.90' to a set #5 rebar;
3. N01°17'03"W, 96.67' to a set P.K. nail;
4. N88°42'57"E, 94.50' to a found P.K. nail;
5. Southeasterly on a curve to the right an arc distance of 63.37', said curve having a radius of 40.00', a delta angle of 90°46'29", and an L.C. of S45°53'48"E, 56.95' to a found P.K. nail;
6. S00°30'34"E, 72.60' to the POINT OF BEGINNING.

The above described parcel contains 0.417 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Prior Deedholder: R.J. Stone Development Group, Inc. (D.B. 870 Pg. 624)

Parcel No.: 37-0702-01-019.001

DESCRIPTION (Private Street & Utility Easement - Brookview Ct./Brookshore Dr.)

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3996.64' to a found #5 rebar on the right-of-way line of S.R. 65, thence N00°30'34"W with said right-of-way, 30.00' to the POINT OF BEGINNING, thence the following courses:

1. N00°30'34"W with said right-of-way, 90.01';
2. N88°42'57"E, 150.50';
3. Southeasterly on a curve to the right an arc distance of 63.08', said curve having a radius of 75.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 61.24';
4. Southeasterly on a curve to the left an arc distance of 37.85', said curve having a radius of 45.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 36.74';
5. N88°42'57"E, 55.00';
6. Northeasterly on a curve to the left an arc distance of 54.50', said curve having a radius of 35.00', a delta angle of 89°13'31", and an L.C. of N44°06'12"E, 49.16';
7. N00°30'34"W, 400.00';
8. Northeasterly on a curve to the right an arc distance of 109.84', said curve having a radius of 125.00', a delta angle of 50°20'50", and an L.C. of N24°39'51"E, 106.34';
9. N49°50'16"E, 140.00';
10. Northeasterly on a curve to the right an arc distance of 67.86', said curve having a radius of 100.00', a delta angle of 38°52'41", and an L.C. of N69°16'37"E, 66.56';
11. N88°42'57"E, 100.00';
12. Southeasterly on a curve to the right an arc distance of 102.98', said curve having a radius of 65.00', a delta angle of 90°46'29", and an L.C. of S45°53'49"E, 92.54';
13. S00°30'34"E, 72.60';
14. Southeasterly on a curve to the left an arc distance of 34.91', said curve having a radius of 50.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 34.20';
15. S40°30'34"E, 127.04';
16. Southeasterly on a curve to the right an arc distance of 87.27', said curve having a radius of 125.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 85.51';
17. S00°30'34"E, 205.23';
18. S88°42'57"W, 50.00';
19. N00°30'34"W, 205.90';
20. Northwesterly on a curve to the left an arc distance of 52.36', said curve having a radius of 75.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 51.30';
21. N40°30'34"W, 127.04';
22. Northwesterly on a curve to the right an arc distance of 69.81', said curve having a radius of 100.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 68.40';
23. N00°30'34"W, 72.60';
24. Northwesterly on a curve to the left an arc distance of 23.76', said curve having a radius of 15.00', a delta angle of 90°46'29", and an L.C. of N45°53'48"W, 21.36';
25. S88°42'57"W, 100.00';
26. Southwesterly on a curve to the left an arc distance of 33.93', said curve having a radius of 50.00', a delta angle of 38°52'41", and an L.C. of S69°16'36"W, 33.28';
27. S49°50'16"W, 140.00';
28. Southwesterly on a curve to the left an arc distance of 65.90', said curve having a radius of 75.00', a delta angle of 50°20'50", and an L.C. of S24°39'51"W, 63.80';
29. S00°30'34"E, 400.00';
30. Southwesterly on a curve to the right an arc distance of 132.37', said curve having a radius of 85.00', a delta angle of 89°13'31", and an L.C. of S44°06'12"W, 119.39';
31. S88°42'57"W, 296.16' to the POINT OF BEGINNING.

The above described easement contains 2.202 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

DESCRIPTION (Private Street & Utility Easement - Brookview Ct.)

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3616.62' to a point, thence N00°30'34"W, 115.01' to the POINT OF BEGINNING, thence the following courses:

1. N00°30'34"W, 50.00';
2. N88°42'57"E, 653.66';
3. Southwesterly on a curve to the right an arc distance of 292.79', said curve having a radius of 60.00', a delta angle of 279°35'39" and an L.C. of S48°30'46"W, 77.46';
4. S88°42'57"W, 595.17' to the POINT OF BEGINNING.

The above described easement contains 0.959 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Total Private Street & Utility Easement = 3.161 acres

DESCRIPTION (Springbrook Greens Condominiums No. 12 Dedicating's Land)

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 2746.64' to a found #5 rebar and being the POINT OF BEGINNING, thence the following courses:

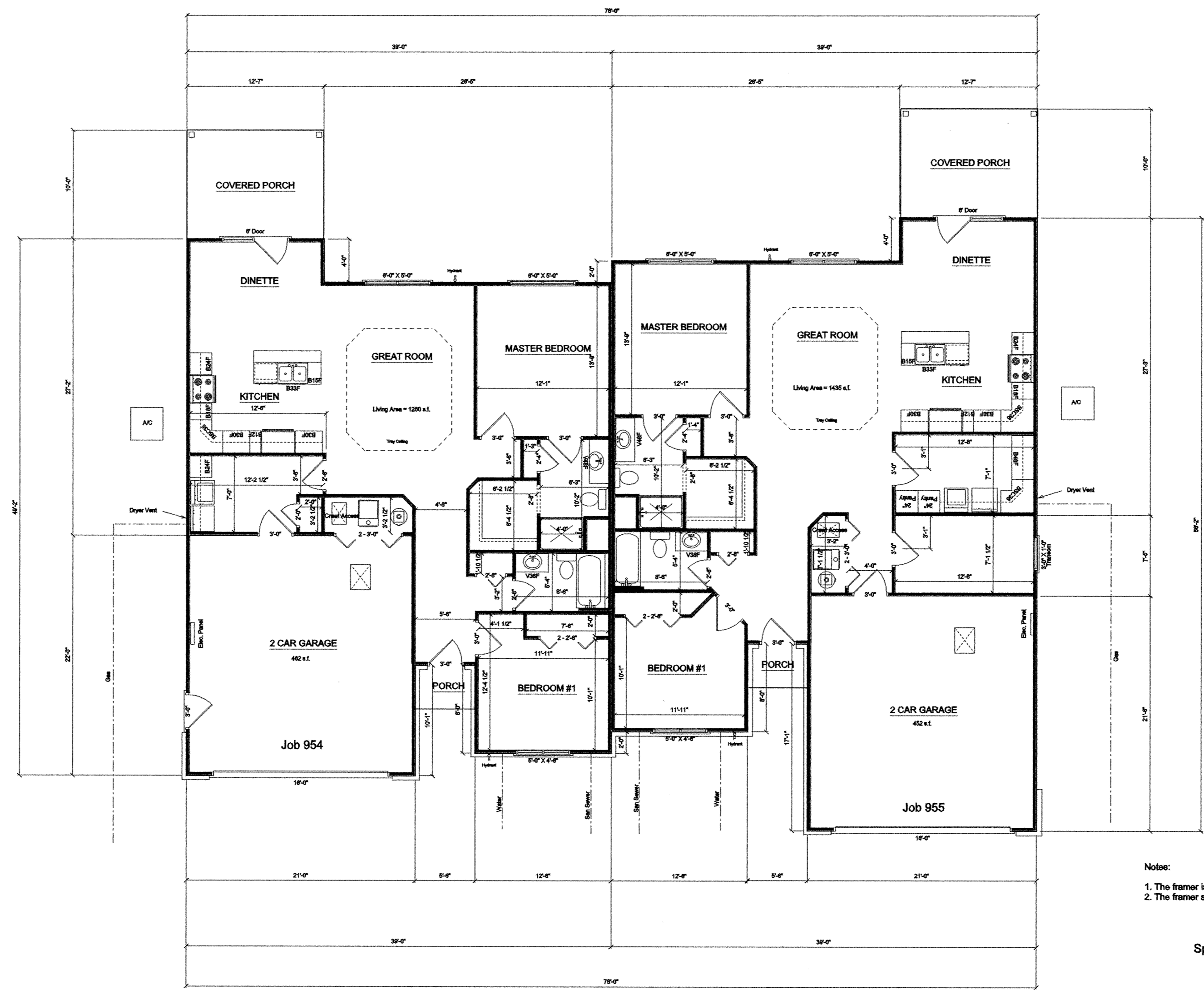
1. S88°42'57"W with the south line of the NW 1/4 of Section 7, 1250.00' to a found #5 rebar on the right-of-way line of S.R. 65, passing over a found #5 rebar at 1200.00' also on the right-of-way line of S.R. 65;
2. N00°30'34"W with the right-of-way line of S.R. 65, 150.00' to a found 3/4" pipe;
3. N88°42'57"E, 200.00' to a found #5 rebar;
4. N00°30'34"W, 466.66' to a found #5 rebar;
5. N49°50'16"E, 347.42' to a found #5 rebar;
6. N87°23'09"E, 299.33' to a found #5 rebar;
7. S27°30'00"E, 470.00' to a found #5 rebar;
8. S00°30'34"E, 135.00' to a found #5 rebar;
9. N88°42'57"E, 189.49' to a found #5 rebar;
10. S42°40'00"E, 119.94' to a found #5 rebar;
11. S00°30'34"E, 195.00' to the POINT OF BEGINNING.

The above described parcel contains 15.673 acres more or less, subject to all legal highways and easements of record.

- SAVE AND EXCEPT**
- (Springbrook Greens Condominiums No. 1 - Acreage = 0.383 ac.)
(For Description - See P.B. 24, Pg. 30)
 - (Springbrook Greens Condominiums No. 2 - Acreage = 1.502 ac.)
(For Description - See P.B. 24, Pg. 35)
 - (Springbrook Greens Condominiums No. 3 - Acreage = 0.814 ac.)
(For Description - See P.B. 24, Pg. 62)
 - (Springbrook Greens Condominiums No. 4 - Acreage = 0.965 ac.)
(For Description - See P.B. 24, Pg. 70)
 - (Springbrook Greens Condominiums No. 5 - Acreage = 0.305 ac.)
(For Description - See P.B. 24, Pg. 122)
 - (Springbrook Greens Condominiums No. 6 - Acreage = 1.972 ac.)
(For Description - See P.B. 24, Pg. 147)
 - (Springbrook Greens Condominiums No. 7 - Acreage = 1.377 ac.)
(For Description - See P.B. 25, Pg. 10)
 - (Springbrook Greens Condominiums No. 8 - Acreage = 0.646 ac.)
(For Description - See P.B. 25, Pg. 32)
 - (Springbrook Greens Condominiums No. 9 - Acreage = 0.880 ac.)
(For Description - See P.B. 25, Pg. 80)
 - (Springbrook Greens Condominiums No. 10 - Acreage = 0.862 ac.)
(For Description - See P.B. 25, Pg. 163)
 - (Springbrook Greens Condominiums No. 11 - Acreage = 0.410 ac.)
(For Description - See P.B. 26, Pg. 22)

The total dedicating's land contains 5.557 acres more or less subject to all legal highways and easements of record.

REVIEWED BY:
M. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEERS
DATE: 1/24/05

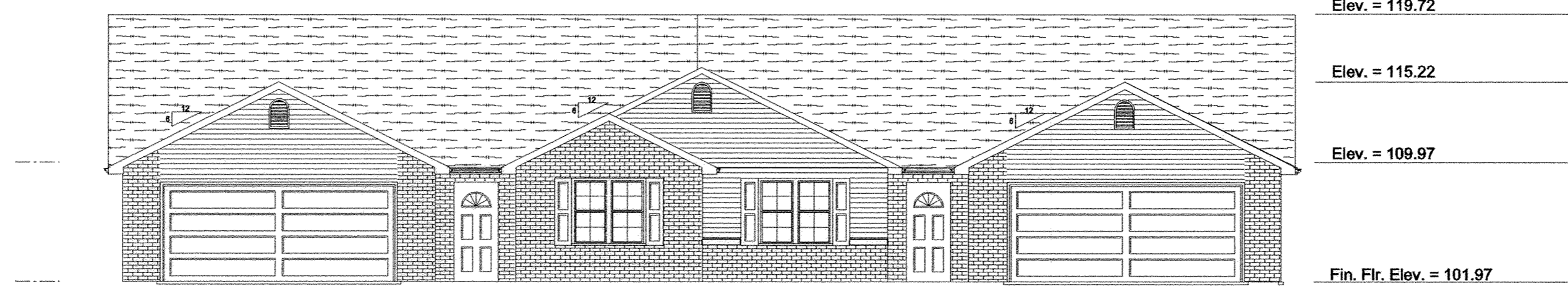


Unit No. 43
4007 Brookshore Dr.

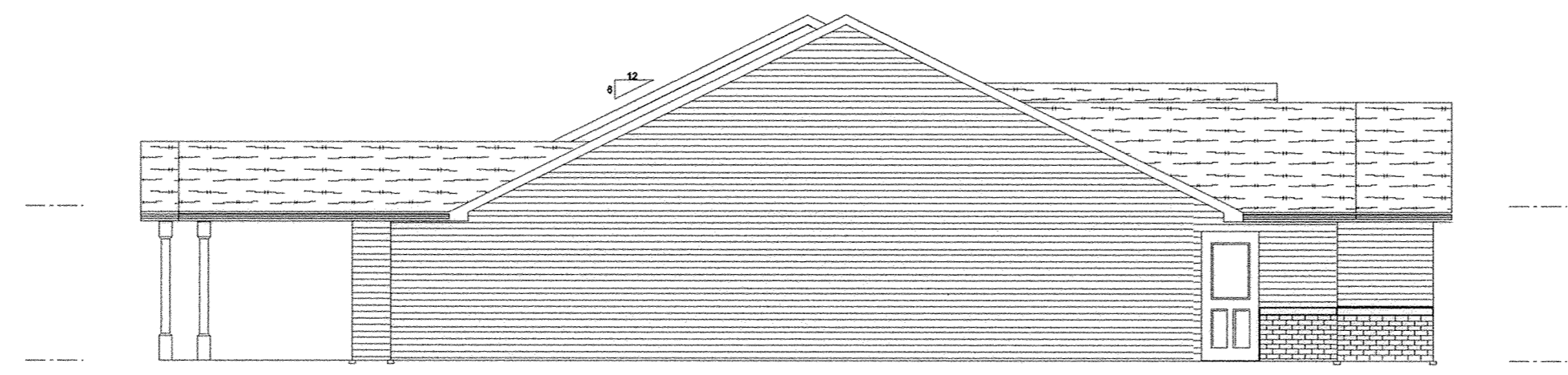
Unit No. 44
4013 Brookshore Dr.

- Notes:
1. The framer is to install cabinet blocking.
 2. The framer shall install sheathing in the attic above garage.

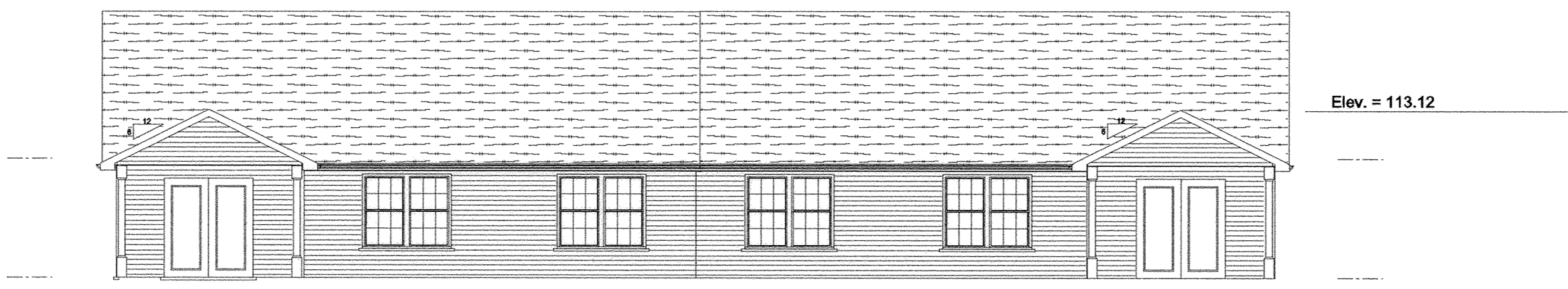
Springbrook Greens Condominiums
Job 954/955
SCALE: 1/8" = 1'-0"
92404



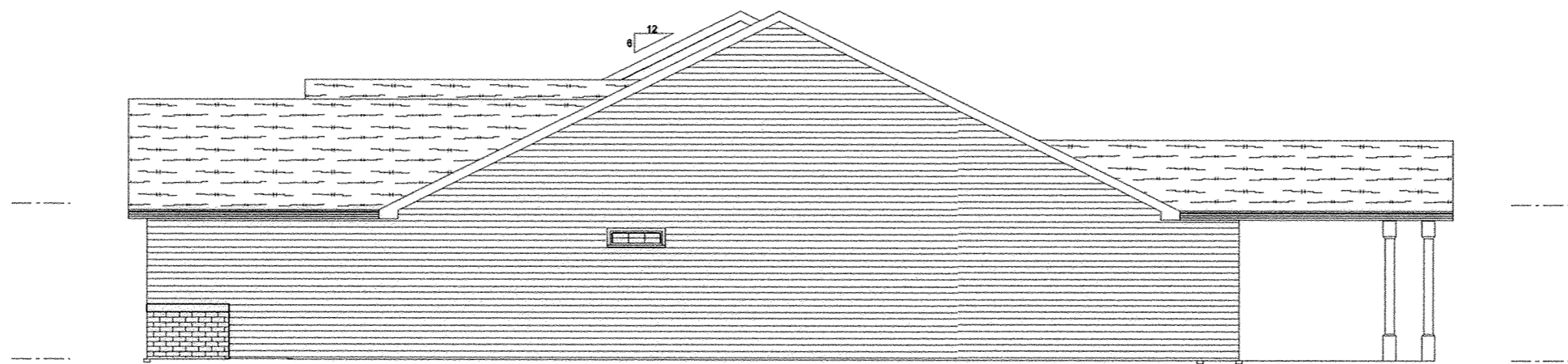
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION

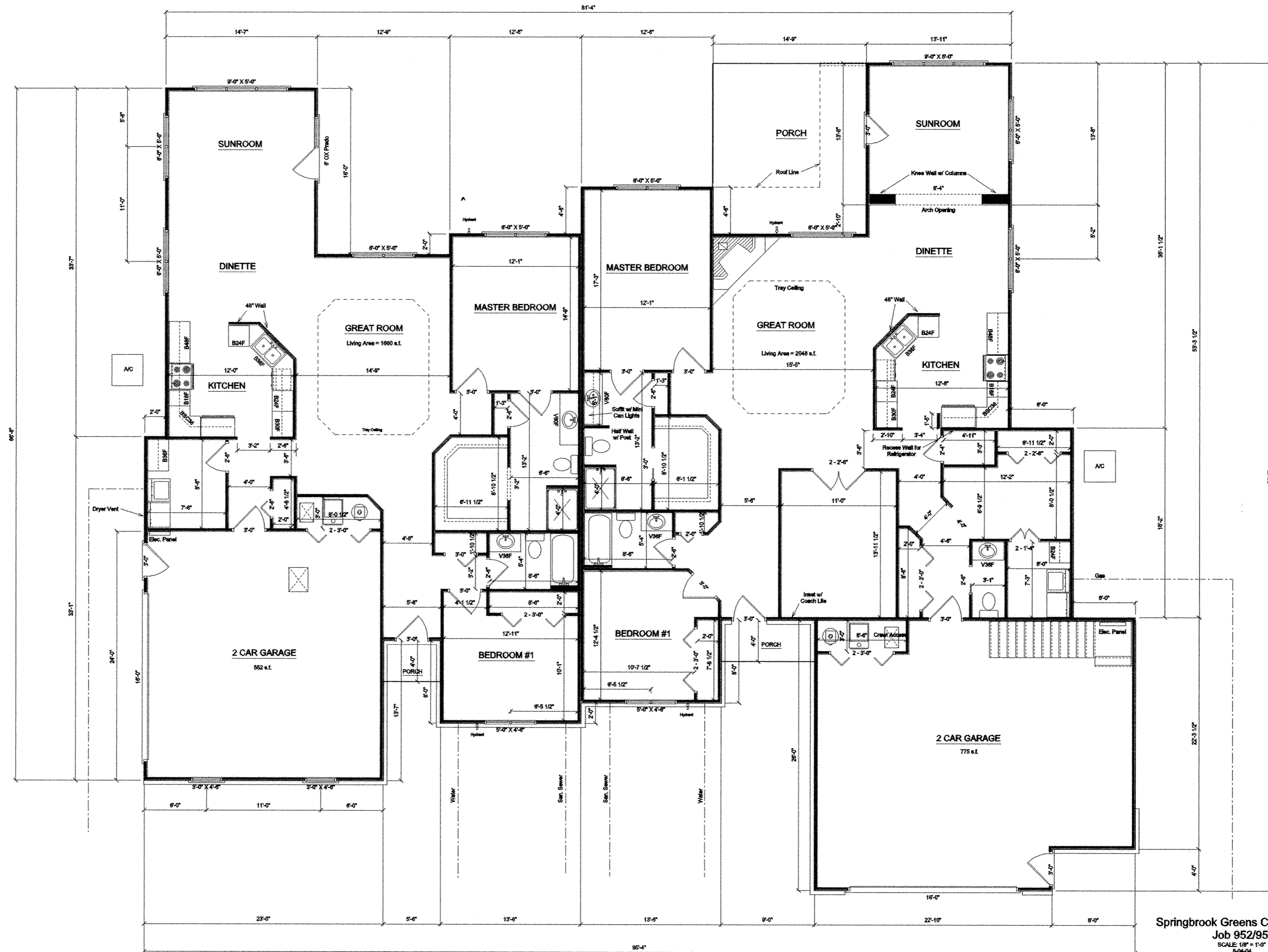


RIGHT ELEVATION

B.M. - Top of Steamer Nozzle on Fire Hydrant Located in Front of 4032 Brookshore Dr. Elev. = 100.00

Unit Nos. 43 & 44
4007 - 4013 Brookshore Dr.

Springbrook Greens Condominiums
Job 954/955
SCALE: 1/8" = 1'-0"
8-20-04



Unit No. 45
4089 Brookshore Dr.

Unit No. 46
4095 Brookshore Dr.

Springbrook Greens Condominiums
Job 952/953
SCALE: 1/8" = 1'-0"
8-04-04

Elev. = 119.32



FRONT ELEVATION

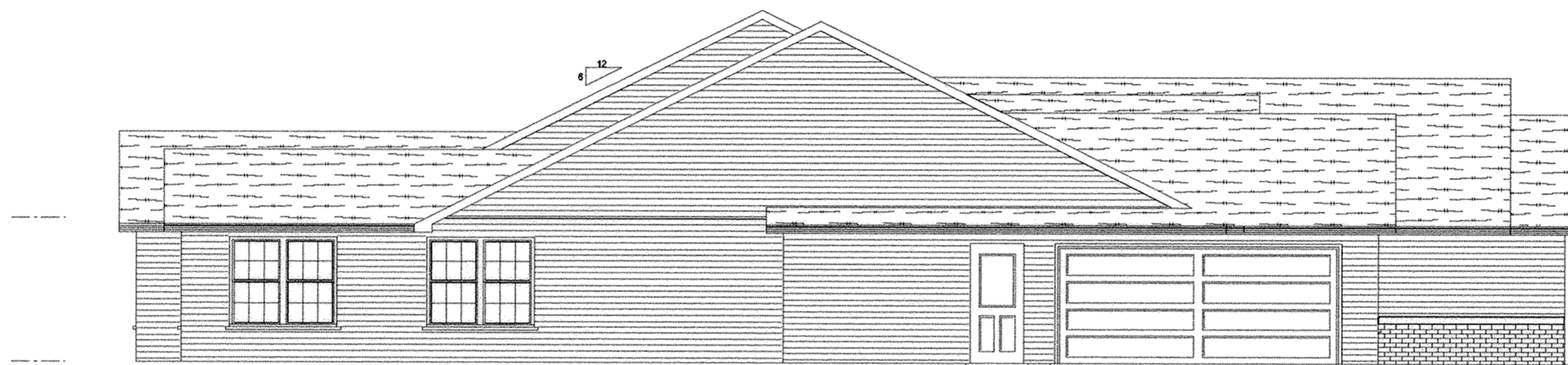
Elev. = 119.95

Elev. = 116.76

Elev. = 114.76

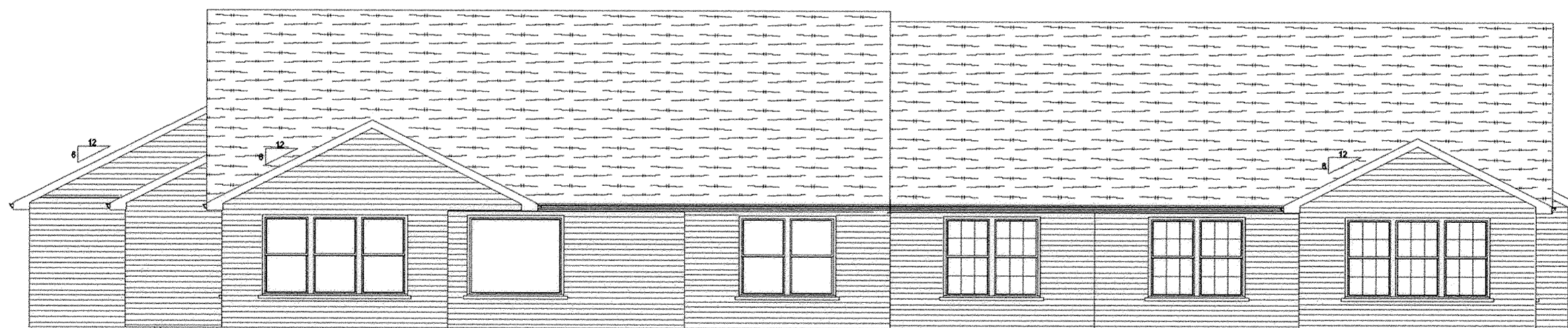
Elev. = 109.05

Fin. Flr. Elev. = 101.05



LEFT ELEVATION

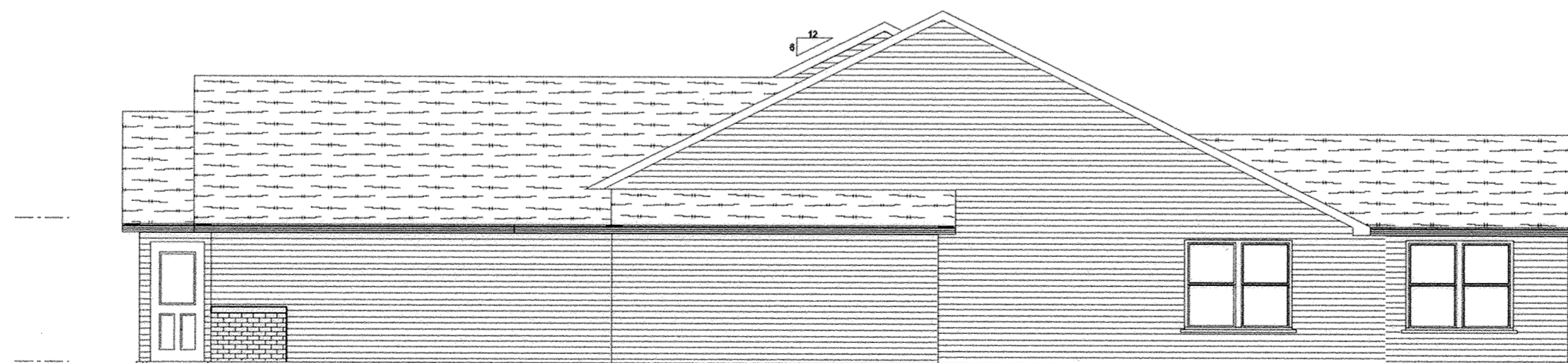
Elev. = 113.68



REAR ELEVATION

Elev. = 112.70

B.M. - Top of Steamer Nozzle on Fire Hydrant Located just West of 4095 Brookshore Dr. Elev. = 100.00



RIGHT ELEVATION

Unit Nos. 45 & 46
4089 - 4095 Brookshore Dr.

SPRINGBROOK GREENS CONDOMINIUMS NO. 12

Survey of Dedicator's Land

R.J. Stone Development Group, Inc.
D.B. 875 Pg. 350

Springbrook Greens Condominiums No. 9
P.B. 25, Pg 80

Springbrook Greens Condominiums No. 6
P.B. 24, Pg. 147

Springbrook Greens Condominiums No. 12
Parcel No. 2
(For Descrip. See Sht. 2)

Springbrook Greens Condominiums No. 11
P.B. 26, Pg. 22

Springbrook Greens Condominiums No. 7
P.B. 25 Pg. 10

Springbrook Greens Condominiums No. 10
P.B. 25, Pg. 163

Springbrook Greens Condominiums No. 4
P.B. 24, Pg. 70

Springbrook Greens Condominiums No. 2
P.B. 24, Pg. 35

Springbrook Greens Condominiums No. 9
P.B. 25, Pg 80

Springbrook Greens Condominiums No. 8
P.B. 25, Pg. 32

Springbrook Greens Condominiums No. 1
P.B. 24, Pg. 30

Springbrook Greens Condominiums No. 10
P.B. 25, Pg. 163

Springbrook Greens Condominiums No. 7
P.B. 25 Pg. 10

Springbrook Greens Condominiums No. 12
Parcel No. 1
(For Descrip. See Sht. 2)

Springbrook Greens Condominiums No. 7
P.B. 25 Pg. 10

Springbrook Greens Condominiums No. 2
P.B. 24, Pg. 35

Springbrook Greens Condominiums No. 10
P.B. 25, Pg. 163

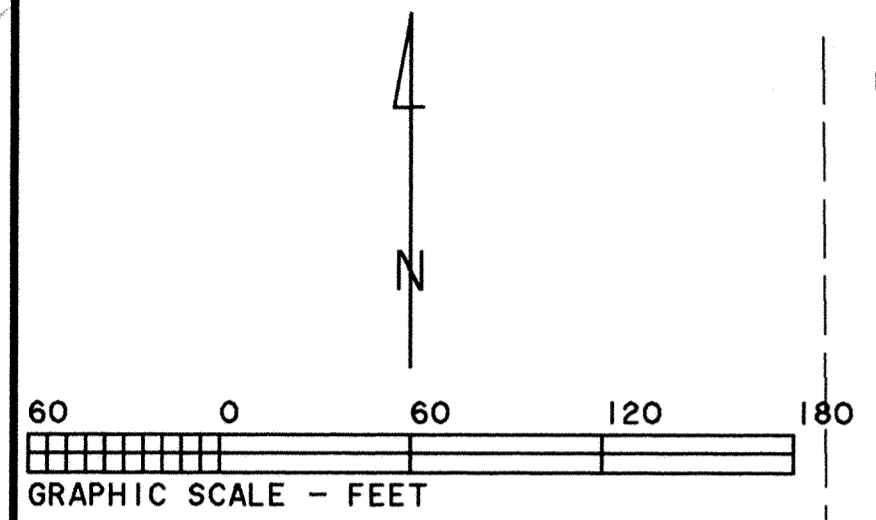
Springbrook Greens Condominiums No. 8
P.B. 25, Pg. 32

Springbrook Greens Condominiums No. 6
P.B. 24, Pg. 147

Springbrook Greens Condominiums No. 5
P.B. 24, Pg. 122

Springbrook Greens Condominiums No. 3
P.B. 24 Pg. 62

Springbrook Greens Condominiums No. 6
P.B. 24, Pg. 147



- - Fnd. P.K. Nail
- - Fnd. #5 Rebar
- - Fnd. 3/4" Pipe
- - Set #5 Rebar
- - Set P.K. Nail

Aubrey G. Stormann
D.B. 612 Pg. 365

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	75.00'	63.08'	48° 11' 23"	61.24'	S 67° 11' 22" E
C-2	45.00'	37.85'	48° 11' 23"	36.74'	S 67° 11' 22" E
C-3	35.00'	54.50'	89° 13' 31"	49.16'	N 44° 06' 12" E
C-4	125.00'	109.84'	50° 20' 50"	106.34'	N 24° 39' 51" E
C-5	100.00'	67.86'	38° 52' 41"	66.56'	N 69° 16' 37" E
C-6	65.00'	102.98'	90° 46' 29"	92.54'	S 45° 53' 49" E
C-7	50.00'	34.91'	40° 00' 00"	34.20'	S 20° 30' 34" E
C-8	125.00'	87.27'	40° 00' 00"	85.51'	S 20° 30' 34" E
C-9	75.00'	52.36'	40° 00' 00"	51.30'	N 20° 30' 34" W
C-10	100.00'	69.81'	40° 00' 00"	68.40'	N 20° 30' 34" W
C-11	15.00'	23.76'	90° 46' 29"	21.36'	N 45° 53' 48" W
C-12	50.00'	33.93'	38° 52' 41"	33.28'	S 69° 16' 36" W
C-13	75.00'	65.90'	50° 20' 50"	63.80'	S 24° 39' 51" W
C-14	85.00'	132.37'	89° 13' 31"	119.39'	S 44° 06' 12" W
C-15	60.00'	292.79'	279° 35' 39"	77.46'	S 48° 30' 46" W

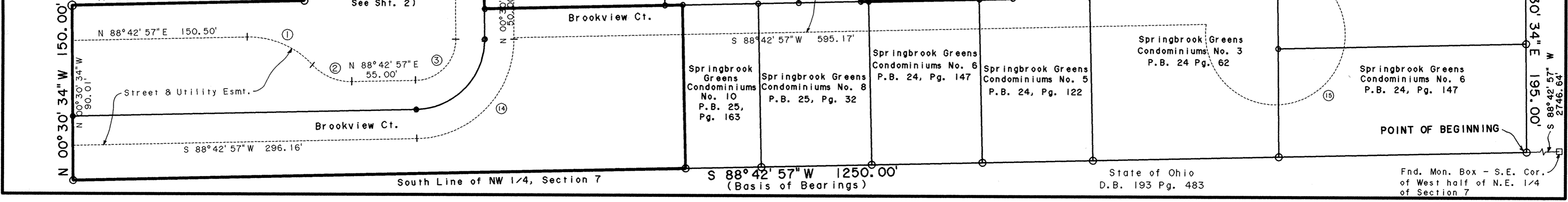
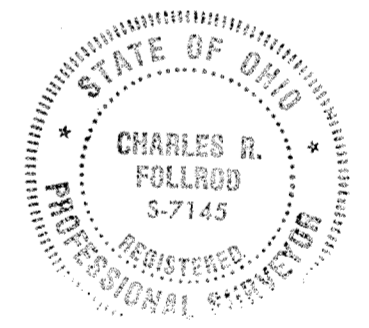
For Dedicator's Land and Street 8
Utility Easement Description -
See Sheet No. 2

S & J Development Co.
D.B. 837 Pg. 59

This plat is based on an actual survey
performed by me in March 2000.

Charles R. Follrod

Charles R. Follrod P.S. H7145
298 Brookview Ct.
Lima, Ohio 45801

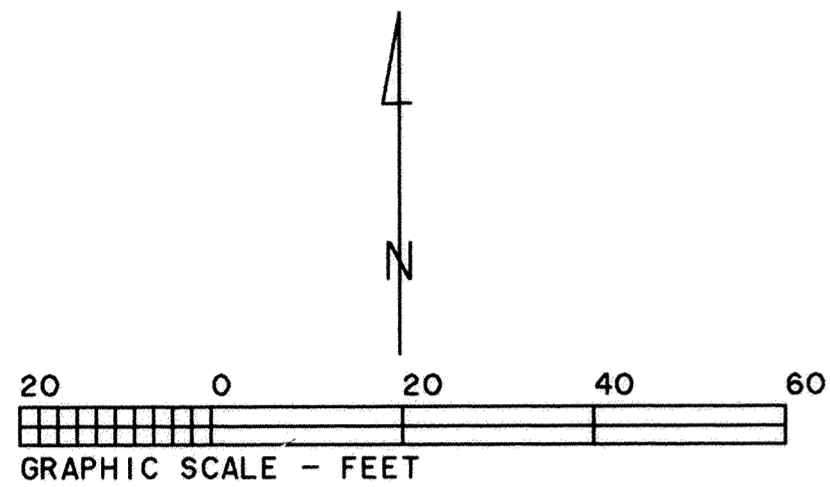


State of Ohio
D.B. 193 Pg. 483

Fnd. Mon. Box - S.E. Cor.
of West half of N.E. 1/4
of Section 7

BROOKHAVEN CONDOMINIUM NO. 40

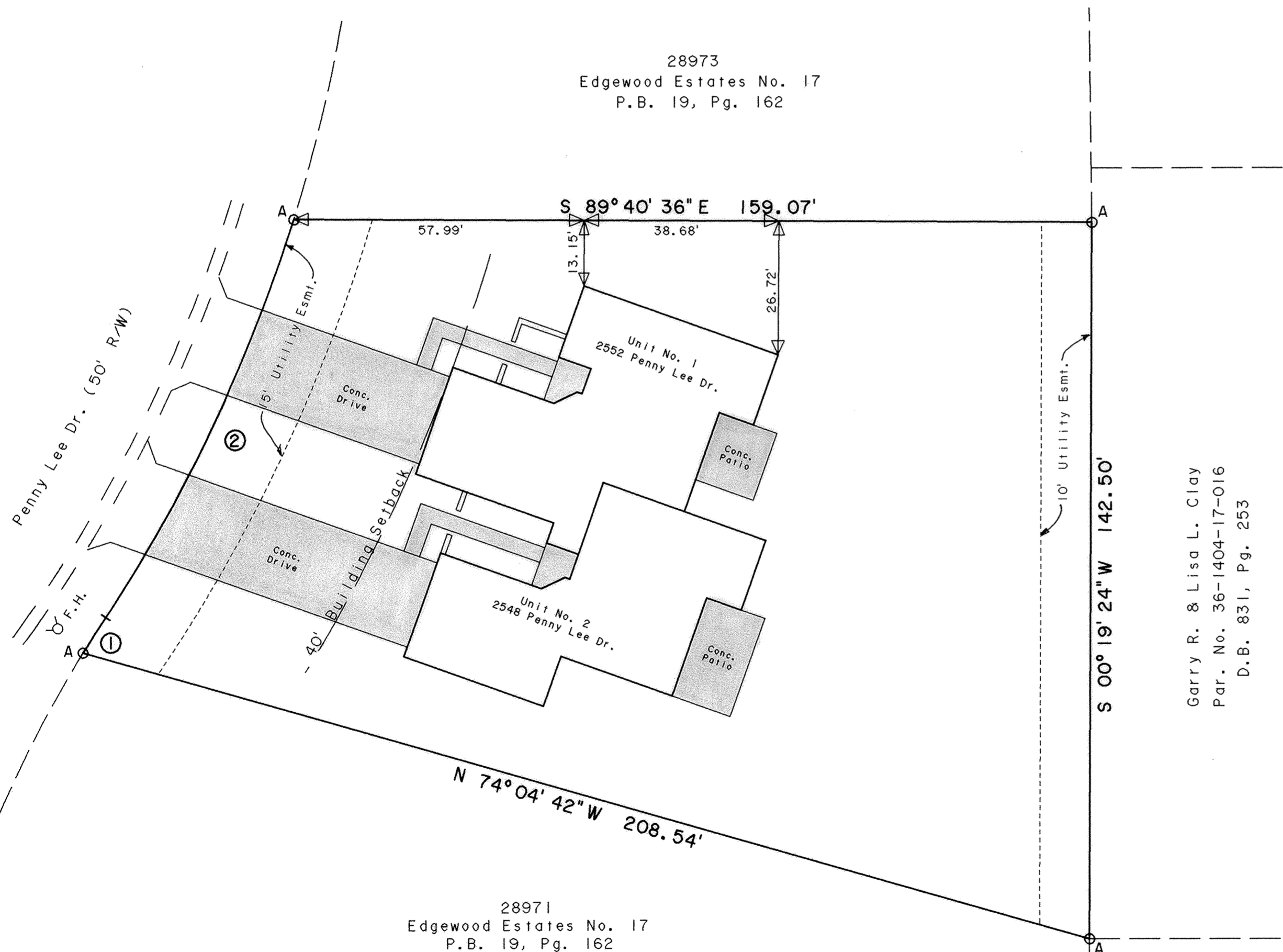
LOT NO. 28972 EDGEWOOD ESTATES NO. 17



BROOKHAVEN CONDOMINIUM NO. 40 consists of Lot No. 28972 in Edgewood Estates No. 17 as recorded in Plat Book 19, Page 162 in the Allen County Recorder's Office, Allen County, Ohio.

This set of drawings attached hereto consisting of a Plat Plan of **BROOKHAVEN CONDOMINIUM NO. 40**, one page of floor plan, one page of elevation views of the buildings and one page showing the survey of the dedicator's land, show insofar as graphically possible (1) the particulars of the buildings in the condominiums, including but not limited to the layout, location designation and dimensions of each of the units therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities. The undersigned being a Professional Surveyor and Professional Engineer hereby certify that said drawings show the building as constructed, as graphically possible.

28973
Edgewood Estates No. 17
P.B. 19, Pg. 162



28971
Edgewood Estates No. 17
P.B. 19, Pg. 162

Charles R. Follrod
Professional Surveyor No. 7145
Charles R. Follrod, P.S.
R & A Engineers Inc.

Charles R. Follrod
Professional Engineer No. 51318
Charles R. Follrod, P.E.
R & A Engineers Inc.

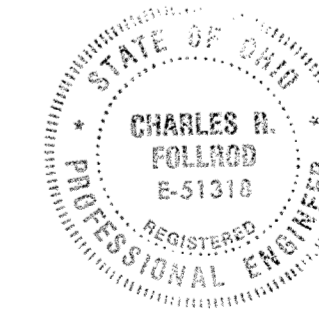
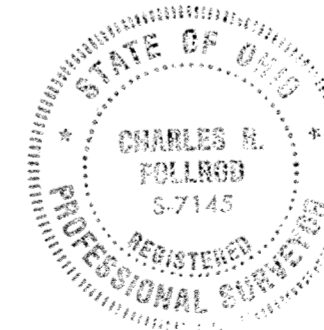
No. 200501345
Filed for record this 31st day of January, 2005 at
9:09 o'clock A.M. in the office of the Allen County Recorder and
recorded in Plat Book 24 on Page 137.

Fee: \$ 145.60

Mona S. Lusk
RECORDER, Allen County, Ohio *ML*

For DECLARATIONS see Deed Volume 936 Page 659.

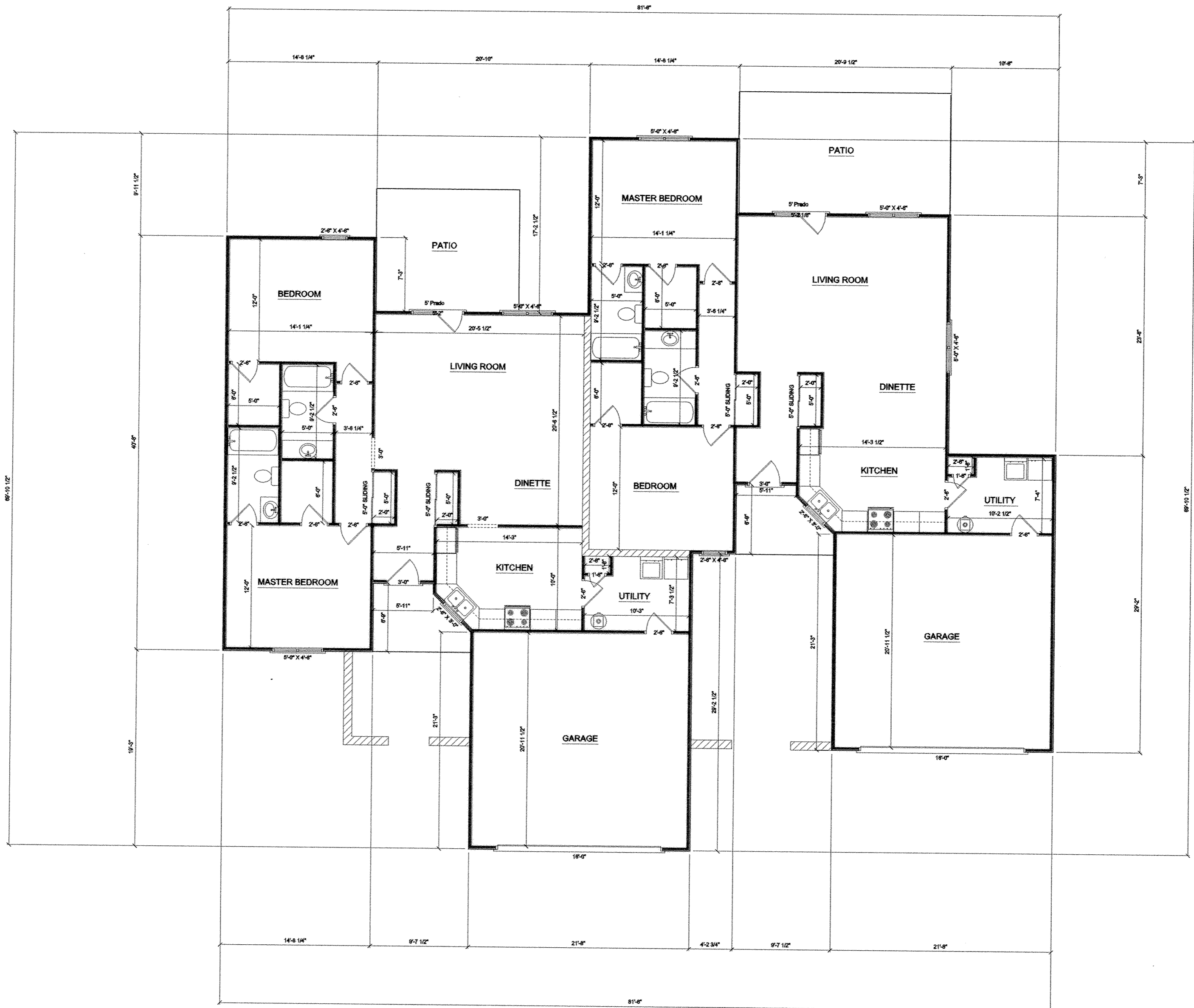
Garry R. & Lisa L. Clay
Par. No. 36-1404-17-016
D.B. 831, Pg. 253



A - Found #5 Rebar

■ - Limited Common Area

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	265.00'	8.40'	1° 48' 57"	8.40'	N 32° 36' 01" E
C-2	315.00'	87.94'	15° 59' 47"	87.66'	N 25° 30' 35" E



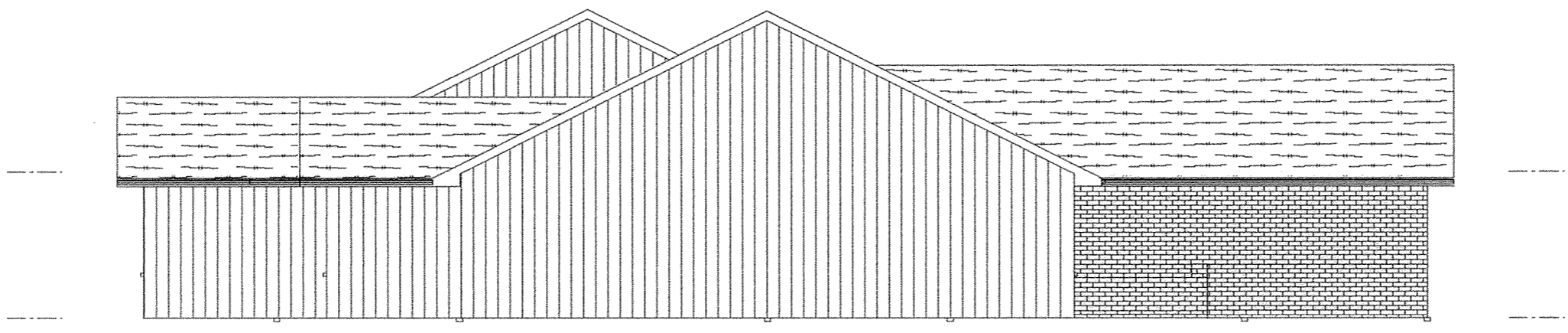
Unit No. 1
2552 Penny Lee Dr.

Unit No. 2
2548 Penny Lee Dr.

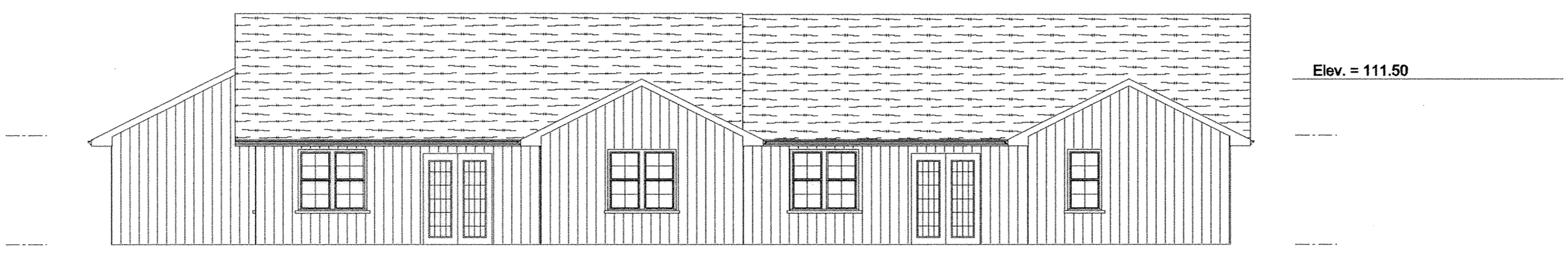
SCALE: 1/8" = 1'-0"



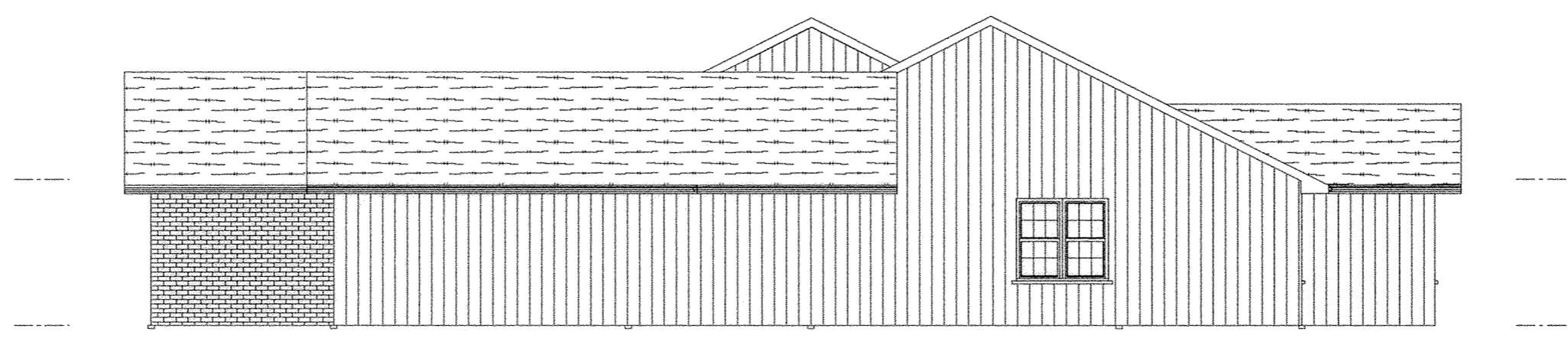
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

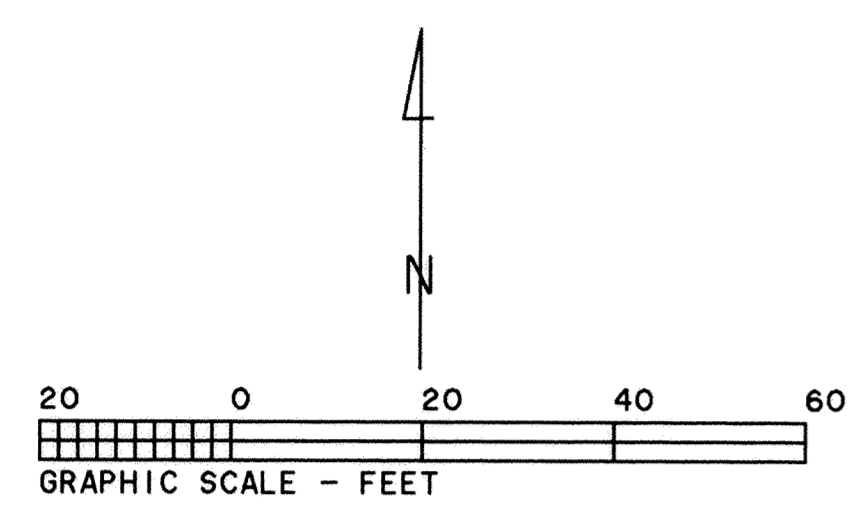
B.M. - Top of Steamer Nozzle on Fire Hydrant Located in Front of 2548 Penny Lee Dr. Elev. = 100.00

2548 - 2552 Penny Lee Dr.

SCALE: 1/8" = 1'-0"

BROOKHAVEN CONDOMINIUM NO. 40

SURVEY OF DEDICATOR'S LAND



28973
Edgewood Estates No. 17
P.B. 19, Pg. 162

S 89° 40' 36" E 159.07'

Penny Lee Dr. (50' R/W)

15' Utility Esmt.

40' Building Setback

10' Utility Esmt.

S 00° 19' 24" W 142.50'

N 74° 04' 42" W 208.54'

28971
Edgewood Estates No. 17
P.B. 19, Pg. 162

DESCRIPTION

Being all of Lot No. 28972 in Edgewood Estates No. 17 in the SE 1/4 of Section 14, T3S, R6E, American Township, Allen County, Ohio as shown on the recorded plat in Plat Book 19, Page 162 in the Allen County Recorder's Office.

Garry R. & Lisa L. Clay
Par. No. 36-1404-17-016
D.B. 831, Pg. 253

REVIEWED BY:
M. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEERS
DATE: 1/24/05

A - Found #5 Rebar

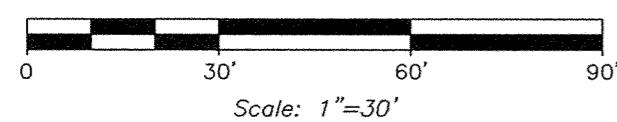
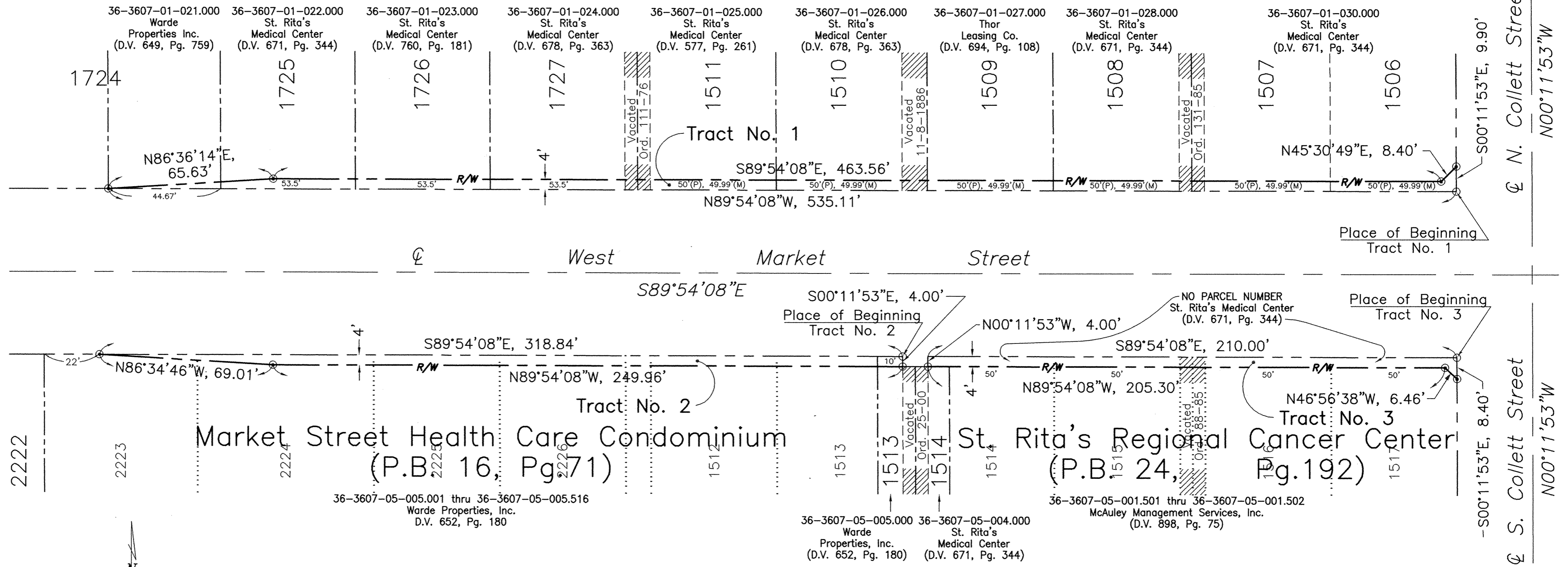
CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	265.00'	8.40'	1° 48' 57"	8.40'	N 32° 36' 01" E
C-2	315.00'	87.94'	15° 59' 47"	87.66'	N 25° 30' 35" E

DEDICATION OF ADDITIONAL RIGHT-OF-WAY

WEST MARKET STREET

CITY OF LIMA, ALLEN COUNTY, OHIO

DEDICATION PLAT



LEGEND

- ⊙ 5/8" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "CITY OF LIMA/P.S. 7365"
- PK NAIL SET

Tract No.	Parcel No.	SF	Ac.	
Tract No. 1	36-3607-01-021.000	60.90	0.001	
	36-3607-01-022.000	200.72	0.005	
	36-3607-01-023.000	214.00	0.005	
	36-3607-01-024.000	234.00	0.005	
	36-3607-01-025.000	219.96	0.005	
	36-3607-01-026.000	239.96	0.006	
	36-3607-01-027.000	219.96	0.005	
	36-3607-01-028.000	219.96	0.005	
36-3607-01-030.000	437.66	0.010		
Total	2027.12	SF	0.047	
Tract No. 2	36-3607-05-005.000	40.00	0.001	
	36-3607-05-005.501 thru 36-3607-05-005.516	1097.60	0.025	
	Total	1137.60	SF	0.026
Tract No. 3	NO PARCEL NUMBER	850.34	SF	0.0194

TRACT NO. 1

Being part of Lots 1724, 1725, 1726 and 1727 in Jameson's 2nd Addition (P.B. 2, Pg. 180), part of Lots 1506, 1507, 1508, 1509, 1510 and 1511 in Blackburn's Addition (P.B. 2, Pg. 152), part of a ten foot wide alley between Lots 1727 and 1511, said alley vacated 8-2-1976 by Ordinance 111-76 (Deed Vol. 581, Page 527), part of a ten foot wide alley between Lots 1509 and 1510, said alley vacated 11-8-1886 by an unnumbered Ordinance (City Council Vol. 4, Page 39) and part of a ten foot wide alley between Lots 1507 and 1508, said alley vacated 7-15-1985 by Ordinance 131-85 (Deed Vol. 674, Page 773), situated in the City of Lima, Allen County, Ohio and more particularly described as follows:

Beginning at a PK Nail set at the southeast corner of Lot 1506 (also being the northwest corner of the intersection of W. Market St. and N. Collett St.); thence N89°54'08"W with the north right-of-way line of W. Market St., also being the south line of Lots 1506 and 1507, said vacated alley between Lots 1507 and 1508, Lots 1508 and 1509, said vacated alley between Lots 1509 and 1510, Lots 1510 and 1511, said vacated alley between Lots 1511 and 1727 and Lots 1727, 1726, 1725, and 1724, 535.11 feet to an iron pin set 44.67 feet west of the southeast corner of Lot 1724; thence N86°36'14"E, 65.63 feet to an iron pin set 4.00 feet north of the north right-of-way line of W. Market St.; thence S89°54'08"E parallel with and 4.00 feet north of the north right-of-way line of W. Market St., 463.56 feet to an iron pin set; thence N45°30'49"E, 8.40 feet to an iron pin set on the west right-of-way line of N. Collett St., also being the east line of Lot 1506; thence S00°11'53"E with the west right-of-way line of N. Collett St., also being the east line of Lot 1506, 9.90 feet to the PLACE OF BEGINNING, containing 0.047 acres, more or less, and subject to all legal easements of record.

All bearings are based on an assumed bearing of S89°54'08"E for the centerline of W. Market St.

TRACT NO. 2

Being part of the Market Street Health Care Condominium (P.B. 16, Pg. 71) as platted as part of Lots 1512 and 1513 in Blackburn's Addition (P.B. 2, Pg. 152) and Lots 2223, 2224, 2225 and 2226 in Satterwaite & Hughes Addition (P.B. 3, Pg. 45), part of a ten foot wide alley between Lots 1512 and 2226, said alley vacated 11-12-1969 by Ordinance 330-69 (Deed Vol. 502, Page 77) and part of Lot 1513 in said Blackburn's Addition situated in the City of Lima, Allen County, Ohio, and more particularly described as follows:

Beginning at a PK Nail set at the northeast corner of Lot 1513; thence S00°11'53"E with the east line of Lot 1513; 4.00 feet to a PK Nail set; thence N89°54'08"W parallel with and 4.00 feet south of the south right-of-way line of W. Market St., 249.96 feet to an iron pin set; thence N86°34'46"W, 69.01 feet to an iron pin set on the south right-of-way line of W. Market St., said point being 22.00 feet east of the northwest corner of said Market Street Health Care Condominium; thence S89°54'08"E with the south right-of-way line of W. Market St., also being the north line of the Market Street Health Care Condominium and Lot 1513, 318.84 feet to the PLACE OF BEGINNING, containing 0.026 acres, more or less, and subject to all legal easements of record.

All bearings are based on an assumed bearing of S89°54'08"E for the centerline of W. Market St.

TRACT NO. 3

Being part of Lots 1514, 1515, 1516 and 1517 in Blackburn's Addition (P.B. 2, Pg. 152) and part of a ten foot wide alley between Lots 1515 and 1516, said alley vacated 5-20-1985 by Ordinance 88-85 (Deed Vol. 673, Page 423), situated in the City of Lima, Allen County, Ohio, and more particularly described as follows:

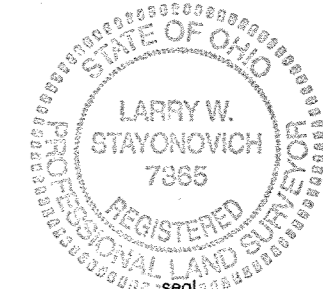
Beginning at a PK Nail set at the northeast corner of Lot 1517 (also being the southwest corner of the intersection of W. Market St. and S. Collett St.); thence S00°11'53"E with the west right-of-way line of S. Collett St., also being the east line of Lot 1517, 8.40 feet to an iron pin set; thence N46°56'38"W, 6.46 feet to an iron pin set 4.00 feet south of the south right-of-way line of W. Market St.; thence N89°54'08"W parallel with and 4.00 feet south of the south right-of-way line of W. Market St., 205.30 feet to a PK Nail set on the west line of Lot 1514 also being the east line of a 10 foot public alley; thence N00°11'53"W with the west line of Lot 1514, also being the east line of a ten foot public alley, 4.00 feet to the northwest corner of Lot 1514; thence S89°54'08"E with the south right-of-way line of W. Market St., also being the north line of Lots 1514, 1515, said vacated alley between Lots 1515 and 1516, and Lots 1516 and 1517, 210.00 feet to the PLACE OF BEGINNING, containing 0.0194 acres, more or less, and subject to all legal easements of record.

All bearings are based on an assumed bearing of S89°54'08"E for the centerline of W. Market St.

I hereby certify that the hereon plat and descriptions are based on a survey performed under my supervision in June of 1995. All iron pins set are 5/8"x30" rebar, capped with a yellow marker stamped "City of Lima/P.S. 7365".

11-3-03
Date

Larry W. Stayonovich
Larry W. Stayonovich, P.S. #7365



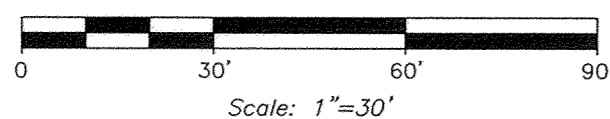
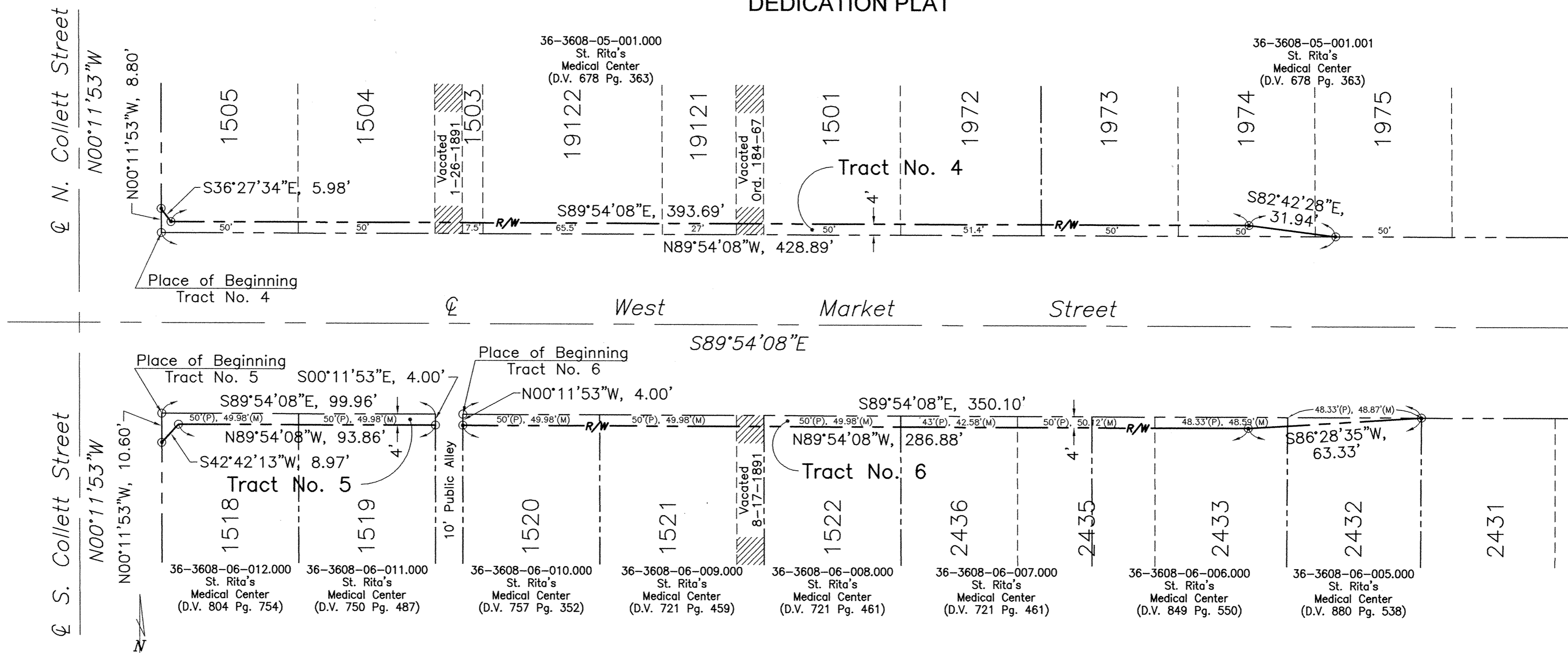
Prepared By:
City of Lima, Ohio
Engineering Division
50 Town Square
Lima, Ohio 45801
(419) 228-5462

Reference Documentation:
Tax Maps
Plot Records
Deed Records
Lima City Council Records

DEDICATION OF ADDITIONAL RIGHT-OF-WAY

WEST MARKET STREET CITY OF LIMA, ALLEN COUNTY, OHIO

DEDICATION PLAT



LEGEND

- ⊙ 5/8" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "CITY OF LIMA/P.S. 7365"
- PK NAIL SET

Tract No. 4

36-3608-05-001.000	1294.10 SF	0.030 ac.
36-3608-05-001.001	366.62 SF	0.008 ac.
Total	1660.72 SF	0.038 ac.

Tract No. 5

36-3608-06-011.000	199.92 SF	0.005 ac.
36-3608-06-012.000	220.09 SF	0.005 ac.
Total	420.01 SF	0.010 ac.

Tract No. 6

36-3608-06-005.000	75.58 SF	0.002 ac.
36-3608-06-006.000	278.60 SF	0.006 ac.
36-3608-06-007.000	280.00 SF	0.006 ac.
36-3608-06-008.000	199.92 SF	0.005 ac.
36-3608-06-009.000	239.92 SF	0.005 ac.
36-3608-06-010.000	199.27 SF	0.005 ac.
Total	1273.29 SF	0.029 ac.

TRACT NO. 4

Being part of Lots 1501, 1503, 1504 and 1505 in Blackburn's Addition (P.B. 2, Pg. 152), part of Lots 19121 and 19122 in Larsen's Subdivision (P.B. 7, Pg. 24), part of Lots 1972, 1973, 1974 and 1975 in Dan Paullin's Addition (P.B. 2, Pg. 206), part of a ten foot wide alley between Lots 1503 and 1504, said alley vacated 1-26-1891 by an unnumbered Ordinance (City Council Vol. 4, Page 453) and part of a ten foot wide alley between Lots 1501 and 19121, said alley vacated 9-25-1967 by Ordinance 184-67 (Deed Vol. 471, Page 121), situated in the City of Lima, Allen County, Ohio, and more particularly described as follows:

Beginning at a PK Nail set at the southwest corner of Lot 1505 (also being the northeast corner of the intersection of W. Market St. and N. Collett St.); thence N00°11'53"W with the east right-of-way line of N. Collett St., also being the west line of Lot 1505, 8.80 feet to an iron pin set; thence S36°27'34"E, 5.98 feet to an iron pin set 4.00 feet north of the north right-of-way line of W. Market St.; thence S89°54'08"E parallel with and 4.00 feet north of the north right-of-way line of W. Market St., 393.69 feet to an iron pin set; thence S82°42'28"E, 31.94 feet to an iron pin set on the north right-of-way line of W. Market St., also being the south line of Lot 1975; thence N89°54'08"W with the north right-of-way line of W. Market St., also being the south line of Lots 1975, 1974, 1973, 1972, 1501, said vacated alley between Lots 1501 and 19121, Lots 19121, 19122, 1503, said vacated alley between Lots 1503 and 1504, and Lots 1504 and 1505, 428.89 feet to the PLACE OF BEGINNING, containing 0.038 acres, more or less, and subject to all legal easements of record.

All bearings are based on an assumed bearing of S89°54'08"E for the centerline of W. Market St.

TRACT NO. 5

Being part of Lots 1518 and 1519 in Blackburn's Addition (P.B. 2, Pg. 152) to the City of Lima, Allen County, Ohio, and more particularly described as follows:

Beginning at a PK Nail set at the northwest corner of Lot 1518 (also being the southeast corner of the intersection of W. Market St. and S. Collett St.); thence S89°54'08"E with the south right-of-way line of W. Market St., also being the north line of Lots 1518 and 1519, 99.96 feet to the northeast corner of Lot 1519; thence S00°11'53"E with the east line of Lot 1519 also being the west line of a ten foot public alley, 4.00 feet to a PK Nail set; thence N89°54'08"W parallel with and 4.00 feet south of the south right-of-way line of W. Market St., 93.86 feet to a PK nail set; thence S42°42'13"W, 8.97 feet to an iron pin set on the east right-of-way line of S. Collett St., also being the west line of Lot 1518; thence N00°11'53"W with the east right-of-way line of S. Collett St., also being the west line of Lot 1518, 10.60 feet to the PLACE OF BEGINNING, containing 0.010 acres, more or less, and subject to all legal easements of record.

All bearings are based on an assumed bearing of S89°54'08"E for the centerline of W. Market St.

TRACT NO. 6

Being part of Lots 1520, 1521 and 1522 in Blackburn's Addition (P.B. 2 Pg. 152), part of Lots 2432, 2435 and 2436 in C.M. Townsend subdivision (P.B. 3, Pg. 56) and part of a ten foot wide alley between Lots 1521 and 1522, said alley vacated 8-17-1891 by an unnumbered Ordinance (City Council Vol. 5, Page 59) situated in the City of Lima, Allen County, Ohio, and more particularly described as follows:

Beginning at a PK Nail set at the northwest corner of Lot 1520; thence S89°54'08"E with the south right-of-way line of W. Market St., also being the north line of Lots 1520, 1521, said vacated alley between Lots 1521 and 1522 and Lots 1522, 2436, 2435, 2433 and 2432, 350.10 feet to an iron pin set at the northeast corner of Lot 2432; thence S86°28'35"W, 63.33 feet to an iron pin set 4 feet south of the south right-of-way line of W. Market St.; thence N89°54'08"W parallel with and 4.00 feet south of the south right-of-way line of W. Market St., 286.88 feet to an iron pin set on the west line of Lot 1520 also being the east line of a ten foot public alley; thence N00°11'53"W with the west line of Lot 1520 also being the east line of a ten foot public alley, 4.00 feet to the PLACE OF BEGINNING, containing 0.029 acres, more or less, and subject to all legal easements of record.

All bearings are based on an assumed bearing of S89°54'08"E for the centerline of W. Market St.

I hereby certify that the hereon plat and descriptions are based on a survey performed under my supervision in June of 1995. All iron pins set are 5/8"x30" rebars, capped with a yellow marker stamped "City of Lima/P.S. 7365".

11-3-03
Date

Larry W. Stayonovich
Larry W. Stayonovich, P.S. #7365

REVIEWED BY:
Michael L. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER
DATE: 10/6/04



Prepared By:
City of Lima, Ohio
Engineering Division
50 Town Square
Lima, Ohio 45801
(419) 228-5462
Reference Documentation:
Tax Maps
Plat Records
Deed Records
Lima City Council Records

DEDICATION OF ADDITIONAL RIGHT-OF-WAY

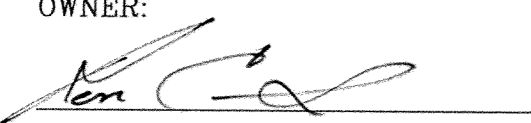
WEST MARKET STREET


CITY OF LIMA, ALLEN COUNTY, OHIO


DEDICATION PLAT

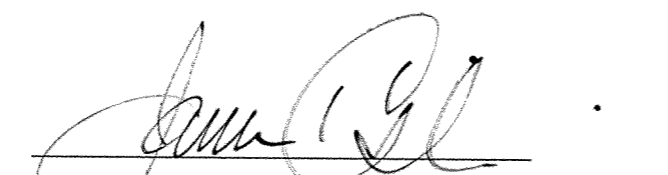
DEDICATION

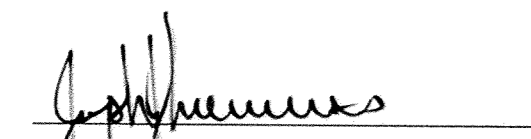
We, the owners of the land contained in the foregoing plat, hereby dedicate the land described herein to the use and benefit of the public forever.


OWNER:

 St. Rita's Medical Center

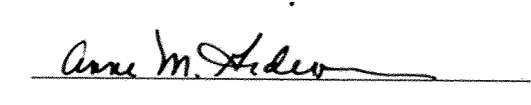
OWNER:

 McAuley Management Services, Inc.
 Market St. Health Care Condominium

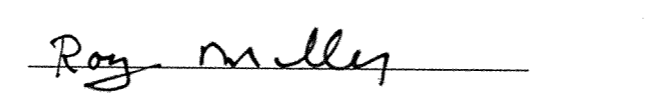

 Warde Properties, Inc.

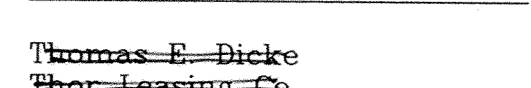

 James J. Csibi
 Market St. Health Care Condominium



 Carl W. Schweitzer
 Thor Leasing Co.

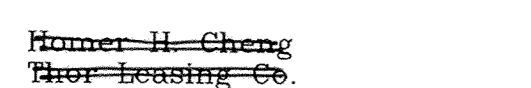

 Albion College, Trustee
 Market St. Health Care Condominium

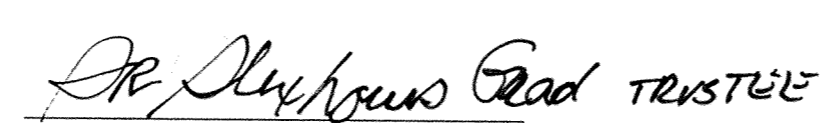

 Michael D. Holmes
 Thor Leasing Co.


 Roy Miller
 Market St. Health Care Condominium


 Thomas E. Dicke
 Thor Leasing Co.


 Roque E. Teruel
 Market St. Health Care Condominium

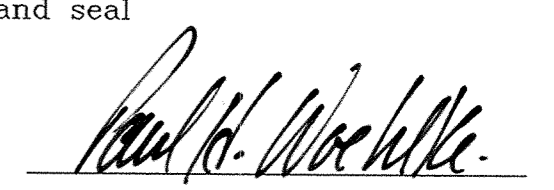

 Homer H. Cheng
 Thor Leasing Co.


 Dr. Alex Louis Grad, Trustee
 Market St. Health Care Condominium

ACKNOWLEDGEMENT

County of Allen, State of Ohio:
Before me, a Notary Public in and for said County and State, did personally appear the aboved signed owners who acknowledged the signing of this document to be their free act and deed. In testimony thereof, I affix my hand and seal

this 12 day of FEBRUARY, 2004.

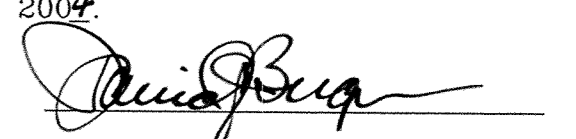

 Notary Public

PAUL M. WOELIKE
 Notary Public, State of Ohio
 My Commission Expires Sept. 3, 2008

APPROVAL OF CITY PLANNING COMMISSION

This plat having been approved by the City Planning Commission of the City of Lima, Ohio, I the undersigned Mayor of the City of Lima, Ohio, and Chairman of the City Planning Commission, hereby, on behalf of said City Planning Commission approve and accept this

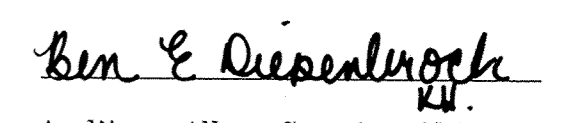
plat, this 10th day of November, 2004.


 Mayor & Chairman of the
 City Planning Commission

COUNTY AUDITOR

This plat filed for transfer this 11th day of February, 2005.

FEE: NO Fee


 Auditor, Allen County, Ohio

200502129 COUNTY RECORDER

Filed for record this 11th day of Feb, 2005, at 9:08 O'Clock A.M. in the office of the Allen County Recorder and recorded in Plat Book 26 on Page 191.

See Deed Vol 937 Pg 297 Mona Lash mh
 Recorder, Allen County, Ohio

Authorized and approved by City of Lima Ordinance No. 220-04, passed November 22, 2004.

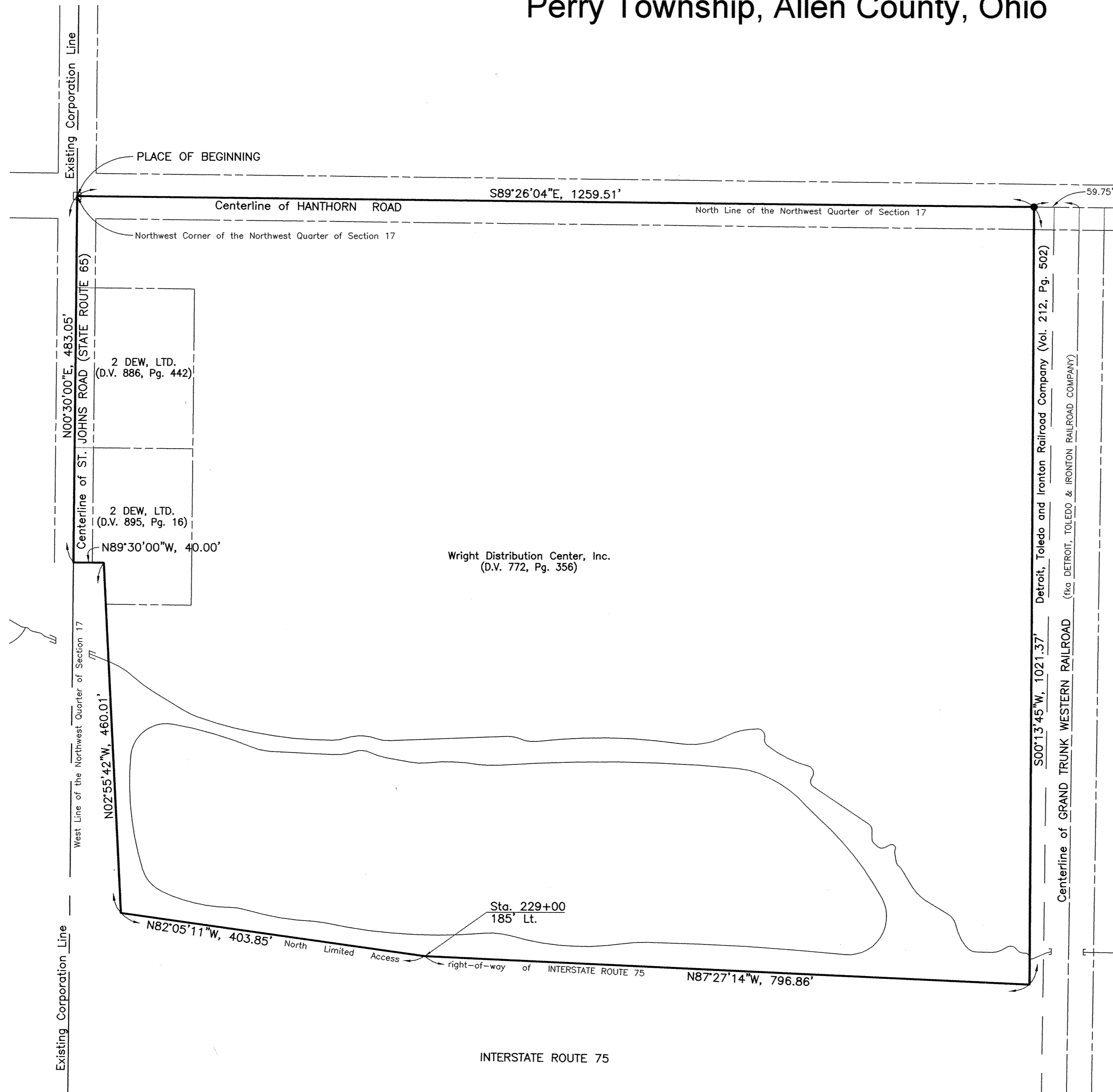
ANNEXATION PLAT

TO THE CITY OF LIMA, OHIO

Pt. of the Northwest Quarter of Section 17, Township 4 South, Range 7 East

Perry Township, Allen County, Ohio

200503127
FILED AND RECORDED
Mar 2 2005
AT 10:20 O'CLOCK A.M.
VOL 26 PG 144
MONA S. LOSH M.B.
RECORDER ALLEN CO. OHIO
Fee 41.40 PAID.
SEE DEED VOL 938 PAGE 20



N

0 50' 100' 200'
Scale: 1"=100'

LEGEND

- MONUMENT BOX
- COTTON GIN SPIKE OF RECORD
- 3/4-INCH IRON PIPE OF RECORD

DESCRIPTION

Being a tract of land situated in the northwest quarter of Section 17, Township 4 South, Range 7 East, Perry Township, Allen County, Ohio and more particularly described as follows:

BEGINNING at a monument box at the northwest corner of said northwest quarter;

thence S89°26'04"E with the north line of said northwest quarter, also being the centerline of Hanthorn Road, 1259.51 feet to a cotton gin spike of record, 59.75 feet westerly from the centerline of the original railroad property now known as the Grand Trunk Western Railroad (formerly known as the Detroit, Toledo & Ironton Railroad Company);

thence S00°13'45"W with the west line of lands granted to the Detroit, Toledo & Ironton Railroad Company (Deed Volume 212, Page 502), 1021.37 feet to a 3/4-inch iron pipe of record on the limited access right-of-way line of Interstate Route 75;

thence N87°27'14"W with said limited access right-of-way line, 796.86 feet to a 3/4-inch iron pipe of record at an angle point in said limited access right-of-way line, said point by record being 185 feet left of Station 229+00 of the centerline of Interstate Route 75;

thence continuing with the limited access right-of-way line of Interstate Route 75 at N82°05'11"W, 403.85 feet to an angle point in said limited access right-of-way line, said point by record being 240.00 feet left of Station 225+00 of the centerline of Interstate Route 75;

thence N02°55'42"W with said limited access right-of-way line, 460.01 feet to a 3/4-inch iron pipe of record at 40.00 feet right of Station 111+00 of the centerline of survey of State Route 65;

thence N89°30'00"W with said limited access right-of-way line, 40.00 feet to a mine spike of record in said centerline at Station 111+00;

thence N00°30'00"E with the west line of the northwest quarter of Section 17, also being the centerline of State Route 65 (St. Johns Rd.), 483.05 feet to the POINT OF BEGINNING.

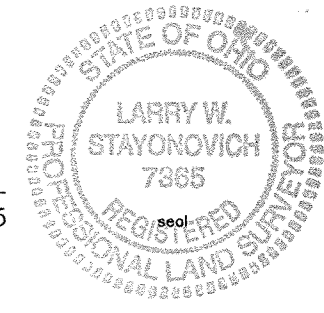
The above described tract of land contains 28.157 acres, more or less.

Bearings are based on a bearing of record of N00°30'00"E for the west line of the northwest quarter of Section 17, also being the centerline of State Route 65.

I hereby certify that the hereon plat and description are true and accurate representations of property proposed to be annexed to the City of Lima, Ohio and is based entirely on research of records in the office of the Recorder, Allen County, Ohio.

10-25-04
Date


Larry W. Stayonovich
Larry W. Stayonovich, P.S. #7365



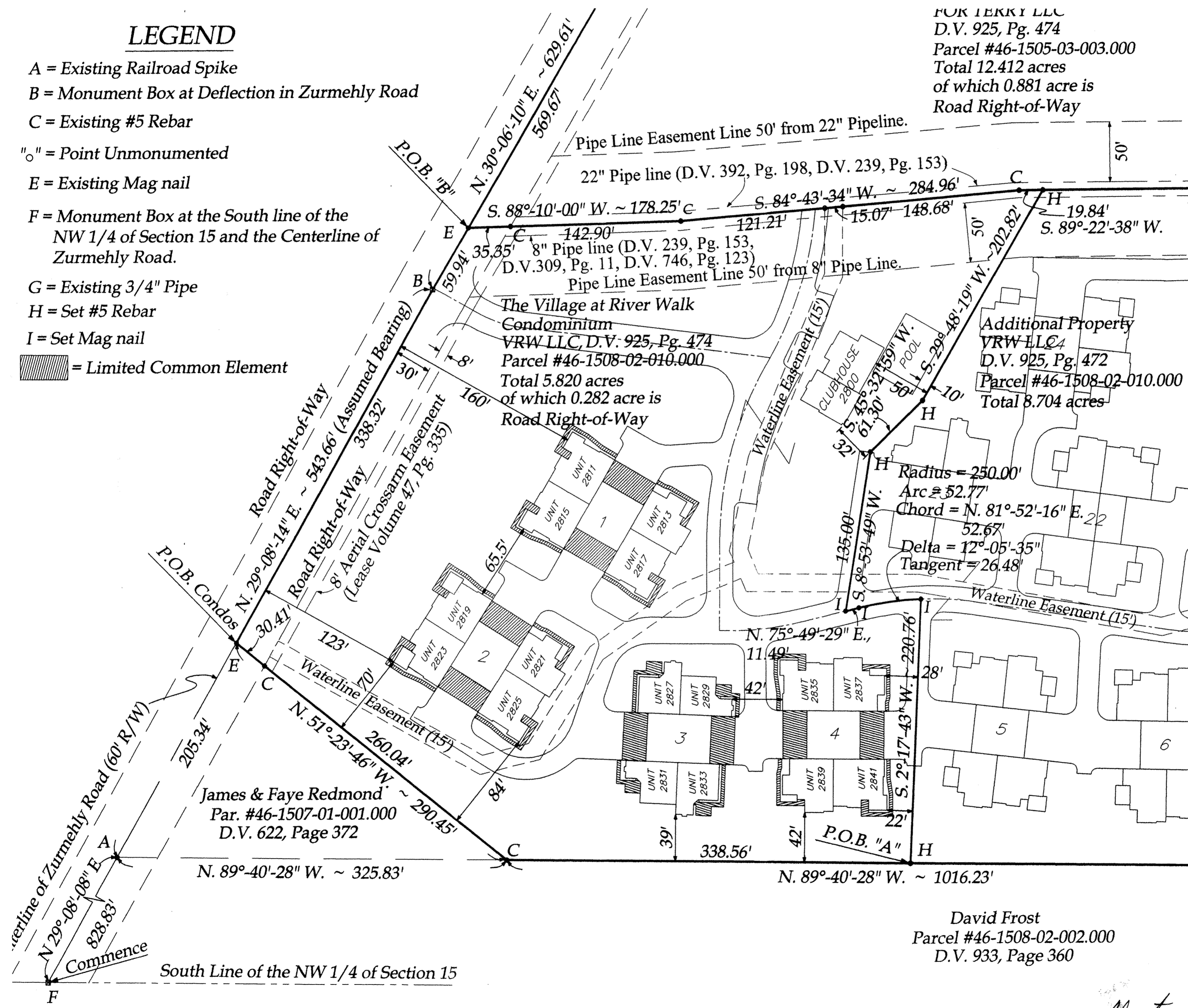
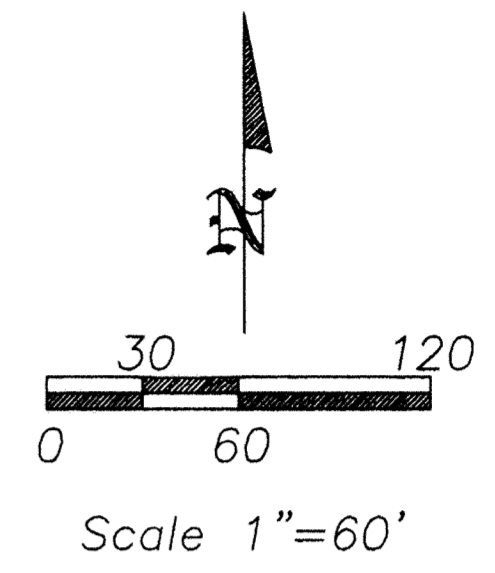
THE VILLAGE AT RIVER WALK CONDOMINIUM

N 1/2 of Section 15, T4S, R6E,
Shawnee Township, Allen County, Ohio

LEGEND

- A = Existing Railroad Spike
- B = Monument Box at Deflection in Zurmehly Road
- C = Existing #5 Rebar
- o = Point Unmonumented
- E = Existing Mag nail
- F = Monument Box at the South line of the NW 1/4 of Section 15 and the Centerline of Zurmehly Road.
- G = Existing 3/4" Pipe
- H = Set #5 Rebar
- I = Set Mag nail
-  = Limited Common Element

FOR TERRY LLC
D.V. 925, Pg. 474
Parcel #46-1505-03-003.000
Total 12.412 acres
of which 0.881 acre is
Road Right-of-Way



James & Faye Redmond
Par. #46-1507-01-001.000
D.V. 622, Page 372

The Village at River Walk
Condominium
VRW LLC, D.V. 925, Pg. 474
Parcel #46-1508-02-010.000
Total 5.820 acres
of which 0.282 acre is
Road Right-of-Way

Additional Property
VRW-LLC
D.V. 925, Pg. 472
Parcel #46-1508-02-010.000
Total 8.704 acres

David Frost
Parcel #46-1508-02-002.000
D.V. 933, Page 360



Clayton T. Bacon
Clayton T. Bacon, Reg. P.S. #6179 2-15-05

This description and plot is based on an actual field survey performed on 12-8-04, by Bacon & Associates under the direction of Clayton T. Bacon, P.S. #6179

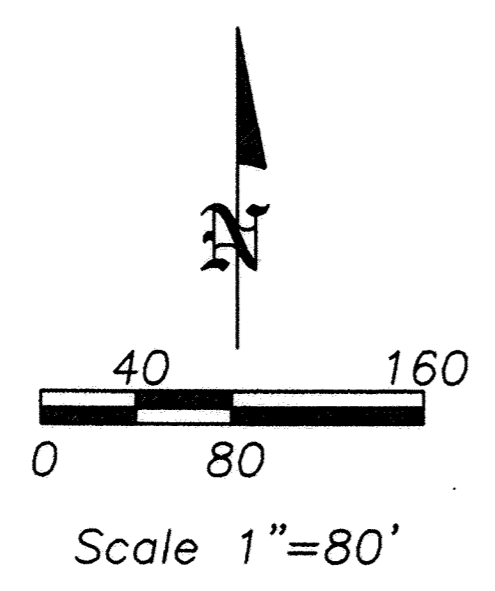
Prepared By
Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

The Village At River Walk Condominium
N 1/2 of Section 15, T4S, R6E
Shawnee Township, Allen County, Ohio

File:	142-04
Drawn: P.J.M.	
Date:	12-16-04

THE VILLAGE AT RIVER WALK CONDOMINIUM ADDITIONAL PROPERTY AND OPTION PROPERTY

N 1/2 of Section 15, T4S, R6E,
Shawnee Township, Allen County, Ohio

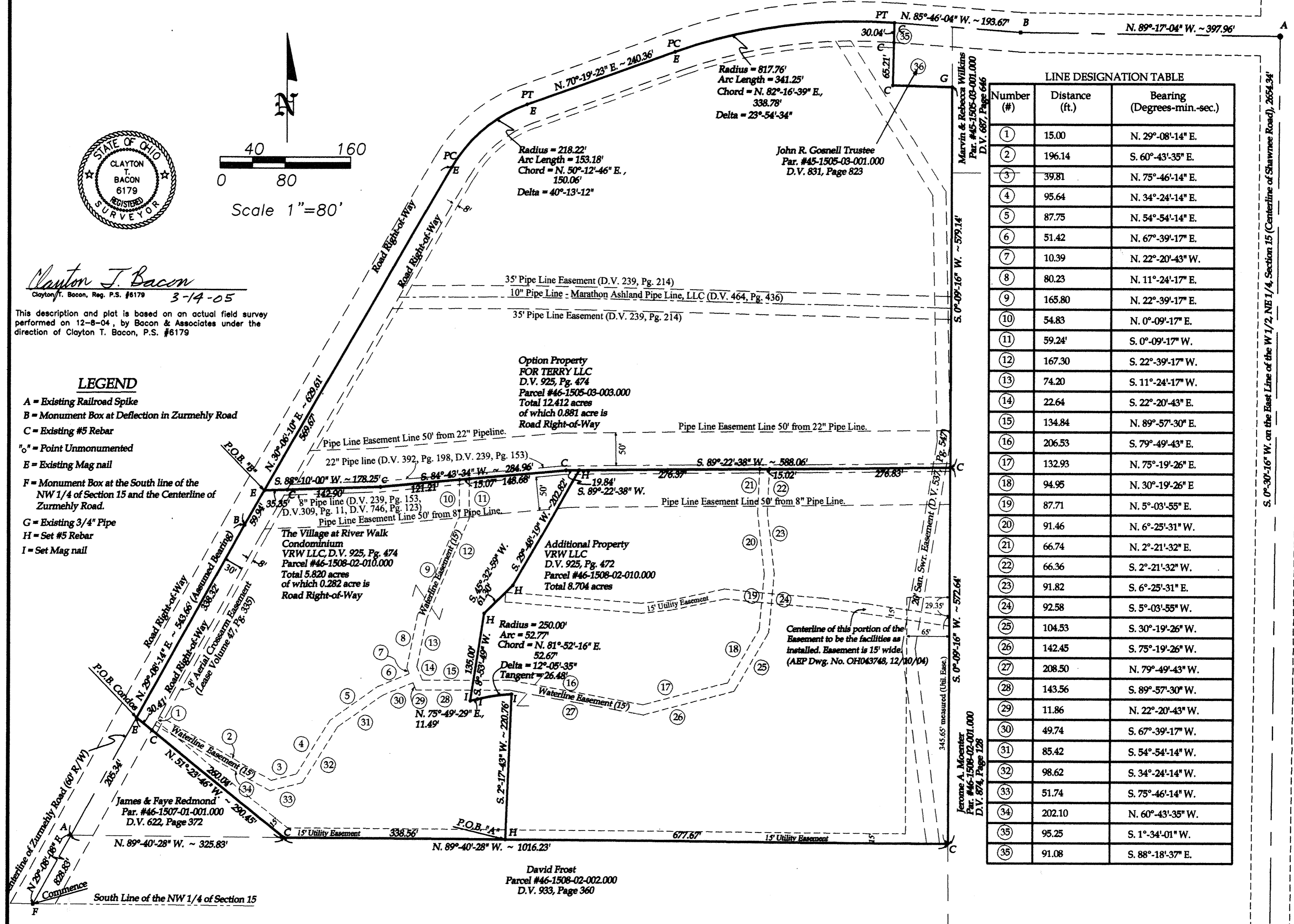


Clayton J. Bacon
Clayton T. Bacon, Reg. P.S. #6179
3-14-05

This description and plat is based on an actual field survey performed on 12-8-04, by Bacon & Associates under the direction of Clayton T. Bacon, P.S. #6179

LEGEND

- A = Existing Railroad Spike
- B = Monument Box at Deflection in Zurmehly Road
- C = Existing #5 Rebar
- o = Point Unmonumented
- E = Existing Mag nail
- F = Monument Box at the South line of the NW 1/4 of Section 15 and the Centerline of Zurmehly Road.
- G = Existing 3/4" Pipe
- H = Set #5 Rebar
- I = Set Mag nail



LINE DESIGNATION TABLE		
Number (#)	Distance (ft.)	Bearing (Degrees-min.-sec.)
1	15.00	N. 29°-08'-14" E.
2	196.14	S. 60°-43'-35" E.
3	39.81	N. 75°-46'-14" E.
4	95.64	N. 34°-24'-14" E.
5	87.75	N. 54°-54'-14" E.
6	51.42	N. 67°-39'-17" E.
7	10.39	N. 22°-20'-43" W.
8	80.23	N. 11°-24'-17" E.
9	165.80	N. 22°-39'-17" E.
10	54.83	N. 0°-09'-17" E.
11	59.24	S. 0°-09'-17" W.
12	167.30	S. 22°-39'-17" W.
13	74.20	S. 11°-24'-17" W.
14	22.64	S. 22°-20'-43" E.
15	134.84	N. 89°-57'-30" E.
16	206.53	S. 79°-49'-43" E.
17	132.93	N. 75°-19'-26" E.
18	94.95	N. 30°-19'-26" E.
19	87.71	N. 5°-03'-55" E.
20	91.46	N. 6°-25'-31" W.
21	66.74	N. 2°-21'-32" E.
22	66.36	S. 2°-21'-32" W.
23	91.82	S. 6°-25'-31" E.
24	92.58	S. 5°-03'-55" W.
25	104.53	S. 30°-19'-26" W.
26	142.45	S. 75°-19'-26" W.
27	208.50	N. 79°-49'-43" W.
28	143.56	S. 89°-57'-30" W.
29	11.86	N. 22°-20'-43" W.
30	49.74	S. 67°-39'-17" W.
31	85.42	S. 54°-54'-14" W.
32	98.62	S. 34°-24'-14" W.
33	51.74	S. 75°-46'-14" W.
34	202.10	N. 60°-43'-35" W.
35	95.25	S. 1°-34'-01" W.
36	91.08	S. 88°-18'-37" E.

Prepared By
Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

The Village At River Walk Condominium
N 1/2 of Section 15, T4S, R6E
Shawnee Township, Allen County, Ohio

File: 14-04
Drawn: P.J.M.
Date: 12-16-04

2
14

**Description
Condominium**

Being part of parcel #46-1508-02-010.000 located in the N 1/2 of Section 15, T4S, R6E, Shawnee Township, Allen County, Ohio, more particularly described as follows:

Commencing for reference at a monument box at the intersection of the South line of the NW 1/4 of Section 15 and the centerline Zurmehly Road; thence N 29°-08'-08" E on the centerline of Zurmehly Road, 828.83' to an existing railroad spike; thence N 29°-08'-14" E (assumed bearing) on said centerline, 205.34' to an existing Mag nail at the POINT OF BEGINNING; thence the following course;

- 1) Continue N 29°-08'-14" E on said centerline, 338.32' to an existing monument box;
- 2) N 30°-06'-10" E on the centerline of Zurmehly Road, 59.94' to an existing Mag nail;
- 3) N 88°-10'-00" E, 178.25' to an existing #5 rebar, passing an existing #5 rebar at 35.35';
- 4) N 84°-43'-34" E, 284.96' to an existing #5 rebar;
- 5) N 89°-22'-38" E, 19.84' to a set #5 rebar;
- 6) S 29°-48'-19" W, 202.82' to a set #5 rebar;
- 7) S 45°-32'-59" W, 61.30' to a set #5 rebar;
- 8) S 8°-53'-49" W, 135.00' to a Mag nail set on the existing centerline of a street;
- 9) N 75°-49'-29" E on said street centerline, 11.49' to a Mag nail set at the PC of a curve to the right;
- 10) On said curve a arc length of 52.77', with a radius of 250.00', a delta angle of 12°-05'-35", and a chord of N 81°-52'-16" E ~ 52.67' to a set Mag nail;
- 11) S 2°-17'-43" W, 220.76' to a set #5 rebar;
- 12) N 89°-40'-28" W, 338.56' to an existing #5 rebar;
- 13) N 51°-23'-46" W, 290.45' to the POINT OF BEGINNING, passing an existing #5 rebar at 260.04'.

The above-described parcel of land contains 5.820 acres, more or less, subject to all legal highways and easements of record at the time of this survey.

Prior Deed Volume 925, Page 474

This plat and description are based on a field survey on December 8, 2004 by Bacon & Associates, LLC under the direction of Clayton T. Bacon, P.S. #6179.

**Description
Additional Property**

Being part of parcel #46-1508-02-010.000 located in the N 1/2 of Section 15, T4S, R6E, Shawnee Township, Allen County, Ohio, more particularly described as follows:

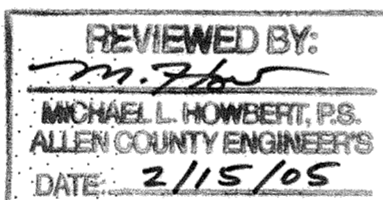
Commencing for reference at a monument box at the intersection of the South line of the NW 1/4 of Section 15 and the centerline Zurmehly Road; thence N 29°-08'-08" E on the centerline of Zurmehly Road, 828.83' to an existing railroad spike; thence N 29°-08'-14" E (assumed bearing) on said centerline, 205.34' to an existing Mag nail; thence S 51°-23'-46" E, 290.45' to an existing #5 rebar, passing a #5 rebar at 30.41'; thence S 89°-40'-28" E, 338.56' to a #5 rebar set at the POINT OF BEGINNING; thence the following course;

- 1) N 2°-17'-43" E, 220.76' to a Mag nail set at the PC of a curve to the left on the centerline of a street;
- 2) On said curve a arc length of 52.77', with a radius of 250.00', a delta angle of 12°-05'-35", and a chord of S 81°-52'-16" W ~ 52.67' to a Mag nail set at the PT of said curve;
- 3) S 75°-49'-29" W on said centerline, 11.49' to a set Mag nail;
- 4) N 8°-53'-49" E, 135.00' to a set #5 rebar;
- 5) N 45°-32'-59" E, 61.30' to a set #5 rebar;
- 6) N 29°-48'-19" E, 202.82' to a set #5 rebar;
- 7) N 89°-22'-38" E, 568.22' to an existing #5 rebar;
- 8) S 0°-09'-16" W, 572.64' to an existing #5 rebar;
- 9) N 89°-40'-28" W, 677.67' to the POINT OF BEGINNING.

The above-described parcel of land contains 8.704 acres, more or less, subject to all legal highways and easements of record at the time of this survey.

Prior Deed Volume 925, Page 474

This plat and description are based on a field survey on December 8, 2004 by Bacon & Associates, LLC under the direction of Clayton T. Bacon, P.S. #6179.



**Description
Option Property**

Being parcel #46-1505-03-003.000 located in the N 1/2 of Section 15, T4S, R6E, Shawnee Township, Allen County, Ohio, more particularly described as follows:

Commencing for reference at a monument box at the intersection of the South line of the NW 1/4 of Section 15 and the centerline Zurmehly Road; thence N 29°-08'-08" E on the centerline of Zurmehly Road, 828.83' to an existing railroad spike; thence N 29°-08'-14" E (assumed bearing) on said centerline, 543.66' to an existing monument box; thence N 30°-06'-10" E on the centerline of Zurmehly Road, 59.94' to an existing Mag nail at the POINT OF BEGINNING; thence the following course;

- 1) Continue N 30°-06'-10" E on said centerline, 569.67' to an existing Mag nail at the PC of a curve to the right;
- 2) On said curve a arc length of 153.18', with a radius of 218.22, a delta angle of 40°-13'-11", and a chord of N 50°-12'-46" E ~ 150.06' to an existing Mag nail at the PT;
- 3) N 70°-19'-23" E on said centerline, 240.36' to an existing Mag nail at the PC of a curve to the right;
- 4) On said curve a arc length of 341.25' with a radius of 817.76', a delta angle of 23°-54'-34", and a chord of N 82°-16'-39" E ~ 338.78' to an existing #5 rebar at the PT;
- 5) S 1°-34'-01" W, 95.25' to an existing #5 rebar, passing an existing #5 rebar at 30.04';
- 6) S 88°-18'-37" E, 91.08' to an existing 3/4" pipe;
- 7) S 0°-09'-16" W, 579.14' to an existing #5 rebar;
- 8) S 89°-22'-38" W, 588.06' to an existing #5 rebar, passing a #5 rebar set at 568.22';
- 9) S 84°-43'-34" W, 284.96' to an existing #5 rebar;
- 10) S 88°-10'-00" W, 178.25' to the POINT OF BEGINNING.

The above-described parcel of land contains 12.412 acres, more or less, subject to all legal highways and easements of record at the time of this survey.

Prior Deed Volume 925, Page 474

This plat and description are based on a field survey on December 8, 2004 by Bacon & Associates, LLC under the direction of Clayton T. Bacon, P.S. #6179.

SURVEYOR'S AFFIDAVIT

This description and plat is based on an actual field survey performed on December 8, 2004, by Bacon & Associates under the direct supervision of Clayton T. Bacon, P.S. #6179.



Clayton T. Bacon 2-15-05
Clayton T. Bacon, P.S. #6179 Date

ALLEN COUNTY RECORDER 200504294

As the Allen County Recorder, I do hereby certify that this plat has been recorded on 21st day of March, 2005 in the Official Record 26, Page 145.

See Deed Book 938 page 659
Fec #579.60

Mona D. Losh by Patricia L. Metzger, Deputy
Allen County Recorder

ALLEN COUNTY AUDITOR

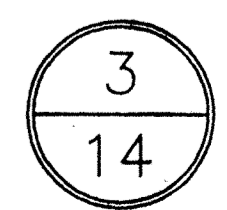
As the Allen County Auditor, I do hereby certify that this plat has been recorded on Mar. 21 day of March, 2005.

Ben E. Diepenbrock
Allen County Auditor sm

Prepared By
Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

The Village At River Walk Condominium
N 1/2 of Section 15, T4S, R6E,
Shawnee Township, Allen County, Ohio

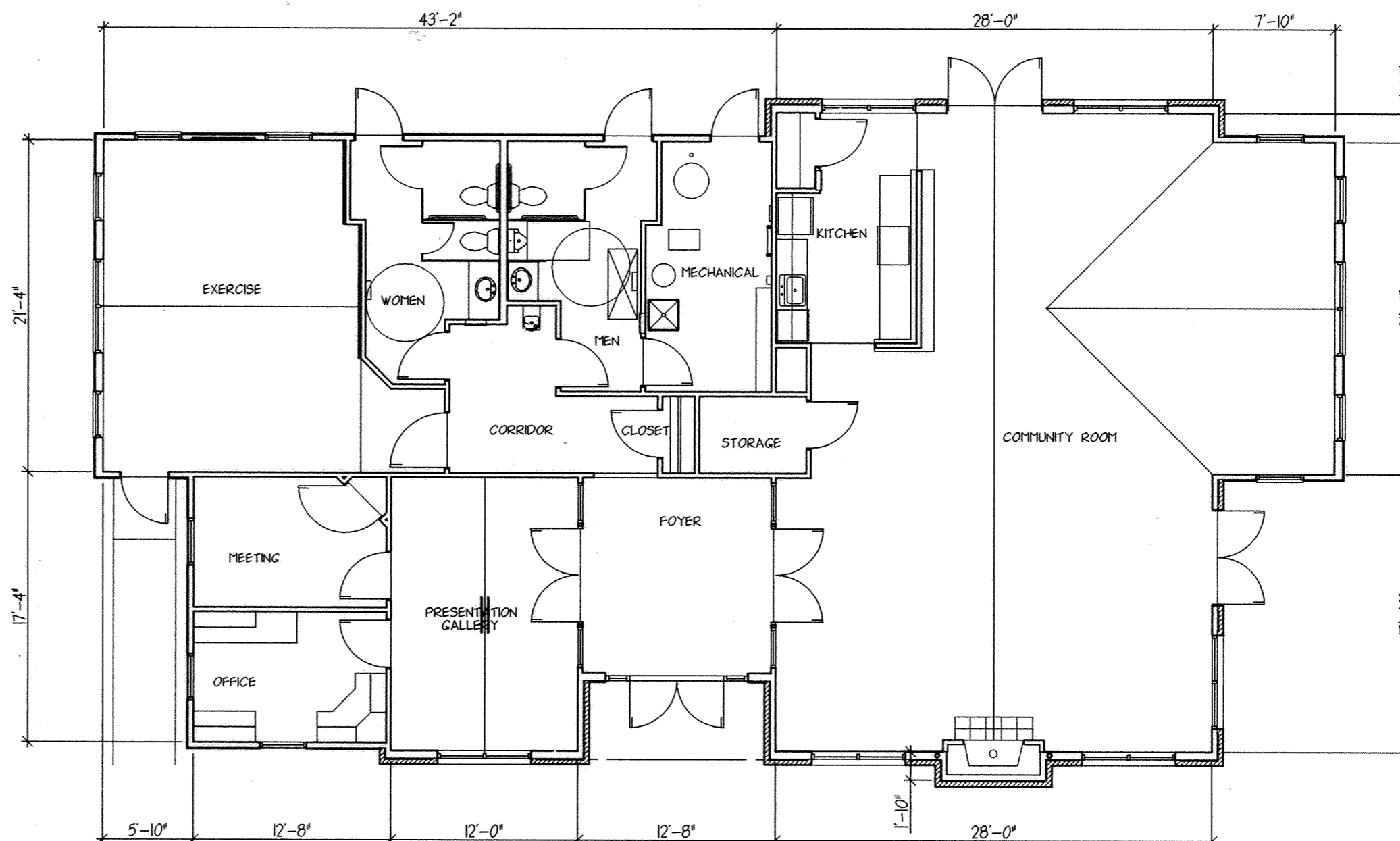
File: 142-04
Drawn: P.J.M.
Date: 12-08-04



ARCHITECT'S CERTIFICATION

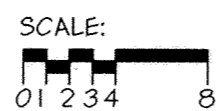
"I CERTIFY THAT THIS DRAWING, CONSISTING OF 11 SHEETS, ACCURATELY SHOWS EACH BUILDING OF THE VILLAGE OF RIVERWALK CONDOMINIUM, AS CONSTRUCTED, WITH RESPECT TO THE PROPERTY SHOWN ON THIS DRAWING FOR THE SOLE PURPOSE OF COMPLYING WITH O.R.C. 5311.07"

BY 
OHIO REGISTERED ARCHITECT NO. 4586
MICHAEL J. FITZPATRICK



FLOOR PLAN

CLUBHOUSE
2800



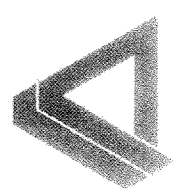
THE DRAWINGS
OF
THE VILLAGE OF
RIVER WALK
CONDOMINIUMS

Drawing	Date
<input type="checkbox"/> Preliminary	_____
<input type="checkbox"/> Bid	_____
<input type="checkbox"/> Permit	_____
<input type="checkbox"/> Construction	_____

Revisions
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▲ _____
▲ _____
▲ _____

Seal

Seal

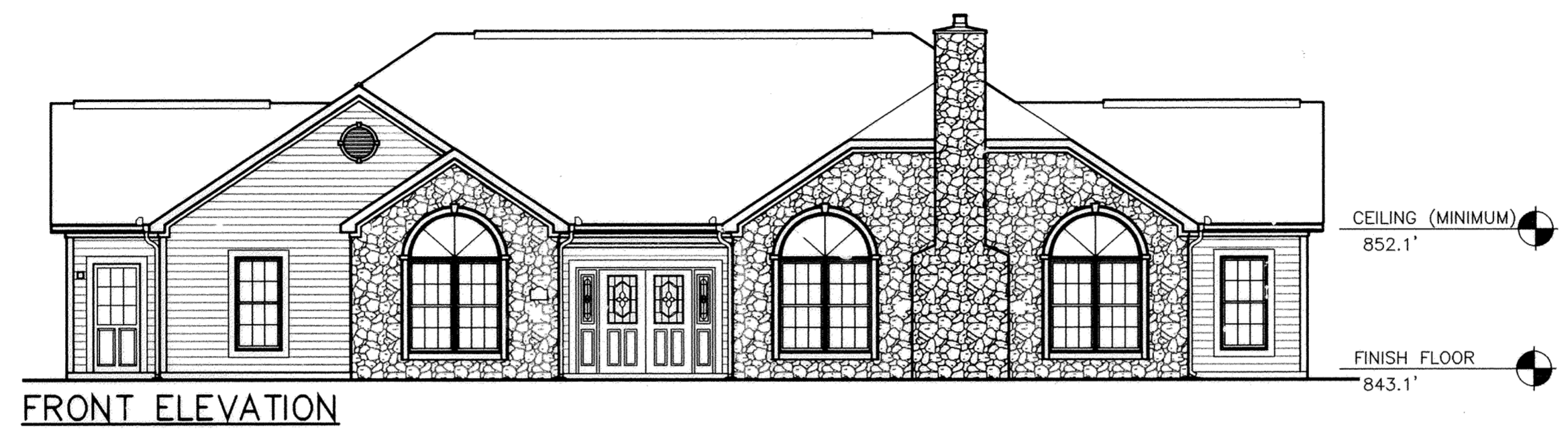

ARCHITECTURAL ALLIANCE
 165 North Fifth Street • Columbus, Ohio 43215 • (614) 469-7500 • fax: 469-0500

Project Number
A5011

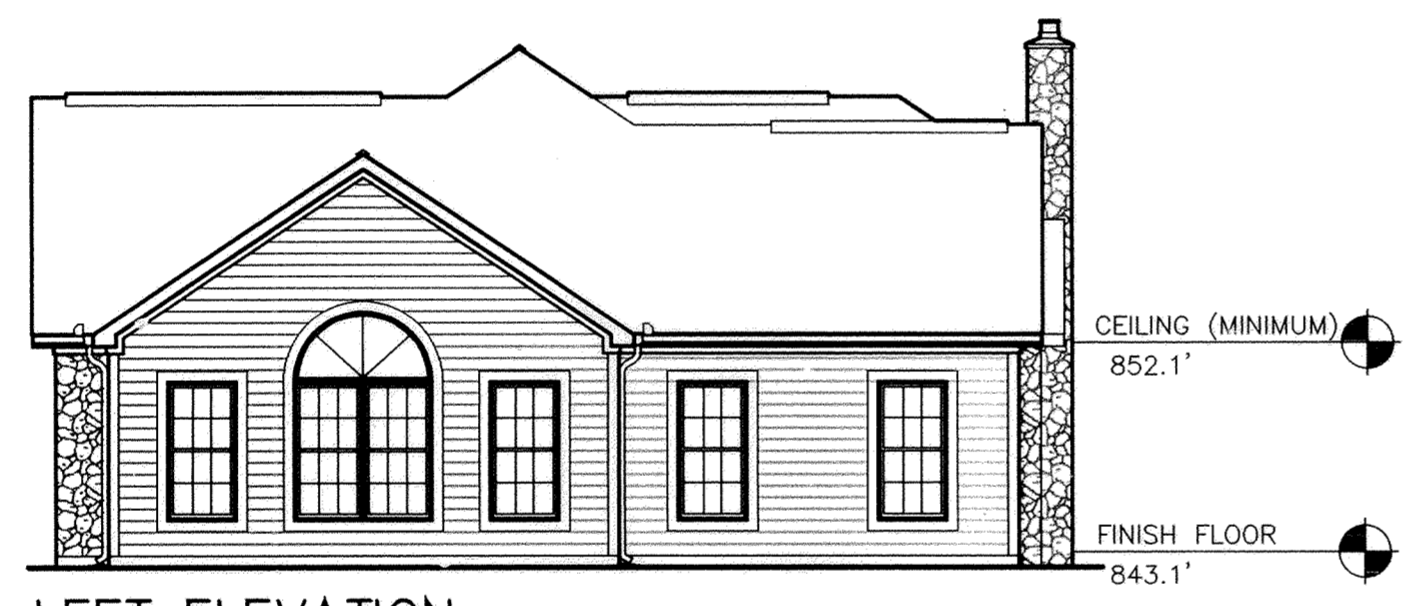
Sheet Title

Sheet Number
4 OF 14

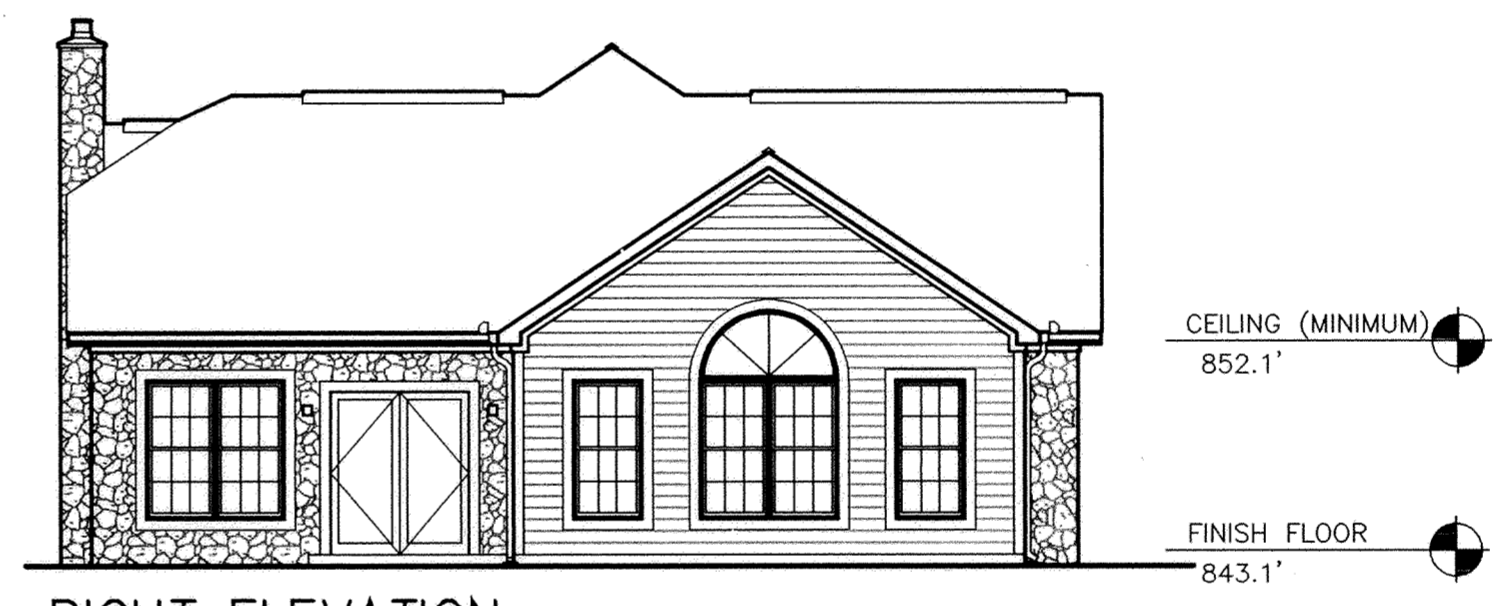
THE DRAWINGS
OF
THE VILLAGE OF
RIVER WALK
CONDOMINIUMS



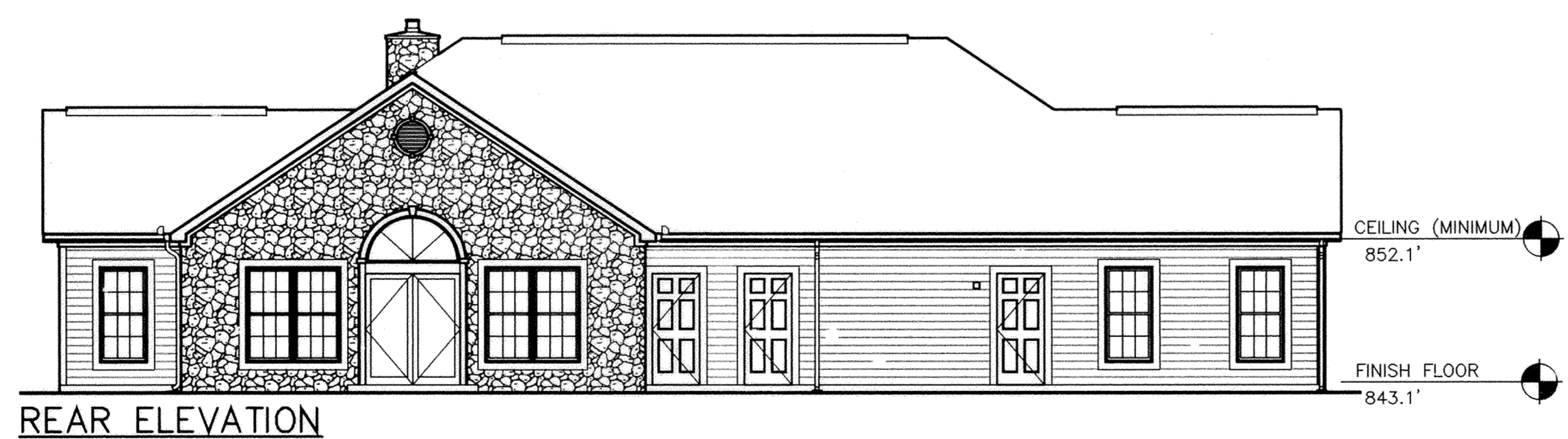
FRONT ELEVATION



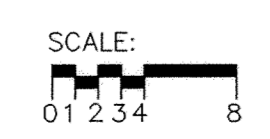
LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



FINISH FLOOR ELEVATIONS ARE BASED ON NAVD 88

CLUBHOUSE
2800

Drawing	Date
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<input type="checkbox"/> Bid	_____
<input type="checkbox"/> Permit	_____
<input type="checkbox"/> Construction	_____

Revisions	
▲	_____
▲	_____
▲	_____
▲	_____

Seal

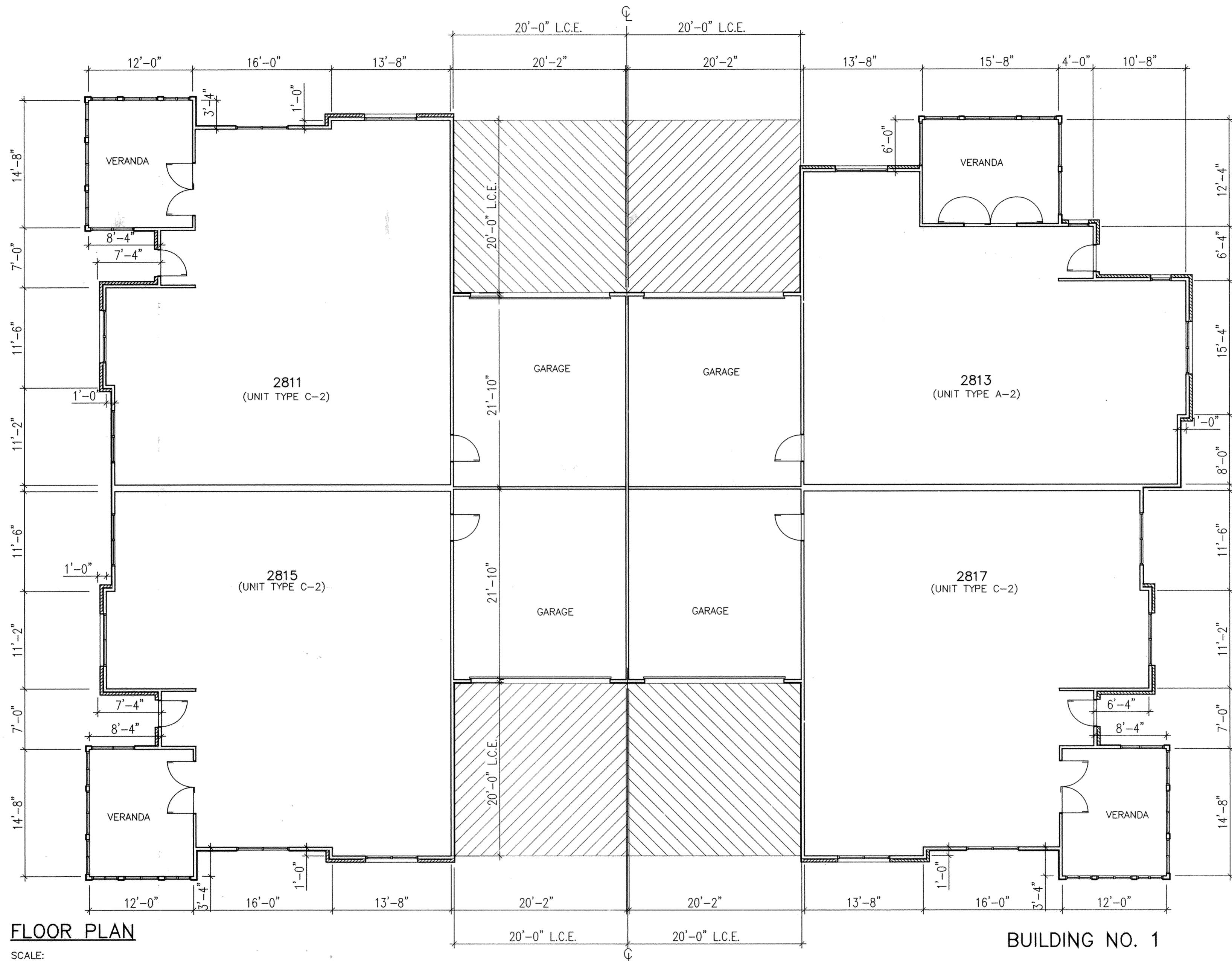
165 North Fifth Street • Columbus, Ohio 43215 • (614) 469-7500 • fax: 469-0500

ARCHITECTURAL ALLIANCE

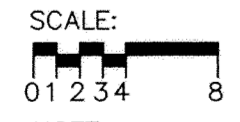
Project Number
A5011

Sheet Title

Sheet Number
5 OF 14



FLOOR PLAN



NOTE:
 [Hatched Box] AREAS DESIGNATED THUS: INDICATES LIMITED COMMON ELEMENT PERTAINING TO ADJACENT UNIT

L.C.E. = LIMITED COMMON ELEMENT

BUILDING NO. 1

THE DRAWINGS
 THE VILLAGE OF
 RIVER WALK
 CONDOMINIUMS

Drawing	Date
<input type="checkbox"/> Preliminary	_____
<input type="checkbox"/> Bid	_____
<input type="checkbox"/> Permit	_____
<input type="checkbox"/> Construction	_____

Revisions

▲	_____
▲	_____
▲	_____
▲	_____
▲	_____

Seal

ARCHITECTURAL ALLIANCE
 165 North Fifth Street • Columbus, Ohio 43215 • (614) 469-7500 • fax: 469-0500

Project Number
 A5011

Sheet Title

Sheet Number
 6 OF 14

THE DRAWINGS OF
THE VILLAGE OF
RIVER WALK
CONDOMINIUMS

Drawing	Date
<input type="checkbox"/> Preliminary	
<input type="checkbox"/> Bid	
<input type="checkbox"/> Permit	
<input type="checkbox"/> Construction	

Revisions	
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▲	▲
▲	▲
▲	▲

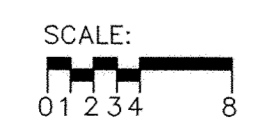
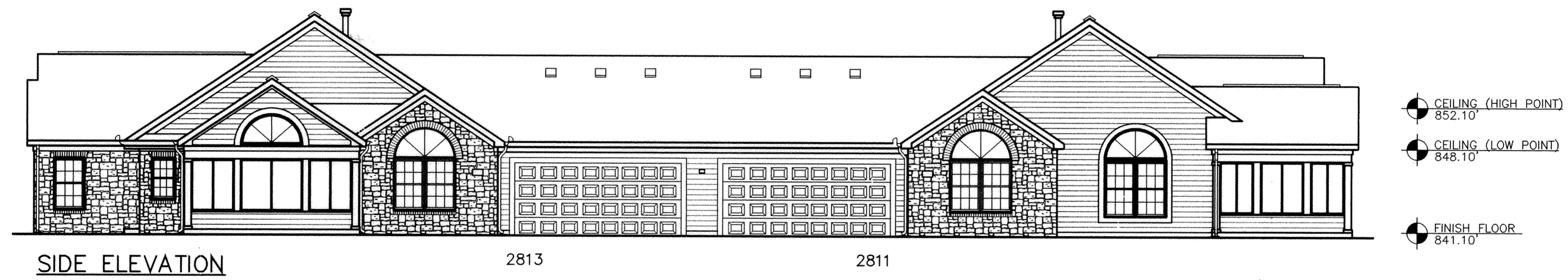
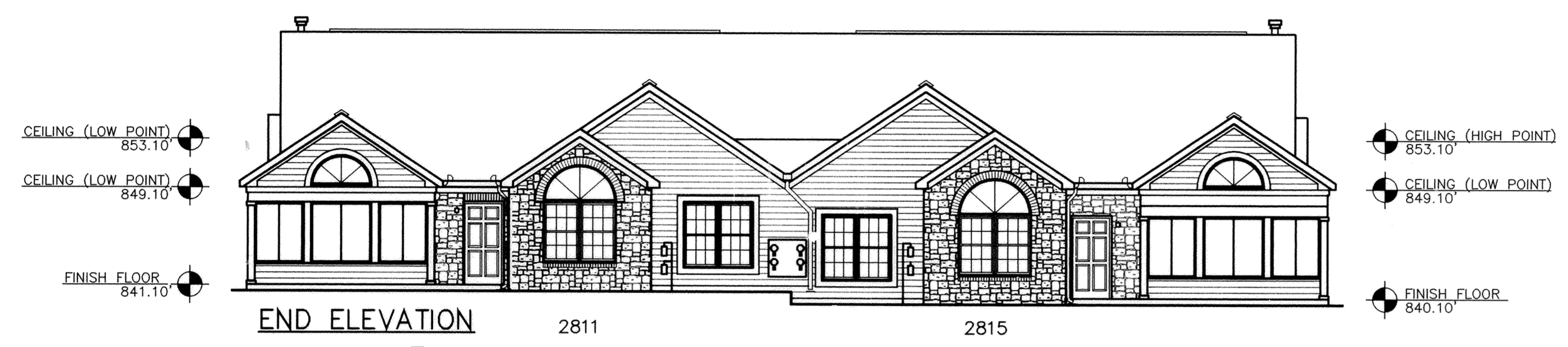
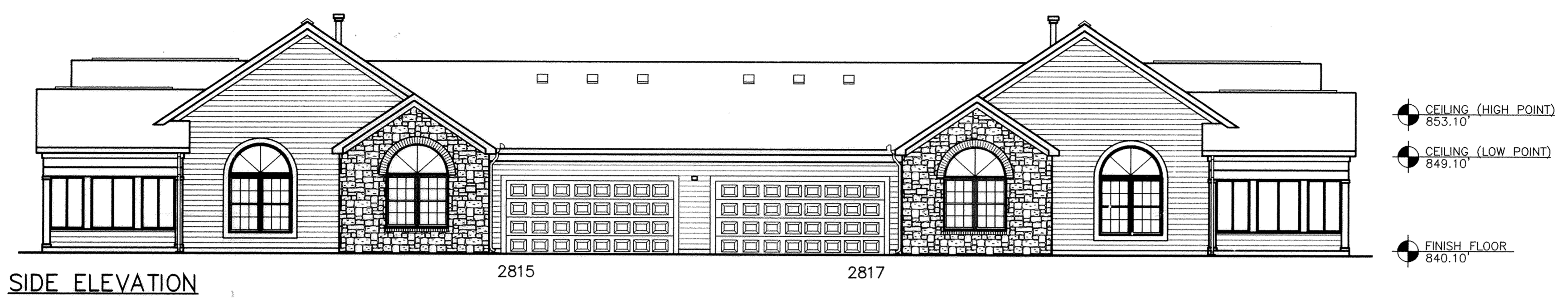
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ARCHITECTURAL ALLIANCE
165 North Fifth Street • Columbus, Ohio 43215 • (614) 469-7500 • fax: 469-0500

Project Number
A5011

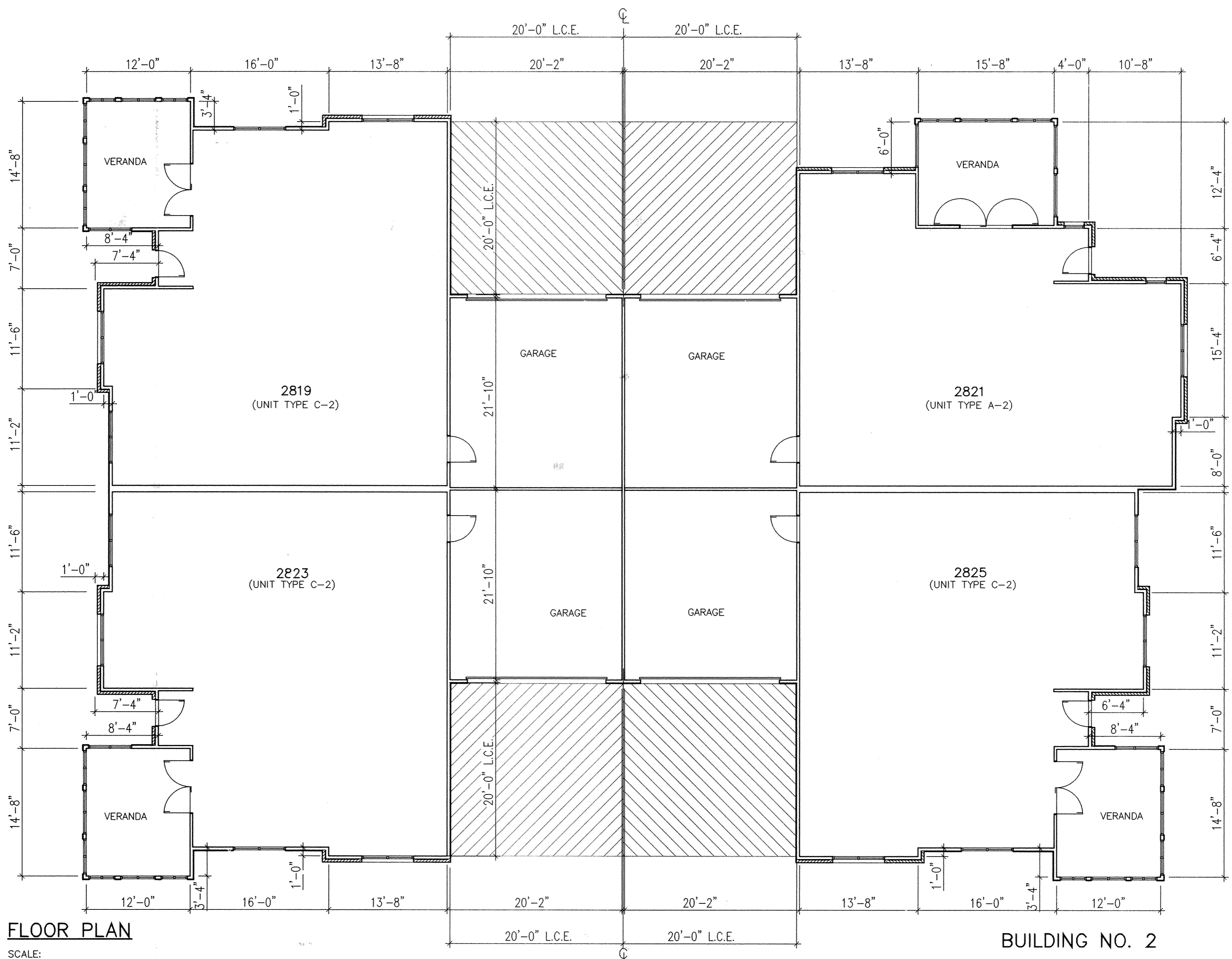
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Sheet Number
7 OF 14

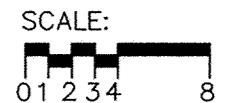


FINISH FLOOR ELEVATIONS ARE BASED ON NAVD 88

BUILDING NO. 1



FLOOR PLAN



NOTE:
 [Hatched Area Symbol] AREAS DESIGNATED THUS: INDICATES LIMITED COMMON ELEMENT PERTAINING TO ADJACENT UNIT

L.C.E. = LIMITED COMMON ELEMENT

BUILDING NO. 2

THE DRAWINGS OF
 THE VILLAGE OF
 RIVER WALK
 CONDOMINIUMS

Drawing	Date
<input type="checkbox"/> Preliminary	_____
<input type="checkbox"/> Bid	_____
<input type="checkbox"/> Permit	_____
<input type="checkbox"/> Construction	_____

Revisions

▲	_____
▲	_____
▲	_____
▲	_____
▲	_____

Seal

ARCHITECTURAL ALLIANCE
 165 North Fifth Street • Columbus, Ohio 43215 • (614) 469-7500 • fax: 469-0510

Project Number
 A5011

Sheet Title

Sheet Number
 8 OF 14

THE DRAWINGS OF
THE VILLAGE OF
RIVER WALK
CONDOMINIUMS

Drawing Date
 Preliminary _____
 Bid _____
 Permit _____
 Construction _____

Revisions
 ▲ _____
 ▲ _____
 ▲ _____
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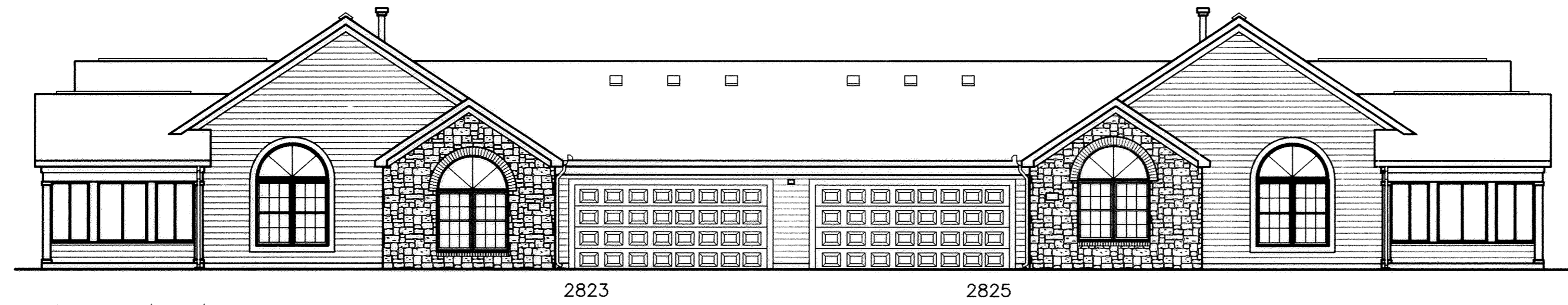
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ARCHITECTURAL ALLIANCE
 165 North Fifth Street • Columbus, Ohio 43215 • (614) 469-7500 • fax: 469-0500

Project Number
A5011

Sheet Title

Sheet Number
9 OF 14



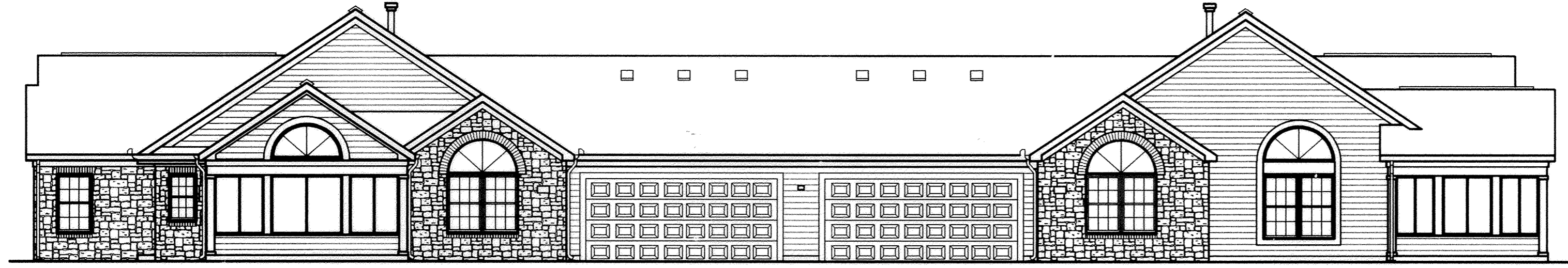
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850.30'
 CEILING (LOW POINT)
846.30'
 FINISH FLOOR
838.30'

SIDE ELEVATION



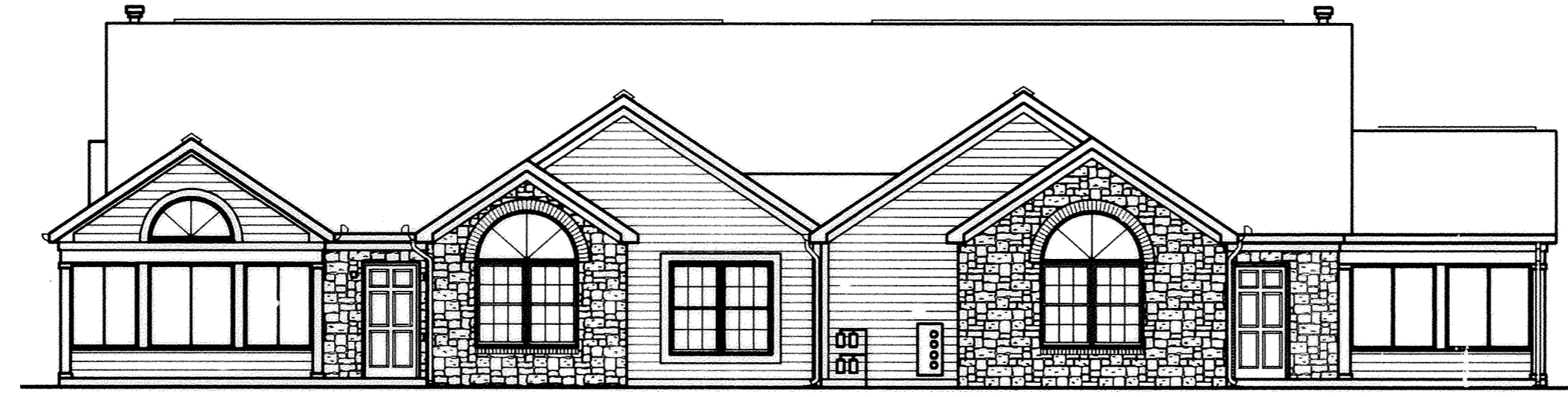
CEILING (LOW POINT)
850.30'
 CEILING (LOW POINT)
846.30'
 FINISH FLOOR
838.30'

END ELEVATION



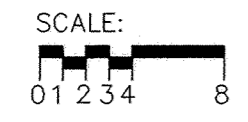
CEILING (LOW POINT)
850.30'
 CEILING (LOW POINT)
846.30'
 FINISH FLOOR
838.30'

SIDE ELEVATION



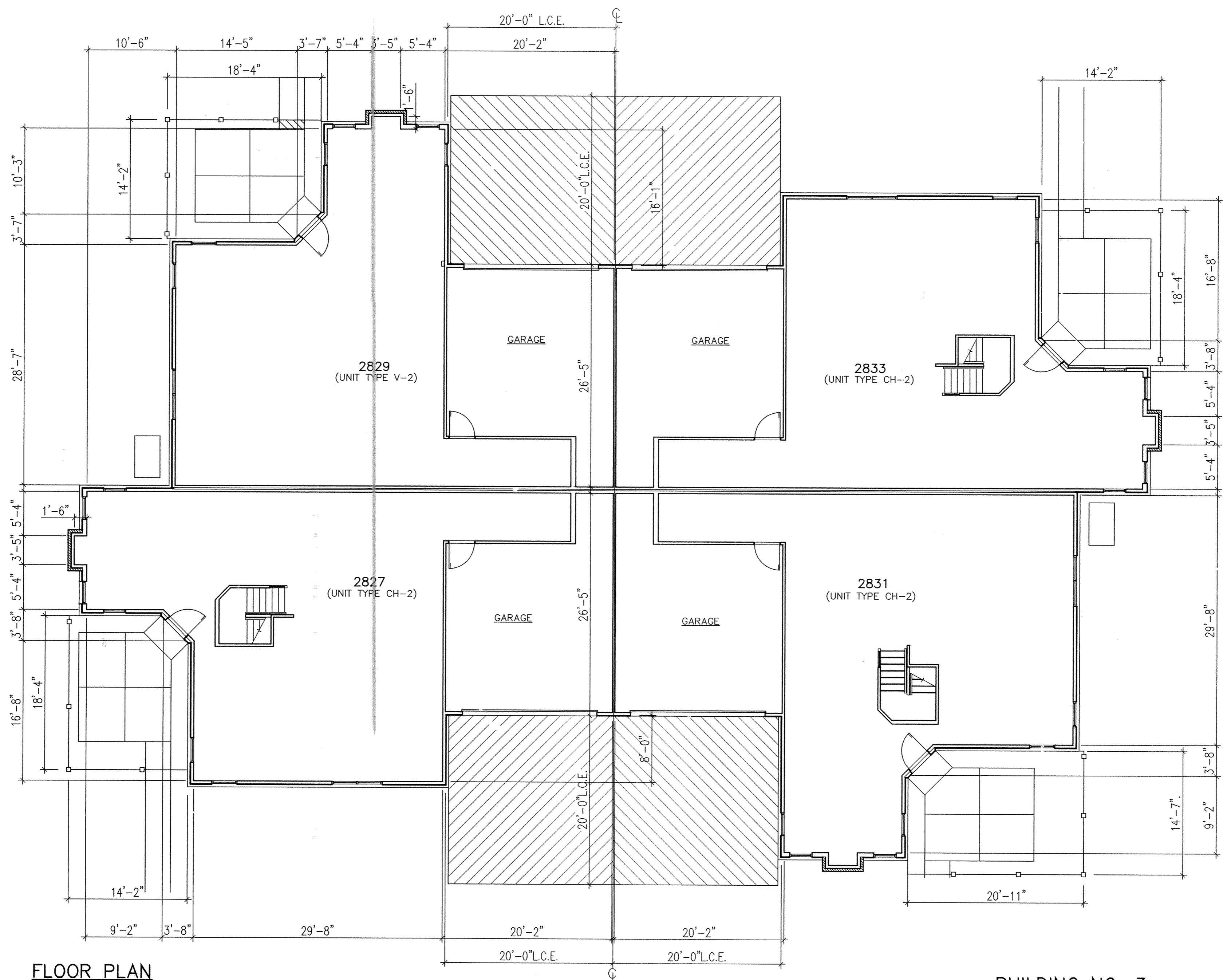
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850.30'
 CEILING (LOW POINT)
846.30'
 FINISH FLOOR
838.30'

END ELEVATION

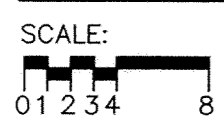


FINISH FLOOR ELEVATIONS ARE BASED
ON NAVD 88

BUILDING NO. 2



FLOOR PLAN



NOTE:

AREAS DESIGNATED THUS: INDICATES LIMITED COMMON ELEMENT PERTAINING TO ADJACENT UNIT

L.C.E. = LIMITED COMMON ELEMENT

BUILDING NO. 3

THE DRAWINGS OF
THE VILLAGE OF
RIVER WALK
CONDOMINIUMS

Drawing	Date
<input type="checkbox"/> Preliminary	_____
<input type="checkbox"/> Bid	_____
<input type="checkbox"/> Permit	_____
<input type="checkbox"/> Construction	_____

Revisions	
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▲	_____
▲	_____
▲	_____

Seal

ARCHITECTURAL ALLIANCE
185 North Fifth Street • Columbus, Ohio 43215 • (614) 469-7500 • Fax: 469-0500

Project Number
A5011

Sheet Title

Sheet Number
10 OF 14

THE DRAWINGS
OF
THE VILLAGE OF
RIVER WALK
CONDOMINIUMS

Drawing	Date
<input type="checkbox"/> Preliminary	_____
<input type="checkbox"/> Bid	_____
<input type="checkbox"/> Permit	_____
<input type="checkbox"/> Construction	_____

Revisions
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Seal

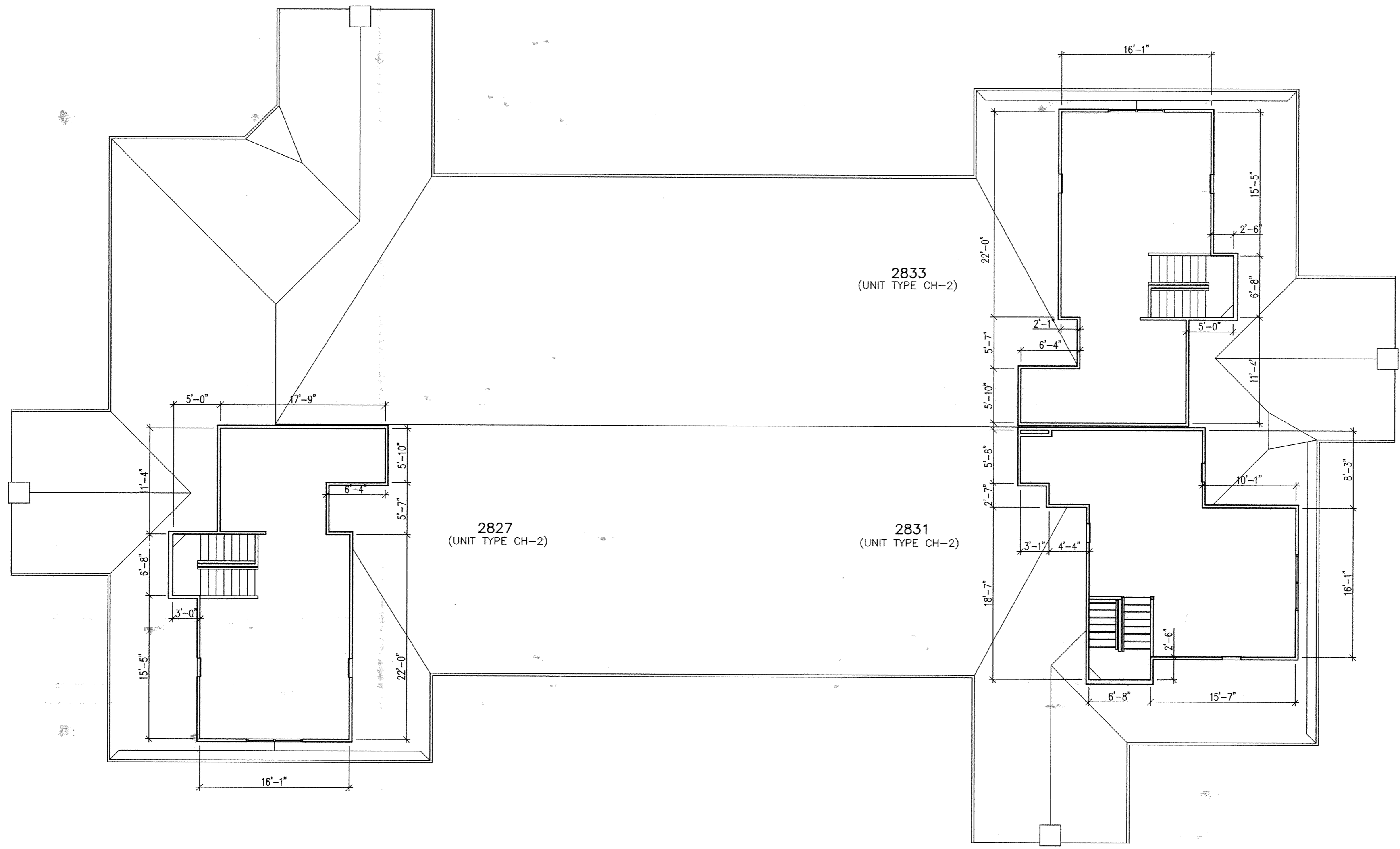
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ARCHITECTURAL ALLIANCE
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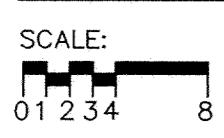
Project Number
A5011

Sheet Title

Sheet Number
11 OF 14



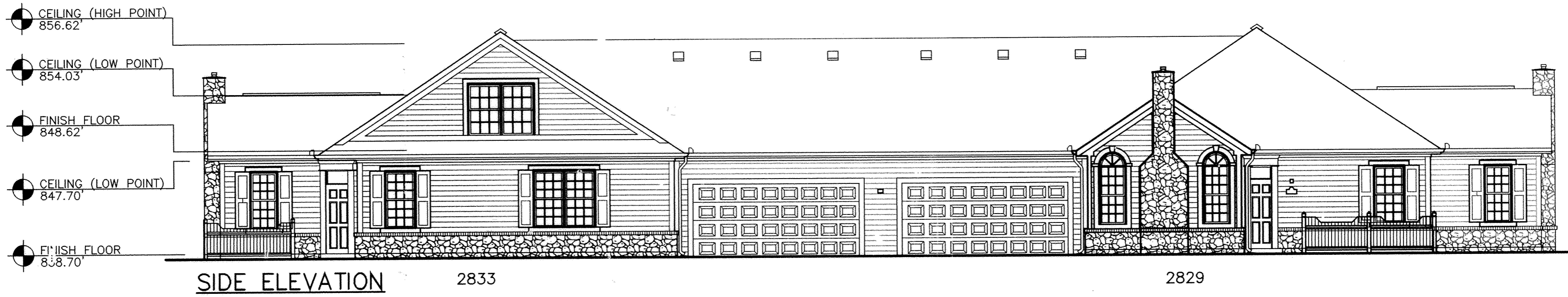
FLOOR PLAN



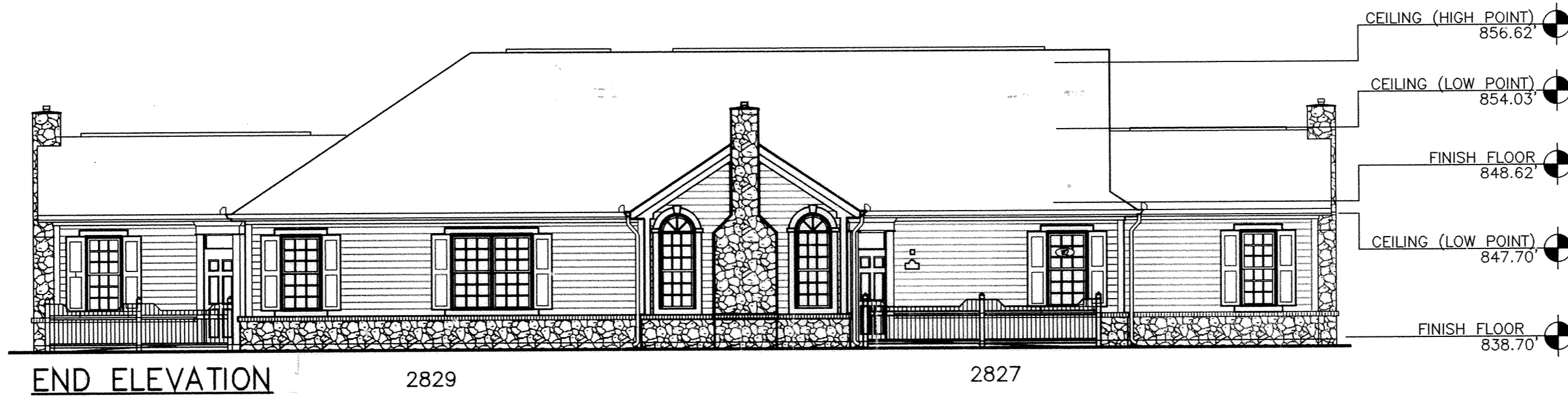
NOTE:
 [Hatched Box] AREAS DESIGNATED THUS: INDICATES LIMITED COMMON ELEMENT PERTAINING TO ADJACENT UNIT

L.C.E. = LIMITED COMMON ELEMENT

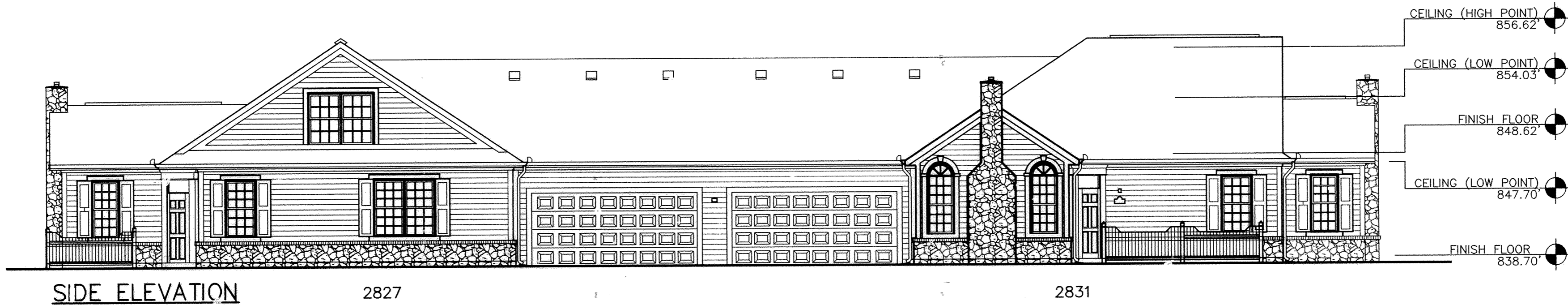
BUILDING NO. 3



SIDE ELEVATION 2833 2829



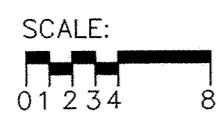
END ELEVATION 2829 2827



SIDE ELEVATION 2827 2831



END ELEVATION 2831 2833



FINISH FLOOR ELEVATIONS ARE BASED ON NAVD 88

BUILDING NO. 3

THE DRAWINGS OF THE VILLAGE OF RIVER WALK CONDOMINIUMS

Drawing	Date
<input type="checkbox"/> Preliminary	
<input type="checkbox"/> Bid	
<input type="checkbox"/> Permit	
<input type="checkbox"/> Construction	

Revisions	
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▲	▲

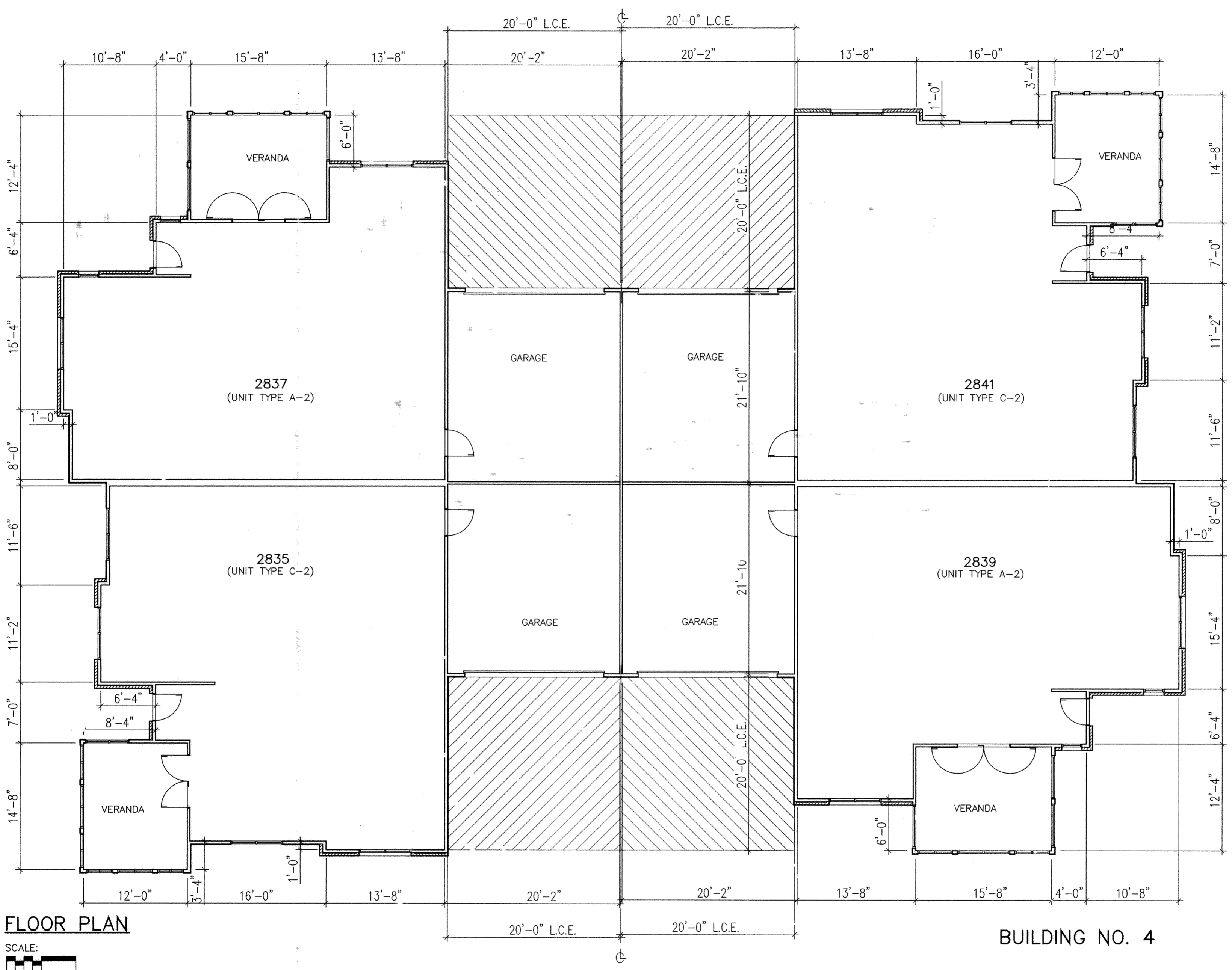
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ARCHITECTURAL ALLIANCE
 165 North Fifth Street • Columbus, Ohio 43215 • (614) 469-7500 • fax: 469-0500

Project Number A5011

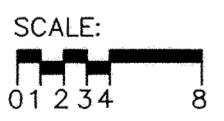
Sheet Title

Sheet Number 12 OF 14



FLOOR PLAN

BUILDING NO. 4



NOTE:
 AREAS DESIGNATED THUS, INDICATES LIMITED COMMON ELEMENT PERTAINING TO ADJACENT UNIT

L.C.E. = LIMITED COMMON ELEMENT

THE DRAWINGS OF
 THE VILLAGE OF
 RIVER WALK
 CONDOMINIUMS

Drawing	Date
<input type="checkbox"/> Preliminary	_____
<input type="checkbox"/> Bid	_____
<input type="checkbox"/> Permit	_____
<input type="checkbox"/> Construction	_____

Revisions
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▲ _____
▲ _____

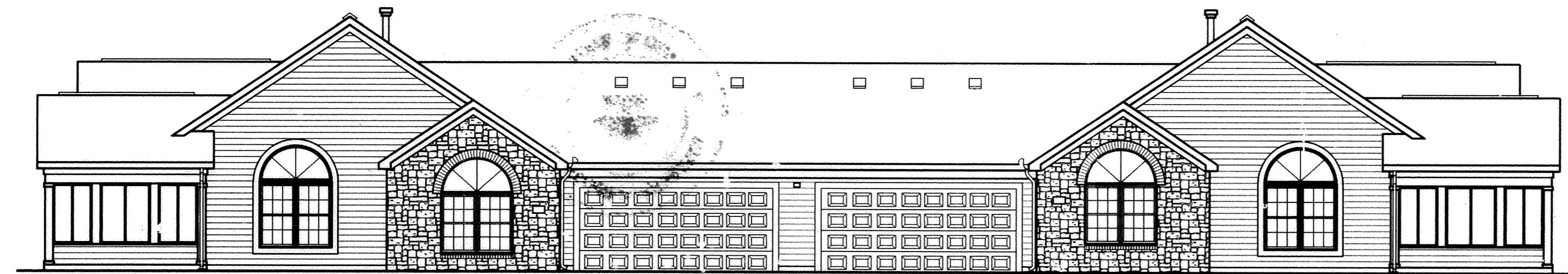
Seal

ARCHITECTURAL ALLIANCE
 165 North Fifth Street • Columbus, Ohio 43215 • (614) 469-7500 • fax: 469-0500

Project Number
 A5011

Sheet Title

Sheet Number
 13 OF 14



SIDE ELEVATION

2835
2841

2839
2837

CEILING (LOW POINT)
851.40'

CEILING (LOW POINT)
847.40'

FINISH FLOOR
839.40'



END ELEVATION

2837
2839

2835
2841

CEILING (LOW POINT)
851.40'

CEILING (LOW POINT)
847.40'

FINISH FLOOR
839.40'

THE DRAWINGS
OF
THE VILLAGE OF
RIVER WALK
CONDOMINIUMS

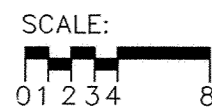
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<input type="checkbox"/> Bid	
<input type="checkbox"/> Permit	
<input type="checkbox"/> Construction	

Revisions	Date
▲	
▲	
▲	
▲	

Seal

ARCHITECTURAL ALLIANCE
 165 North Fifth Street • Columbus, Ohio 43215 • (614) 489-7500 • fax: 489-0500

FINISH FLOOR ELEVATIONS ARE BASED
ON NAVD 88



BUILDING NO. 4

Project Number
A5011

Sheet Title

Sheet Number
14 OF 14

**ALLEY VACATION
IN CREPS ADDITION
D.V. A, PG. 418
WESTMINSTER
SITUATED IN:
SE 1/4 SECTION 18,
T-4-S, R-8-E,
AUGLAIZE TOWNSHIP,
ALLEN COUNTY, OHIO**

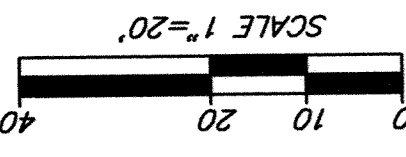
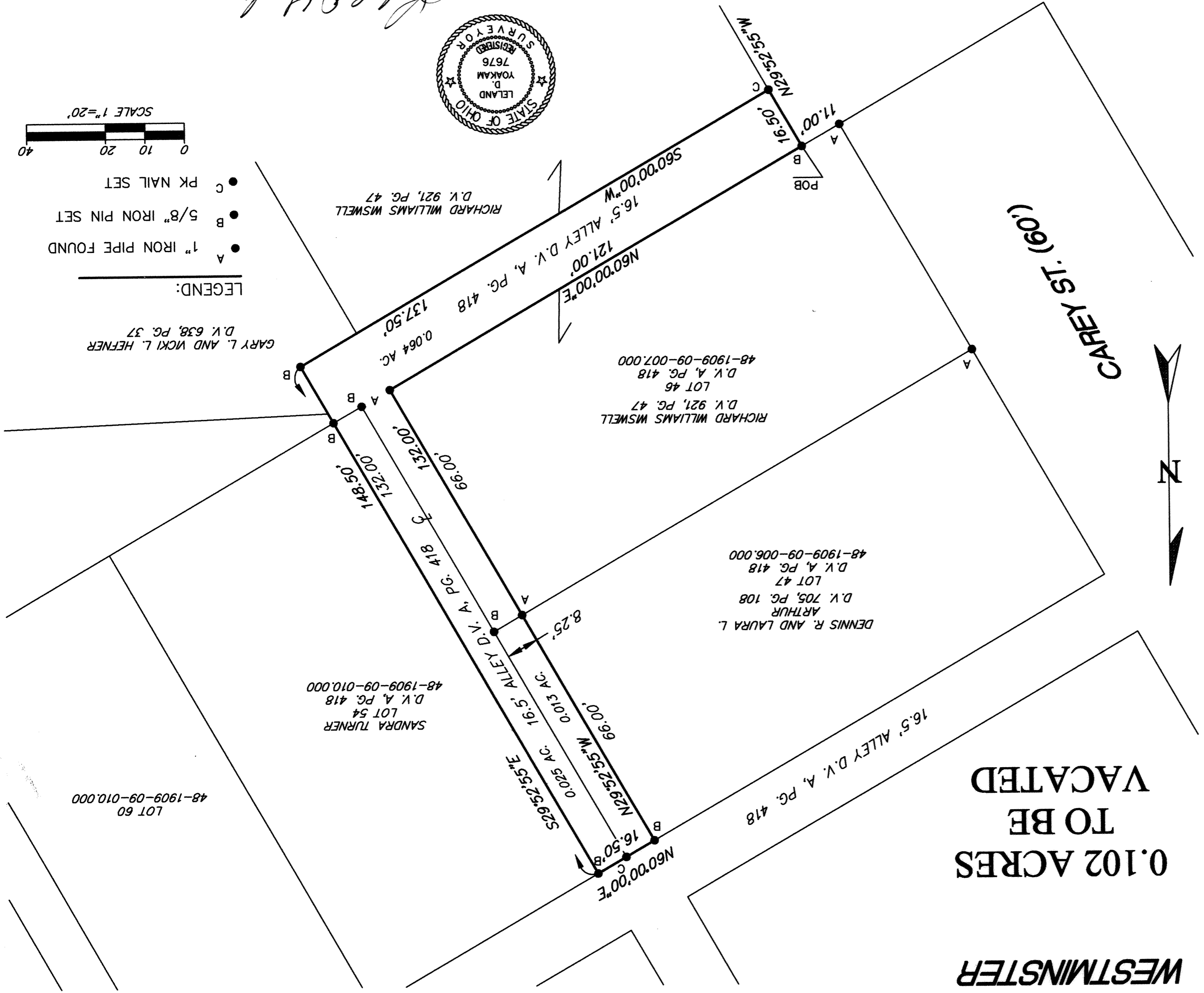
DESCRIPTION FOR VACATION

The following described parcel of land is situated in the North Half of the Southeast Quarter of Section 18, Township 4 South, Range 8 East, in the Village of Westminister (Deed Volume A, Page 418), Allen County, Ohio, and is more particularly described as follows: Beginning at a 1 inch iron pipe (found) at the Southwest Corner of Lot 46 in the Original Plat of Westminister; thence with the South line of Lot 46, N 60° 00' 00" E, a distance of 11.00 feet to the Northwest Corner of a 16.5 foot alley, also being the POINT OF BEGINNING for the parcel to be described; thence with the North line of said alley, N 60° 00' 00" E, a distance of 121.00 feet to a 1 inch iron pipe (found); thence with the West line of a 16.5 foot alley, N 29° 52' 55" W, a distance of 132.00 feet to a 5/8 inch iron pin (set); thence N 60° 00' 00" E, a distance of 16.5 feet to a 5/8 inch iron pin (set); thence with the East line of a 16.5 foot alley, S 29° 52' 55" E, a distance of 148.50 feet to a 5/8 inch iron pin (set); thence with the North line of property owned by Richard W. Wiswell as described in Deed Volume 921, Page 47, S 60° 00' 00" W, a distance of 137.50 feet to a P K nail (set); thence N 29° 52' 55" W, a distance of 16.5 feet to the POINT OF BEGINNING. Containing 0.102 acres, more or less, subject to all easements of record. This description is based on an actual field survey performed in January, 2005 and was prepared by Leland D. Yoakam L.S. No. 7676. All bearings are accurate as to material and location and are in place. All bearings are assumed and refer to the South line of Lot 46 as being N 60° 00' 00" E.

REVIEWED BY: *M. J. ...*
MICHAEL L. KOWERT, P.S.
ALLEN COUNTY ENGINEER
DATE: 2/11/05

RESOLUTION
Resolution No. 04-2005 Dated: Nov. 15, 2005
Recorded in Deed Volume 939, Page 101
COUNTY AUDITOR'S CERTIFICATE
Filed for transfer on this 28th day of March 2005.
Ben E. ...
Auditor, Allen County, Ohio

COUNTY RECORDERS CERTIFICATE
Filed for record under file # 200524717 on this 28th day of March 2005, at a time of 11:56 A.M. in the County Recorder's Office for a fee of \$4.40 and recorded in Plat Book 26 Page 159 and Deed Volume 939, Page 101.
Mona S. ...
Recorder, Allen County, Ohio



- LEGEND:
- A 1" IRON PIPE FOUND
 - B 5/8" IRON PIN SET
 - C PK NAIL SET
- GARY L. AND WICKI L. HEFNER
D.V. 638, PG. 37

YOAKAM SURVEYING
9425 Sugar Creek Rd
Harrod, Ohio 45850
Leland D. Yoakam, P.S. 7676
Phone (419) 643-2805

CLIENT: RICHARD WISWELL
COUNTY: ALLEN
TOWNSHIP: AUGLAIZE
SURVEYED BY: L.D.Y.
SHEET: 1 OF 1
SCALE: 1"=100'
DATE: JAN. 2005

LELAND D. YOAKAM, REG. SUR. #7676
Leland D. Yoakam

THIS PLAT REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED IN JANUARY OF 2005. ALL MARKERS ARE ACCURATE AS TO MATERIAL AND LOCATION AND ARE IN PLACE. ALL BEARINGS REFER TO THE SOUTH LINE OF LOT 46 AS BEING N 60° 00' 00" E.

ZONING: R-1 RESIDENTIAL

MONTICELLO PHASE 2

IN THE S.E. 1/4 SECTION 9,
THE S.W. 1/4 SECTION 10,
THE N.W. 1/4 SECTION 15
& THE N.E. 1/4 SECTION 16
T4S - R6E, SHAWNEE TOWNSHIP
ALLEN COUNTY, OHIO

SHAWNEE DEVELOPMENT, LTD. (VOL.880, P.278)

ALL OF TAX PARCELS:
46-1003-04-014.001 (2.558 ACRES)
& 46-1506-01-002.001 (2.229 ACRES)
PART OF TAX PARCELS:
46-0904-05-012.000 (2.955 ACRES)
& 46-1605-01-001.002 (4.965 ACRES)

OVERALL AREA = 12.707 ACRES
AREA IN ROAD RIGHT OF WAY = 2.130 ACRES

DESCRIPTION
MONTICELLO PHASE 2
12.707 ACRES

Being a parcel of land situated in the Southeast Quarter of Section 9; Southwest Quarter of Section 10; Northwest Quarter of Section 15; and the Northeast Quarter of Section 16; Township 4 South, Range 6 East, Shawnee Township, Allen County, Ohio, and being more particularly described as follows:

BEGINNING FOR THE SAME at a concrete monument found on the west line of Alexandria Drive marking the southeast corner of Lot 29798 in Monticello Phase 1 (Plat Book 25, Page 184) -

Thence on and along a curve to the right having a radius of 3795.35 feet, an arc length of 108.48 feet, a delta of 01°-38'-15" and a chord bearing North 00°-37'-50" East for a distance of 108.47 feet to a concrete monument found -

Thence North 83°-16'-22" East for a distance of 60.63 feet to a concrete monument found -

Thence on and along a curve to the right having a radius of 30.00 feet, an arc length of 45.13 feet, a delta of 86°-12'-00" and a chord bearing North 44°-40'-54" East for a distance of 41.00 feet to a concrete monument found on the south line of Potomac Drive -

Thence North 87°-46'-54" East on and along said south line for a distance of 127.11 feet to a concrete monument found -

Thence South 02°-13'-06" East for a distance of 1292.44 feet to a concrete monument set -

Thence South 88°-29'-53" West for a distance of 705.01 feet to a concrete monument set, passing at 166.43 feet a 12-inch diameter wood corner post found -

Thence North 42°-19'-57" East for a distance of 259.39 feet to a concrete monument set on the southerly line of Alexandria Drive -

Thence on and along a curve to the right having a radius of 187.00 feet, an arc length of 207.39 feet, a delta of 63°-32'-37" and a chord bearing North 33°-59'-24" West for a distance of 196.93 feet to a concrete monument set on the west line of Gaithersburg Drive -

Thence North 02°-13'-06" West on and along said west line for a distance of 28.25 feet to a concrete monument set -

Thence North 87°-46'-54" East for a distance of 245.76 feet to a concrete monument set -

Thence North 02°-13'-06" West for a distance of 762.00 feet to a concrete monument found marking the southwest corner of Lot 29798 in Monticello Phase 1 -

Thence North 87°-46'-54" East on and along the south line of said Lot for a distance of 158.03 feet to the place of beginning.

Containing in all 12.707 acres of land subject, however, to all legal easements and rights of way.

2.955 acres in Section 9
2.558 acres in Section 10
2.229 acres in Section 15
4.965 acres in Section 16
12.707 acres

NOTES: 1. Bearings are based on the south line of the Northeast 1/4 of Section 16 and the centerline of Zurnehly Road as being South 88°-20'-55" West.
2. All concrete monuments found or set contain an embedded 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.

For affidavits as to data for curves see Deed Vol 950 Page 741.

LEGEND

- Ⓜ CONCRETE MONUMENT W/ 5/8" X 30" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- Ⓜ CONCRETE MONUMENT W/ 5/8" IRON PIN CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH" FOUND
- 5/8" X 30" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- ▲ 12" ROUND WOOD CORNER POST FOUND (DETERIORATED, HOLLOWED OUT, APPROX. 4' REMAINING)
- Ⓧ CHISELED "X" IN A MONUMENT BOX FOUND
- Ⓜ BRASS MONUMENT ASSEMBLY SET

LINE TABLE

LINE	LENGTH	BEARING
L1	60.63'	N 83°16'22" E
L2	127.11'	N 87°46'54" E
L3	30.24'	S 87°46'54" W
L4	28.25'	N 02°13'06" W
L5	162.85'	S 87°46'54" W
L6	90.70'	S 87°46'54" W
L7	28.25'	N 02°13'06" W
L8	40.79'	N 88°31'06" E
L9	19.43'	N 88°15'57" E

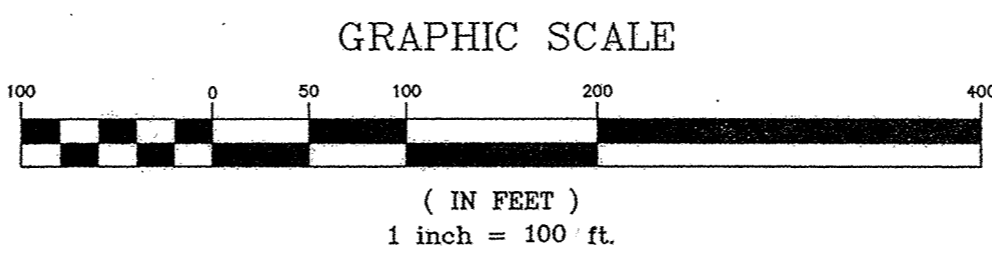
CURVE TABLE

CURVE	CHORD DIRECTION	CHORD LENGTH	ARC LENGTH	RADIUS	DELTA
1	N 00°37'50" E	108.47'	108.48'	3795.35'	01°38'15"
2	N 44°40'54" E	41.00'	45.13'	30.00'	86°12'00"
3	S 81°56'57" W	43.29'	43.37'	213.00'	11°39'54"
4	N 33°59'24" W	196.93'	207.39'	187.00'	63°32'37"
5	S 02°14'47" E	493.93'	494.28'	3765.35'	07°31'17"
6	N 06°35'58" W	316.60'	316.69'	4059.12'	04°28'12"
7	S 42°08'26" W	268.83'	299.52'	188.00'	91°16'57"
8	N 47°13'06" W	229.10'	254.47'	162.00'	90°00'00"
9	S 00°45'36" W	107.13'	107.14'	3735.35'	01°56'40"
10	S 01°03'33" E	130.03'	130.03'	3735.35'	01°59'40"
11	S 03°03'13" E	130.01'	130.02'	3735.35'	01°59'40"
12	S 05°01'22" E	126.75'	126.76'	3735.35'	01°56'40"
13	N 08°48'00" W	3.42'	3.42'	4089.12'	00°02'53"
14	N 07°47'26" W	140.66'	140.67'	4089.12'	01°58'16"
15	N 05°57'07" W	121.77'	121.77'	4089.12'	01°42'22"
16	S 48°39'31" E	41.35'	45.02'	30.00'	87°07'10"
17	S 42°06'22" W	42.92'	47.83'	30.00'	91°21'04"
18	N 03°32'06" W	4.89'	4.89'	4084.12'	00°04'07"
19	N 11°20'15" E	109.09'	110.32'	213.00'	29°40'35"
20	N 35°05'20" E	66.00'	66.27'	213.00'	17°49'34"
21	N 51°11'06" E	53.27'	53.41'	213.00'	14°21'58"
22	N 67°14'32" E	65.72'	65.98'	213.00'	17°44'56"
26	N 37°14'32" E	212.77'	231.82'	163.00'	81°29'10"
27	N 03°32'51" W	6.60'	6.60'	4034.12'	00°05'37"
28	N 04°24'01" W	113.08'	113.09'	4029.12'	01°36'29"
29	N 06°02'17" W	117.26'	117.26'	4029.12'	01°40'03"
30	N 07°45'02" W	123.58'	123.58'	4029.12'	01°45'27"
31	N 08°44'14" W	15.17'	15.17'	4029.12'	00°12'57"
32	S 05°08'29" E	116.08'	116.08'	3795.35'	01°45'09"
33	S 03°14'45" E	135.02'	135.03'	3795.35'	02°02'18"
34	S 01°12'27" E	135.02'	135.03'	3795.35'	02°02'18"
35	N 03°55'57" W	61.18'	61.18'	4059.12'	00°51'49"
36	S 88°33'40" E	23.86'	23.87'	187.00'	07°18'52"
37	S 75°20'00" E	62.18'	62.47'	187.00'	19°08'29"

REFERENCES INCLUDE DEEDS, TAX MAPS, OFFICE RECORDS AND THE FOLLOWING SURVEYS:
-KUCK & MORRISY PLAT DATED 3-9-2001.
-KOHLI & KALIHAR PLAT OF 176.541 ACRES DATED 6-12-98.
-MONTICELLO PHASE 1 (P.B.25, P.184).

DEVELOPER:
SHAWNEE DEVELOPMENT, LTD
109 MILES AVENUE
CANTON, OHIO 44708
(330) 455-2672

PREPARED BY:
SHELDON ENGINEERING & SURVEYING, INC.
1280 N. COLE ST. LIMA, OHIO 45801
TELE: (419) 228-4421
JAMES D. SHELDON, P.E., P.S.



REVIEWED BY:
[Signature]
MICHAEL L. HOWERT, P.S.
ALLEN COUNTY ENGINEER
DATE: 3/22/05

SHELDON ENGINEERING & SURVEYING, INC.



LIMA, OHIO

NO.	DATE	DESCRIPTION	BY

JOB #22074PS2.DWG
DRAWN WSM
CHECKED JDS
APPROVED JDS
DATE 02-15-2005
JOB NO. 22074PS2
SCALE 1" = 100'

DRAINAGE MAINTENANCE ASSESSMENT

ALL FEE HOLDERS AND ALL RECEIVING TITLE TO THE FEE THROUGH THEM ARE SUBJECT TO PAYMENT OF DRAINAGE MAINTENANCE FEES ASSESSED OR TO BE ASSESSED BY THE COUNTY PURSUANT TO OHIO REVISED CODE SECTIONS 6131 AND 6137. A SPECIFIC AND DISTINCT DITCH MAINTENANCE FUND SHALL BE CREATED AS PER THE REFERENCED SECTIONS OF THE OHIO REVISED CODE FOR THIS PROJECT.

OWNERS' DEDICATION AND ACKNOWLEDGMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT, AND DEDICATE THE STREETS AS SHOWN THEREON, COMPRISING A TOTAL OF 2.130 ACRES, TO THE PUBLIC USE FOREVER.

EASEMENTS SHOWN ON THIS PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, OR REMOVAL OF WATER, STORM SEWER, OPEN DITCH, SANITARY SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER UTILITY LINES OR SERVICES AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER.

THIS PLAT IS SUBJECT TO THE COVENANTS AND RESTRICTIONS AS SET FORTH ON SHEETS 3 & 4 OF THIS PLATTING.

[Signature]
WITNESS

[Signature] Managing Member
AUTHORIZED AGENT - SHAWNEE DEVELOPMENT ~~ASSOCIATION~~ LTD.

[Signature]
WITNESS

[Signature]
WITNESS

NOTARY PUBLIC

STATE OF OHIO
ss: Stark
COUNTY

BE IT REMEMBERED THAT ON THIS 15 DAY OF March, 2005, PERSONALLY CAME THE SAID Stephen E. Yoder, TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE THEIR VOLUNTARY ACT AND DEED. as Managing Member.



[Signature]
NOTARY PUBLIC IN AND FOR Stark COUNTY, OHIO

MY COMMISSION EXPIRES: _____

APPROVAL BY THE REGIONAL PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE PLANNING COMMISSION ON 1 MARCH 2005

THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THE DATE OF THIS APPROVAL.

22 March 2005
DATE

[Signature]
DIRECTOR OF THE LIMA-ALLEN COUNTY
REGIONAL PLANNING COMMISSION

ALLEN COUNTY COMBINED HEALTH DISTRICT

I HEREBY CERTIFY THAT THIS PLAT MEETS THE REQUIREMENTS OF THE ALLEN COUNTY COMBINED HEALTH DISTRICT.

3/30/05
DATE

[Signature]
DIRECTOR, ALLEN COUNTY
COMBINED HEALTH DISTRICT

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS FILED FOR TRANSFER ON March 30th, 2005.
FEE: \$ 11.00

[Signature]
ALLEN COUNTY AUDITOR 55

200504865

COUNTY RECORDER

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON March 30, 2005, 2005 AND THAT IT WAS RECORDED ON March 30, 2005, 2005 IN VOL. 24, PAGE 160, PLAT RECORDS OF ALLEN COUNTY, OHIO, FEE: \$ 207.00

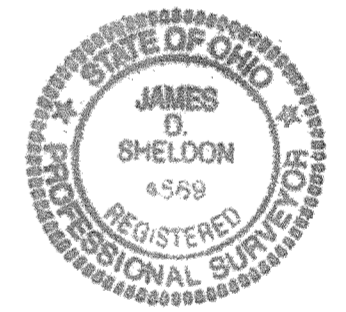
[Signature]
ALLEN COUNTY RECORDER

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY SUPERVISION IN NOVEMBER, 2003 AND THAT ALL MARKERS ARE CORRECTLY SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE WITHIN SIX (6) MONTHS FROM THE DATE OF RECORDING.

14 MAR 05
DATE

[Signature]
JAMES D. SHELDON, P.E., P.S.
OHIO REGISTERED SURVEYOR #4569



COUNTY ENGINEER'S CERTIFICATION

HAVING CHECKED THE CONSTRUCTION OF THE STREETS IN THE SUBDIVISION, I FIND THAT THEY HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH ON THE PLANS AND REGULATIONS THEREOF, AND THAT THEY ARE IN GOOD REPAIR AND THIS ENDORSEMENT SHALL CONSTITUTE ACCEPTANCE OF THE STREETS FOR PUBLIC USE.

IF THE STREETS HAVE NOT BEEN INSTALLED, I AM IN AGREEMENT WITH THE PERFORMANCE BOND TO ENSURE THE COMPLETION OF CONSTRUCTION WHICH HAS BEEN FILED WITH AND APPROVED BY THE PLANNING COMMISSION.

3/22/05
DATE

[Signature]
COUNTY ENGINEER MLY

APPROVAL OF COUNTY COMMISSIONERS

IN ACCORDANCE WITH OHIO REVISED CODE SECTION 711.041, THE BOARD OF ALLEN COUNTY COMMISSIONERS HEREBY ACCEPTS THIS PLAT BY COMMISSIONER'S RESOLUTION NUMBER 158-05, DATE 3/29/05, SAID PLAT HAVING BEEN APPROVED BY THE ALLEN COUNTY ENGINEER AND THE LIMA ALLEN COUNTY REGIONAL PLANNING COMMISSION.

[Signature]
PRESIDENT OF THE BOARD OF ALLEN COUNTY COMMISSIONERS

MONTICELLO PHASE 2 COVENANTS, CONDITIONS, AND RESTRICTIONS

Whereas Shawnee Development, Ltd. herein referred to as "Developer" being the Owner of certain real estate located in Shawnee Township, Allen County, Ohio, which it intends to develop into a single family residential development, hereinafter called Monticello Subdivision, containing at least three Phases is hereinafter referred to collectively as the "Development."

Now, therefore, Developer does hereby establish, for the twenty-two (22) single family residential lots contained in Phase 2 of the Development (hereinafter collectively referred to as "Lots"), the following covenants, conditions, and restrictions (hereinafter collectively referred to as "Restrictions"), as covenants running with the land and covering the Lots as dedicated in the plat for Phase 2, for the mutual benefit of any grantees and grantors, their heirs, successors, and assigns, and for the benefit and protection of all of the present and future owners of property in the Development.

1. No Lot or any part thereof shall be used for other than single family, private, residential purposes, and only one such residence shall be permitted on each Lot. No Lot shall be subdivided or any Lot sold except as a whole, except that the Developer shall have the right to divide Lots for the purpose of adding parts thereof to other Lots or tracts in each case to be used for one single-family residence on the enlarged tracts.

No Lot shall be used as a hotel, rooming house, boarding house, group home, halfway house, or other type of group or communal living by persons not related by blood or marriage. A blood relative shall be defined to include only the following: parents and children or stepchildren; brother and sister; half-brother and half-sister; adopted children and children of a spouse, grandparents and grandchildren; aunts, uncles, nephews and nieces; and first cousins.

No structure of any kind shall be erected on any Lot, any part of which is in violation of any front, side, and/or rear setback lines and requirements as established by Shawnee Township Zoning Ordinance, establishing such setback requirements for real property situated within an R-1 zoning classification, as such requirements are in effect at the time of construction.

2. Any dwelling erected in Phase 2 of the Development shall adhere to and comply with the following requirements:

(A) Single family dwellings shall meet the following requirements:

(1) Type. Single family dwelling may be a one-story, a two-story, a split-level, or Cape Cod design.

(a) One-story dwelling is a structure, the living area being the first floor, constructed with or without a basement and a space between the first floor ceiling and the roof of inadequate height to permit its use as a dwelling place.

(b) Two-story dwelling is a structure, the living area of which is on two levels connected by a stairway, constructed with or without a basement.

(c) Split-level dwelling is a structure, the living area of which is one, two, or more levels connected by stairways constructed with or without a basement.

(d) Cape Cod dwelling is a structure, the living area of which is on two levels connected by a stairway and constructed with or without a basement. The upper level is constructed within the gable portion of the roof, with window penetrations made by the use of dormers.

(2) Living Area. The living area of any dwelling shall be not less than the square footage hereinafter set forth. Living area shall not include garages, attics, basement, breezeways, patios, or any enclosed area not heated for year-round living.

(a) The area of any dwelling shall be computed on the outside foundation of the first floor and the exterior dimensions of the second floor. In the case of a Cape Cod design, a second floor area shall be computed from the outside dimensions of the knee walls.

In the case of open ceilings to the second floor, the upper open space may be computed as second floor footage. The minimum square footage for each of the above-described designs, computed as above shall be:

- (1) One-story: 2200 square feet
- (2) Two-story: 2400 square feet
- (3) Split-level: 2400 square feet
- (4) Cape Cod: 2400 square feet with not less than 2000 square feet in the first floor area.

(3) Garage. No garages shall be erected which are separate from the main building. All garages must be at least 484 square feet. Except upon express written consent of the Developer, all garages shall be side load garages. Upon reasonable request of a Lot owner, the Developer may permit a front load garage where, in the opinion of the Developer, Lot configuration will not permit utilization of a side load garage.

(4) A hard surfaced driveway of concrete, brick or stone shall be constructed on the Lot no later than six (6) months from the time of occupancy of the Lot, and in no event later than one (1) year from the commencement of construction. Any driveway aprons and/or approaches shall be constructed in compliance with Shawnee Township and Allen County regulations.

3. The Developer will establish and appoint an initial Architectural Review Board (the "Review Board"), to serve until the Developer relinquishes its authority to the Association, as provided for herein, for the following purposes:

(A) To provide a staff of persons for reviewing, evaluating, approving and disapproving proposed plans.

(B) To establish, maintain and preserve specific architectural guidelines and standards as provided for herein and to carry out the intent of these Restrictions, which guidelines and standards from time to time in effect with respect to all or any portion of a Lot in Phase 2, and shall hereinafter be referred to collectively as "Monticello Standards."

(C) To enforce the provisions of these Restrictions and Monticello Standards; Board Responsibilities: Effect of Actions; The Review Board shall exercise its best judgment to see that all improvements to Lots in Phase 2 conform to Monticello Standards and Restrictions as to external design, quality and types of construction, materials, colors, setting, height, grade, finished ground elevation, landscape, and tree removal. The actions of the Review Board, through its approval or disapproval of plans and other information submitted pursuant hereto, shall be conclusive and binding on all interested parties.

(D) Requirements of Plan Approval: No improvement, change, construction, addition, excavation, landscaping, tree removal, or other work or action which in any way alters the exterior appearance of Lots or residences placed thereon in Phase 2 from its theretofore natural or improved state (and no change, alteration or other modification of any of the foregoing previously approved hereunder), shall be commenced or continued until the same shall have first been approved in writing by the Review Board in accordance with Monticello Standards and Restrictions.

(E) Approval shall be acquired by submission to the Review Board of plans and specifications, in duplicate, showing the following:

(1) Existing and proposed land contours and grades: Developer reserves the right to establish grades and slopes in the Development and to fix the grade at which any building or structure shall be hereafter erected or placed, so that the same may conform to a general plan wherein the established grade and slope of each Lot, as the grade of the Lots on either side; having due regard for natural contours and drainage of the land.

(2) All Buildings, and other improvements, access drives, and other improved areas and the locations thereof on the site;

(3) All landscaping, including existing and proposed tree locations and planting areas (and specie thereof), and ornamentation. Any tree, over four inches in diameter measured three feet from grade, which is to be removed must be identified and approved for removal.

(4) Plans for all floors, cross sections and elevations, including projections and wing walls.

(5) Exterior lighting plans;

(6) Walls, fencing, and screening;

(7) Patios, decks, pools, and porches;

(8) Parking areas;

(9) Complete exterior color scheme & color samples.

(10) Samples of all major materials to be used.

(11) Such other information, data, drawings as may be reasonably requested by the Review Board. Specifications shall describe types of construction and exterior materials to be used.

(F) Basis of Approval: Approval shall be based, among other things, upon conformity and harmony of the proposed plans with Monticello Standards and Restrictions and other structures in Phase 2; the effect of the location and use of improvements on neighboring property; and conformity of the plans and specifications to the purpose and general intent of the Monticello Standards and Restrictions.

(G) Liability Relating to Approvals: Neither Developer, the Review Board, nor any member thereof, nor any of their respective heirs, personal representatives, successors or assigns, shall be liable to anyone submitting plans for approval by reason of mistakes in judgment, negligence, or nonfeasance arising out of or in connection with the approval or disapproval or failure to approve any plans, that he or it will not bring any action or suit against the Review Board or Developer in law or equity or to recover any damages.

(H) Requirement for Approval: The owner of a Lot or his representative shall submit simultaneously with building drawings for approval, a completed copy of the checklist; labeled Exhibit A, checklist indicating compliance or non-compliance with the Restrictions and Monticello Standards as listed, and shall furnish reasons for non-compliance on a separate page. This is intended to reduce delays and expedite approval.

(I) Association Review Board: At such time as all of the lots in the Development have been sold to individuals or entities other than the Developer, or an entity controlled by the Developer, and plans approved for each dwelling, or at such earlier time as the Developer may elect, the right to approve all closed construction or other items contained therein shall shift from the Developer to the Association Review Board (consisting of three (3) members) established by either the Association or the Developer, if the Developer has not yet relinquished such control. The Association Review Board shall be nominated and elected by a majority of the homeowners in the Development. The lot owner receiving the most votes will have a three (3) year term, the lot owner receiving the second most votes will have a two (2) year term, and the lot owner receiving the third most votes will have a one (1) year term. Thereafter, the Association Review Board shall be comprised of said three (3) members or their successors. Notwithstanding the foregoing, the initial Review Board appointed by the Developer need not consist of lot owners from the Development. Nothing contained herein shall be construed as a diminution in the Developer's authority to appoint the initial Review Board to make all review and approvals contemplated herein until the Association Review Board assumes said duties pursuant to the terms hereof or until the Developer relinquishes authority as provided herein. It is the intent of the Developer that there shall be one Review Board and/or Association Review Board for all of the lots in the Development.

4. No building of any kind may be erected or maintained on any of the Lots in Phase 2 until the plans and specifications, elevation, location, materials and grade thereof have been submitted in writing and are approved in writing by the Review Board.

5. The Lot owners shall maintain a general good appearance of said premises and shall in no case allow weeds to grow on any part of said Lot, including easements reserved for public utilities and the land lying between the front Lot line and the road improvement. A lawn shall be planted and seeded within six (6) months after occupancy of the residence, and in no event later than one (1) year from the commencement of construction. Prior to installation, landscaping design to be submitted along with house plans to Review Board for approval.

6. The erection of any building on said Lot must be completed within one (1) year from the beginning of building operations. No structure of a temporary character, trailer, travel trailer, park trailer, recreational vehicle, tent, shack, mini-barn, storage shed, barn, or other outbuilding or commercial advertising signs or billboards shall be erected, located, or maintained on any Lot. Structures including, but not limited to, trailer, basement dwellings, mini-barns, storage sheds or incomplete houses, tents, shacks, garages or other buildings of any kind are prohibited; provided, however, that this restriction shall not prohibit trailers and temporary structures used in connection with the development of the property.

No manufactured home, industrialized unit, or mobile home of any kind shall be placed, erected, located, or maintained on any Lot. A manufactured home is defined as a building unit or assembly of closed construction that is fabricated in an off-site facility. An industrialized unit is defined as a building unit or assembly of closed construction fabricated in an off-site facility, that is substantially self-sufficient as a unit or as part of a greater structure, and that requires transportation to the site of intended use. An industrial unit includes units installed on a Lot as independent units, as part of a group of units, or incorporated with standard construction methods to form a completed structural entity. A mobile home is defined as a building unit or assembly of closed construction that is fabricated at an off-site facility, is built on a permanent chassis, and is transportable in one or more sections.

7. In the construction of improvements on said Lots, no activities or any action will be taken which will cause Developer to be in violation of the local authority's permit for the Development or any violation of the erosion and sediment control plans and any other relevant plans and more specifically will not permit sediment to be discharged on adjoining property, on paved surfaces, or into public storm sewer systems. A copy of all applicable plans are on the file in the office of The Shirkey Company at 1340 Market Avenue North, Canton, Ohio 44714. The Builder of a residence on a Lot agrees to submit an individual Lot notice of intent (NOI) to the Ohio Environmental Protection Agency, General Permit Program, P.O. Box 1049, Columbus, Ohio 43266-0149.

8. The following uses and activities shall be prohibited in Phase 2 of the Development as a whole unless specific written approval therefore is given by the Developer, the Review Board, or the Association, as applicable:

(A) Industrial or manufacturing uses of any kind;

(B) Commercial agricultural uses;

(C) Mining or extraction of any minerals, including the removal of sand or gravel; provided, however, this restriction should not limit or prohibit the extraction of minerals pursuant to leases or rights granted prior to the date of these restrictions. This restriction shall not prohibit the removal of any material in connection with development of the property for permitted use.

(D) The keeping, raising, and harboring of cattle, swine, fowl, livestock, other farm animals, or any other animals not normally kept as household pets; provided, however, that nothing in this restriction shall prohibit the keeping of household pets provided they are not kept, bred or maintained for commercial purposes, or kept in a manner as to constitute a nuisance or activity prohibited by law.

(E) There shall be no outbuildings constructed on any Lot separate from the residence.

(F) There shall be no above ground swimming pools, except small portable inflated pools for children.

(G) Any containers used in connection with trash or garbage, if placed outside the residence, must be concealed from view and protected from animals. Collection services must pickup trash and garbage at the house and at no time shall either be placed at the street.

(H) Temporary structures including but not limited to trailers, basements or incomplete houses, tents, shacks, garages or other buildings of any kind; provided, however, that this restriction shall not prohibit trailers and temporary structures used in connection with the construction of the Development.

(I) Erection or maintenance of any signs, billboards or advertising devices of any kind except (a) signs not larger than ten (10) square feet for offering a Lot or residence for sale shall be permitted on the Lot to be sold (one per Lot). (b) Home Builders and General Contractor signs, not larger than ten (10) square feet (one per Lot) and only until sold. The configuration of home builder and general contracting signs shall be at the sole discretion of Developer. Nothing herein contained shall limit Developer's right to place entry signs to the Development or signs designating the existence and location of model homes. The size and design of said sign shall be within the sole discretion of Developer. All signs, including, but not limited to, directional signs, political signs, and garage or yard sale signs are strictly prohibited from being placed in the right of way. There shall be no For Rent signs placed by anyone.

(J) Nuisances and noxious or offensive activities of any kind.

(K) Storage of motor homes, campers, travel trailers, recreational vehicles, commercial trucks and trailers, machinery, equipment, boats and un-working vehicles, unless such is not in view from any street or adjacent residence. Nothing herein contained shall limit use of trucks, trailers, or equipment during construction. Recreational vehicles owned by the homeowner or guests of the homeowner may be parked in the homeowner's driveway for a period of time not to exceed seven calendar days on two separate occasions but shall not exceed fourteen days within any one calendar year.

(L) Hanging of laundry outdoors.

MONTICELLO PHASE 2 COVENANTS, CONDITIONS, AND RESTRICTIONS (CONTINUED)

- (M) No fences may be erected or placed or permitted on any Lot or Lots from the house to the street. In the rear Lot, fences exceeding three (3) feet may be permitted only if allowed by the applicable zoning code and approved, prior to installation, by the Review Board for decorative and aesthetic value. Wire mesh type fences are strictly prohibited in all instances. Any fence approved must be erected not less than two feet from the property line.
 - (N) Site lighting which interferes with the comfort, privacy or general welfare of adjacent or other Lot owners is prohibited. All site lighting, including security lighting, shall be approved by the Review Board prior to installation.
 - (O) Any oil tanks, gas meters, and bottled gas tanks shall be placed underground or placed in screened areas so that they shall not be visible from the adjoining Lots.
 - (P) No unsightly growth shall be permitted to grow or remain upon any Lot and no refuse, pipe or unsightly objects shall be allowed to be placed or suffered to remain anywhere thereon.
 - (Q) No satellite dishes shall be permitted, except those less than 20 inches in diameter and not visible from the street, and no TV or other antennas shall be erected.
 - (R) No Lot in Phase 2 shall be subdivided or divided, unless or until the plat showing such proposed subdivision or division shall have been submitted to the Review Board and the written consent of same have been obtained.
 - (S) No split face concrete block is permitted.
9. The following describes Start of Construction; Requirements of Completion; Notice of Completion; Non-completion or Non-compliance; Construction shall be completed no later than twelve months after construction was commenced. Landscaping shall be complete no later than 180 days after completion of construction. Upon nearing completion of the construction of a residence, the owner of a Lot or the builder should send a written notice to Developer or the Association, as applicable, advising of the expected date of completion and compliance. It is important that the expected date of completion be realistic to avoid unnecessary inspections and unnecessary notices of non-completion. Upon inspection by Developer or the Association, either a notification of non-completion or non-compliance, or a certificate of completion and compliance will be issued. If the residence is complete or nearly complete on the date projected, a notification of non-completion or non-compliance, or a certification of completion and compliance will be made available within several days of the actual completion date. Notice of non-compliance or non-completion will be considered delivered when it is posted on the residence in question. If time is of the essence to the builder or the owner of a Lot, or both, communication by telephone to Developer or the Association is encouraged to resolve any disputes. The certificate of completion and compliance shall be conclusive evidence that the residence is complete and is in compliance with the approved plans and Restrictions. Developer or the Association may make a reasonable charge for the issuance of such certification, which is to be paid at the time that the request for such certification is made. Repeated requests for certification, resulting from non-completion or non-compliance, may result in additional charges, due to the added inspection required.
10. Lots purchased, but on which construction has not commenced, are the sole responsibility of the Lot owner and must be mowed not less than once every thirty days during the growing season.
11. The following are additional Monticello Design Standards and Restrictions for the Lots in Phase 2:
- (A) Houses should fit into sloped Lots as much as possible. Stepped plan arrangements are encouraged to minimize cut and fill in these areas.
 - (B) Retaining wall in cut situations can be of stone or brick to match the house. All retaining wall designs must be approved by the Review Board.
 - (C) The rear yard on wooded Lots must remain as much as possible in its natural state. Decks and patios are permitted.
 - (D) Patios shall not be permitted in the front yard unless approved by Developer or the Review Board.
 - (E) Exact garage location shall be varied and garage doors shall be of one color.
 - (F) Yard lights to be of the approved design. Lights are designed to light walks and drives. Emergency floodlights for security are permitted provided they are located so as to not disturb adjacent owners.
 - (G) No vents or exposed pre-fab fireplace flues shall be placed on the front half (50%) of the roof area, regardless of roof slope or shape. Fireplace flues and flashing shall be painted the same color as the roof.
 - (H) No exposed concrete block foundation shall be permitted.
 - (I) Mailboxes and newspaper boxes will be provided and installed by the Developer (to be paid for by owners). Mailbox location will be determined by the United States Post Office.
 - (J) Roofs shall have a minimum pitch of 8/12.
 - (K) Each residence is to be pre-wired for cable TV. Cable TV will be provided underground adjoining each Lot.
 - (L) No more than two main wall colors and two main materials on any building unless approved in writing by the Review Board.
 - (M) A minimum of three trees, at least 1-1/2 inches in trunk diameter, per Lot are required on non-wooded Lots, in addition to trees provided by Developer along streets.
 - (N) Owners should select building sites and plans so as not to attempt to construct repetitious designs within close proximity. Furthermore, careful consideration must be given to rooflines of adjacent residences. An early discussion before design is encouraged if you have any question about approval regarding this point.
 - (O) Repainting of any existing residence with a color other than previously approved shall require approval of the Review Board.
 - (P) All builders are required to keep on record with Developer a 24-hour emergency phone number.
 - (Q) Building Materials: All materials used (roofs, walls, etc.) should be compatible with each other and blend together with a common tone. Natural colors are the most appropriate and will relate together the easiest. Accent colors are acceptable if used carefully to add detail and highlight architectural features. The following materials are acceptable for use in Phase 2:
 - (1) Wood Siding: Four and eight inch clapboard, rough or smooth finish; channel rustic boards; v-joint tongue and groove boards; wood shingles; all with semi transparent stains are recommended. Paint is allowed, but does require more maintenance than stain and is not considered as desirable as stain.
 - (2) Brick: Natural sand molded brick is preferred. "Manufactured" sand mold and textured brick may also be used. Color ranges should be subtle with no dark brown, speckled or glazed brick permitted. Brick detail in chimneys, sills, entry steps is encouraged. Brick or stone is required for all exposed foundation concrete block or poured foundation walls around the entire perimeter of the residence.
 - (3) Stone: Natural stone laid in a natural horizontal bed is preferred. Rubble and roughly squared stone is felt to be aesthetically more pleasing because of its natural quality than square cut dimensional or ashlar stone. Native Ohio limestone in gray or buff is recommended over more exotic stone.
 - (4) Stucco: Natural, hand finished, or sand textured are the preferred finishes; scratches, splashes and artificial textures are discouraged. Stucco colors must blend with other colors.
 - (5) Front facade of house to be a minimum of 85% masonry (consisting of brick, stone or stucco materials) vinyl or aluminum siding is permitted on front facades provided its use is limited to "accent" areas, such as gables and small dormers. Termination of masonry front facade materials shall be at inside building corners, and at second floor roof overhangs. Where front facade masonry turns an outside corner to the side of the house, masonry must continue to the next break in the building facade, or no less than four feet (4'-0") in a flat plane; rear corner of side wall; or terminate to a carefully designed detail of architectural element (faux column, window bay, etc.). All material applications are subject to approval by the Review Board.
 - (6) Other Materials: Use of other man made materials is permitted if they are painted to blend with other natural materials.
 - (7) The use of wrought iron and other decorative ornamentation must be approved by the Review Board.
- (8) All left, right and backsides of the residence should be finished with the same materials, or with compatible materials that blend with one another.
 - (9) Windows should be carefully selected and proportioned to enhance walls in which they are placed. Windows are required on all major walls. There are no restrictions for window type; however, the same window type must be used on all sides of the home. Metal windows should have a bronze colored finish or be clad in vinyl. No unpainted aluminum is acceptable. Muntins should only be used in traditional homes. On most homes, wide board trim on windows will add detail and will help integrate the window with the wall. Awnings are not acceptable unless they are cloth type and blend with the house.
 - (10) Brick or stone masonry exterior construction is required for all chimneys.
 - (11) On Lots which have steep front slopes the owners shall, within six (6) months of occupancy of their residences or within one year of transfer of title, which ever is earlier, plant at their expense, an appropriate ground cover on said slope which has been approved by Developer.
12. The Developer, for itself, its successors, and assigns, reserves the right to form a homeowners association, hereinafter referred to as "Association," whose membership shall eventually consist of the owners of all lots in the Development. It is the intent of the Developer that one (1) Association shall be formed for the benefit of Phase 1, Phase 2, and Phase 3 of the Development and any other land that may be added to the Development in the future.
- (A) Each and every owner in the Development, by virtue of ownership of a lot therein, shall become and during the entire period of ownership of said lot shall remain a member of any such Association, which shall be a corporation not for profit organized for the protection and benefit of all such owners and shall possess certain voting and property rights, subject to and limited by the provisions of this declaration of Covenants, Conditions and Restrictions, and the rights and powers of, and the rules and regulations hereinafter established by said Association. The Association may elect an Association Board comprised of a President, Vice President, Secretary, and Treasurer ("Association Board").
 - (B) The objectives of such Association Board shall be the enforcement of the Restrictions and Monticello Standards, the ownership and maintenance of property, the maintenance of unimproved property and easement areas, including but not limited to the wall located at the entrance of the Development, which shall be maintained along with the appropriate landscaping around said wall by the Association. The Association shall further be responsible for any maintenance necessary to the streets not paid for by the Township of Shawnee or the County of Allen, including the maintenance to the street lights and the payment for the use of the electric for said street lights and the lights at the entrance to the Development. Developer shall transfer to the Association the responsibility to pay for the costs associated with the street lighting and the lighting of the entrance wall at the discretion of the Developer. At such time, the Association Board shall be responsible for contacting the then electric supplier and taking any action that is necessary to remove the Developer as the obligor for purposes of paying the lighting bill and substitute the Association Board therein.

In consideration for performing the tasks enumerated herein, the Association Board or Developer, as the case may be, may obligate each Lot owner in Phase 2 for the payment of an annual assessment of such amount as may be fixed by the Association Board. Said assessment shall be paid annually and in advance on the 1st day of April of each year. Assessments shall be prorated based upon the month of the sale date of each Lot. The funds thus obtained shall be used by the Association for the purposes enumerated herein, and for maintaining, planting, improving, or cleaning easement areas, vacant property and for otherwise benefiting the development as the Association Board may determine. Until seventy-five percent (75%) of the Lots have been sold in the Development or at such earlier time as decided by the Developer and said Association organized, the Developer or its successors and assigns shall have the foregoing right of assessment and the use of the funds thus obtained for all of the aforementioned purposes.
 - (C) By acceptance of the deed to a Lot or tract of land in Phase 2, the grantees do grant to such Association, and until its formation, the Developer, the rights to place a notice of lien against any Lot(s) or tract(s) owned by grantee in such Phase 2 upon the grantee becoming delinquent in the payment of any assessments levied against the Lots in Phase 2 pursuant to these Restrictions and any amendments or modifications thereto.
13. The Development receives water service from the City of Lima and Allen County. The Water District is subject to the Rules and Regulations of the Allen County Health Department. Said Rules and Regulations require, among other things, that all plumbing on the premises, to include original construction, be performed by a plumbing contractor licensed by Allen County, that materials and installation be in compliance with Allen County and applicable Allen County permits be obtained. Failure to comply with these and other regulations may result in the denial and/or shutoff of City of Lima water to the Development.
14. Each Lot owner shall be responsible for the repair, replacement, and maintenance, including snow removal, of the sidewalk lying in front of their residence running between each Lot's side boundary lines. If the owner of a Lot fails or refuses to maintain the sidewalk as enumerated herein, the Association Board may, but shall not be obligated to, have the repairs performed and assess the Lot owner with the charges incurred, as a special assessment.
15. The Developer reserves the right for itself, its agents, employees, successors, and assigns to enter upon any Lot for the purpose of carrying out and completing the development of the property, including, but not limited to, the completion of any filling, grading, or installation of drainage facilities. Entry onto said property for such purposes shall not be deemed a trespass.
16. The provisions herein shall run in favor of and shall be enforceable by any person, and the heirs and assigns of such person, who is or becomes owner of any lot in the Development, as well as the Developer and its successors or assigns.
17. All of the provisions of this instrument shall be deemed as restrictive covenants running with the land, and shall be binding on all owners of any part of the Lots in Phase 2 and all persons claiming under them until January 1, 2025, and shall be automatically extended beyond that date for successive fifteen (15) year periods unless an appropriate instrument signed by the majority of the then homeowners in the Development has been recorded, agreeing to change said covenants in whole or in part.
18. The Developer reserves for itself, its successors, and assigns the right to amend, change, cancel, or add to any or all of the aforementioned provisions when it deems such course of action advisable; provided, however, that no amendment, change, cancellation, or addition shall be made unless an appropriate instrument signed by the majority of the then homeowners in Phase 2 has been recorded, agreeing to such amendment, change, cancellation, or addition.
19. In the event that Developer and/or the Association takes any action, legally or otherwise, to enforce any provision of these Restrictions, the Lot owner(s) against whom the action is taken shall be assessed for and responsible to pay any and all costs and expenses (including, but not limited to, discovery, court costs and/or reasonable attorney's fees) incurred by Developer and/or Association related to the action.
20. Easements and rights-of-way are reserved under, in and over Lots as shown on plat for the construction, operation and maintenance of electric power, telephone facilities, pipelines supplying natural gas, roads, drainage facilities, sanitary sewers and lift station, waterlines and cablevision. Easements shown on plat may be used by public and private utilities as circumstances require without incurring any liability from property owners for damage to sod, shrubbery or other surface improvements within the platted easements. No permanent structures or permanent plantings of trees or shrubs shall be placed on easements designated on plat.

CENTERLINE FT. AMANDA RD.(60')

ADJOINING PROPERTY OWNERS	
①	LARRY D. WENGER (VOL.678, P.648)
②	CHARLES J. & KRISTINA F. GREELEY (VOL.828, P.526)
③	DORA J. KLOPP (VOL.632, P.879)
④	JAMES C. & CHRISTINA L. WELLMAN (VOL.917, P.682)
⑤	HENRY L. & CHADINE A. ROBERTS (VOL.656, P.492)
⑥	WARD R. & PAMELA A. JACKSON (VOL.884, P.666)
⑦	DENNIS L. & MARCIA C. VAN HORN (VOL.676, P.641)
⑧	THOMAS J. GRIFFO (VOL.914, P.201)

THIS PLAT REPRESENTS AN ACTUAL SURVEY COMPLETED IN NOVEMBER 2003. REFERENCES INCLUDE OFFICE RECORDS, DEEDS, TAX MAPS, AND THE FOLLOWING SURVEYS: -KUCK & MORRISEY SURVEY DATED 3-09-2001. -KOHLI & KALHER SURVEY OF 176.541.

LINE TABLE		
LINE	LENGTH	BEARING
L1	106.01'	S 59°30'06" E
L2	175.39'	N 87°46'54" E
L3	92.00'	N 02°13'06" W
L4	158.03'	N 87°46'54" E
L5	60.63'	N 83°16'22" E
L6	127.11'	N 87°46'54" E

CURVE TABLE					
CURVE	CHORD DIRECTION	CHORD LENGTH	ARC LENGTH	RADIUS	DELTA
1	S 23°08'06" W	70.04'	70.16'	350.79'	11°27'34"
2	N 00°37'50" E	108.47'	108.48'	3795.35'	01°38'15"
3	N 44°40'54" E	41.00'	45.13'	30.00'	86°12'00"

LEGEND	
Ⓜ	CONCRETE MONUMENT W/ 5/8" X 30" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
Ⓜ	CONCRETE MONUMENT W/ 5/8" IRON PIN WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH" FOUND
●	5/8" X 30" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
⊙	3/4" IRON PIPE PLUGGED WITH A MARKER STAMPED "K & K / LIMA" FOUND
○	3/4" IRON PIPE FOUND (NOT CAPPED)
△	IRON PIN WITH A MARKER STAMPED "PS 6920" FOUND
▲	12" ROUND WOOD CORNER POST FOUND (DETERIORATED, HOLLOWED OUT, APPROX. 4' REMAINING)
⊠	BRASS MONUMENT ASSEMBLY SET
⊙	PK NAIL SET
⊠	CHISELED "X" IN A MONUMENT BOX FOUND
▼	MINE SPIKE FOUND

DEDICATOR'S LAND MONTICELLO PHASE 2 IN THE S.E. 1/4 SECTION 9, THE S.W. 1/4 SECTION 10, THE N.E. 1/4 SECTION 16, & THE N.W. 1/4 SECTION 15 T 4 S - R 6 E VILLAGE OF FORT SHAWNEE & SHAWNEE TOWNSHIP ALLEN COUNTY, OHIO

TAX PARCELS:
46-0904-05-012.000, 46-1605-01-001.002,
46-1003-04-014.001, 46-1506-01-002.001,
& 46-1605-01-006.001

DEDICATOR'S LAND
MONTICELLO PHASE 2
45.091 ACRES

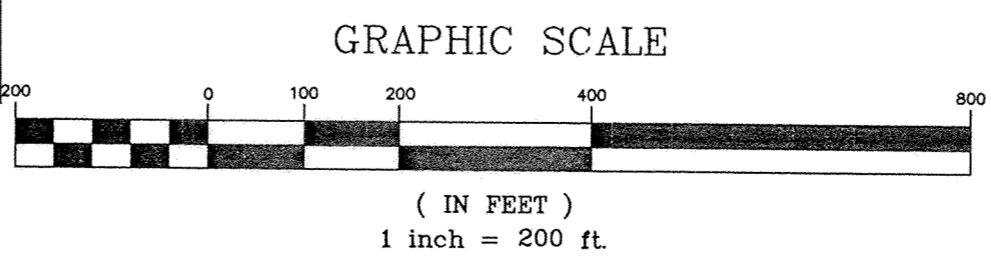
Being a parcel of land situated in the Southeast Quarter of Section 9, the Southwest Quarter of Section 10, the Northeast Quarter of Section 16 and the Northwest Quarter of Section 15, Township 4 South, Range 6 East, Shawnee Township and the Village of Fort Shawnee, Allen County, Ohio, and being more particularly described as follows:

Commencing for reference at a chiseled "X" in the lid of a monument box found marking the southeast corner of the Northeast Quarter of Section 16 and the intersection of the centerline of Zurmehly Road with the centerline of Beeler Road -
Thence North 01°-36'-47" West on and along the east line of said Northeast Quarter of Section 16 for a distance of 2060.32 feet to a 12-inch diameter round wood corner post found marking the **PRINCIPAL POINT OF BEGINNING** for the parcel to be described herein -
Thence South 00°-49'-42" East for a distance of 511.08 feet to a 3/4-inch iron pipe with "K & K/Lima" plug found -
Thence South 01°-36'-47" East for a distance of 228.10 feet to a 3/4-inch iron pipe with "K & K/Lima" plug found -
Thence South 88°-29'-17" West for a distance of 1287.12 feet to a 3/4-inch iron pipe with "K & K/Lima" plug found -
Thence North 01°-40'-46" West for a distance of 828.06 feet to a 3/4-inch iron pipe with "K & K/Lima" plug found -
Thence North 88°-31'-06" East for a distance of 646.85 feet to a 3/4-inch iron pipe with "K & K/Lima" plug found -
Thence North 02°-15'-06" West for a distance of 1081.16 feet to a concrete monument found -
Thence North 87°-44'-54" East for a distance of 198.80 feet to a concrete monument found -
Thence South 59°-30'-06" East for a distance of 106.01 feet to a concrete monument found on the easterly line of Gaithersburg Drive -
Thence on and along a curve to the left having a radius of 350.79 feet, an arc length of 70.16 feet, a delta of 11°-27'-34" and a chord bearing South 23°-08'-06" West for a distance of 70.04 feet to a concrete monument found -
Thence North 87°-46'-54" East for a distance of 175.39 feet to a concrete monument found -
Thence North 02°-13'-06" West for a distance of 92.00 feet to a concrete monument found -
Thence North 87°-46'-54" East for a distance of 158.03 feet to a concrete monument found -
Thence on and along a curve to the right having a radius of 3795.35 feet, an arc length of 108.48 feet, a delta of 01°-38'-15" and a chord bearing North 00°-37'-50" East for a distance of 108.47 feet to a concrete monument found -
Thence North 83°-16'-22" East for a distance of 60.63 feet to a concrete monument found -
Thence on and along a curve to the right having a radius of 30.00 feet, an arc length of 45.13 feet, a delta of 86°-12'-00" and a chord bearing North 44°-40'-54" East for a distance of 41.00 feet to a concrete monument found on the south line of Potomac Drive -
Thence North 87°-46'-54" East on and along said south line of Potomac Drive for a distance of 127.11 feet to a concrete monument found -
Thence South 02°-13'-06" East for a distance of 1292.44 feet to a concrete monument set -
Thence South 88°-29'-53" West for a distance of 166.43 feet to the **place of beginning**.

Containing in all 45.091 acres of land subject, however, to all legal easements and rights of way.
8.218 acres in Section 9, Shawnee Township;
2.558 acres in Section 10, Shawnee Township;
2.229 acres in Section 15, Shawnee Township;
10.194 acres in Section 16, Shawnee Township;
21.892 acres in Section 16, Village of Fort Shawnee
45.091 acres

NOTES: 1. Bearings are based on the south line of the Northeast 1/4 of Section 16 and the centerline of Zurmehly Road as being South 88°-20'-55" West.
2. All concrete monuments found or set contain an embedded 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.

PREPARED BY:
SHELDON ENGINEERING & SURVEYING, INC.
1280 N. COLE ST. LIMA, OHIO 45801
TELE: (419) 228-4421
JAMES D. SHELDON, P.E., P.S.



SHELDON ENGINEERING & SURVEYING, INC.			
LIMA, OHIO			
12-09-2004	DATE	JOB NO.	22074D2
DRAWN	WSM	NO.	22074D2
CHECKED	JDS	SCALE	1" = 200'
APPROVED	JDS		

HIGHLAND GREENS SUBDIVISION
P.B.11, P.59

45.091 ACRES	
-8.218 ACRES IN SECTION 9	(#46-0904-05-012.000)
-2.558 ACRES IN SECTION 10	(#46-1003-04-014.001)
-2.229 ACRES IN SECTION 15	(#46-1506-01-002.001)
-32.086 ACRES IN SECTION 16	(10.194 ACRES IN #46-1605-01-001.002; 21.892 ACRES IN #46-1605-01-006.001)
R3-RESIDENTIAL ZONE: 5.204 ACRES	
R1-RESIDENTIAL ZONE: 39.887 ACRES	

YOAKAM RD.
S.W. CORNER N.E. 1/4 SECTION 16 (BEARING BASE) S 88°20'55" W

R1-RESIDENTIAL
SHAWNEE DEVELOPMENT, LTD.
VOL.880, P.278

R1-RESIDENTIAL

CENTERLINE ZURMEHLY RD.

BEELER RD.

HERITAGE MEADOW SUBDIVISION #4A

IN THE N.E. 1/4 OF SECTION 19

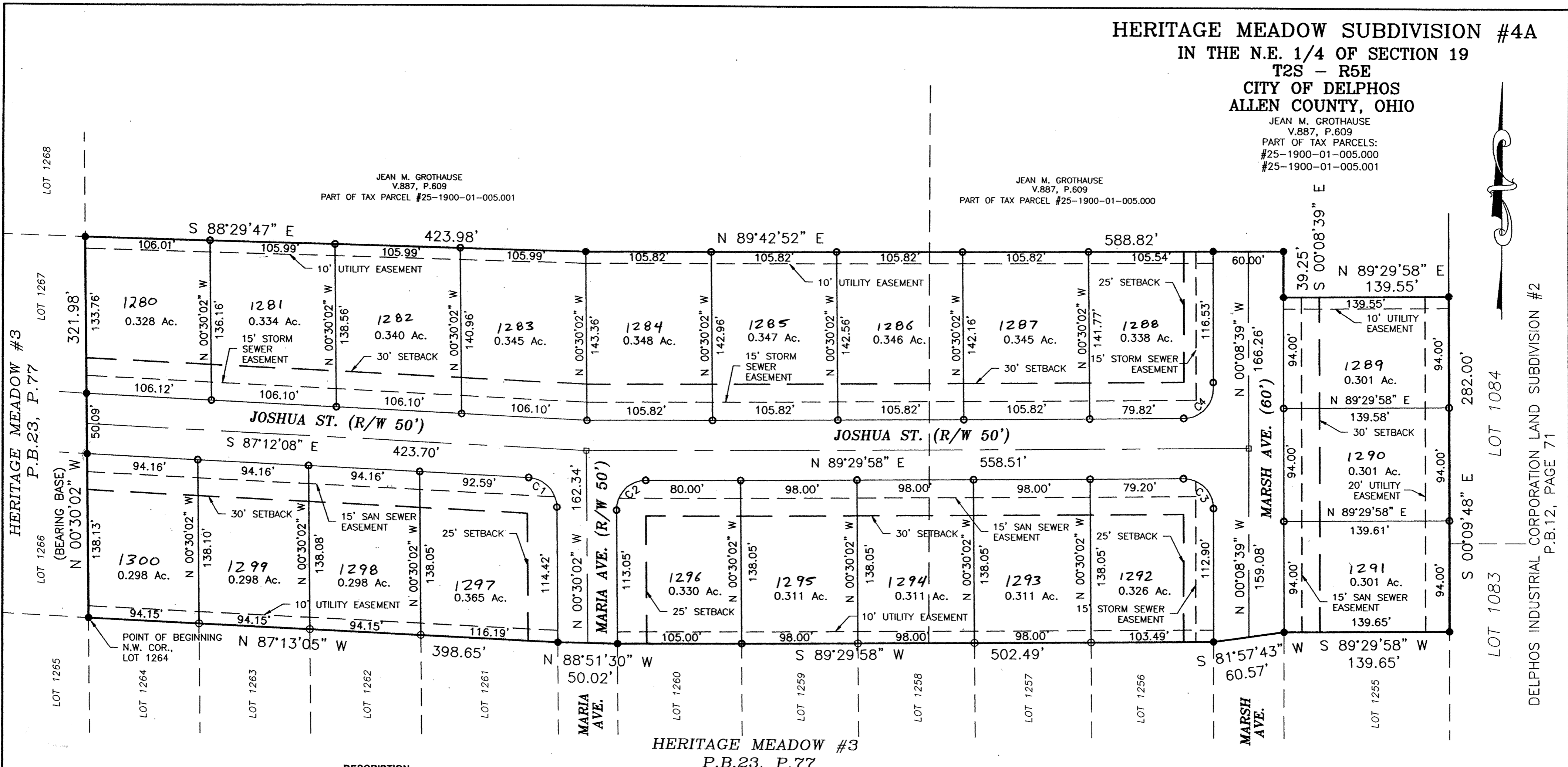
T2S - R5E

CITY OF DELPHOS
ALLEN COUNTY, OHIO

JEAN M. GROTHAUSE
V.887, P.609
PART OF TAX PARCELS:
#25-1900-01-005.000
#25-1900-01-005.001

JEAN M. GROTHAUSE
V.887, P.609
PART OF TAX PARCEL #25-1900-01-005.001

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V.887, P.609
PART OF TAX PARCEL #25-1900-01-005.000



HERITAGE MEADOW #3
P.B.23, P.77

DELPHOS INDUSTRIAL CORPORATION LAND SUBDIVISION #2
P.B.12, PAGE 71

DESCRIPTION
HERITAGE MEADOW SUBDIVISION #4A
8.533 ACRES

Being a parcel of land situated in the Northeast Quarter of Section 19, Township 2 South, Range 5 East, Marion Township, now in the City of Delphos, Allen County, Ohio, and being more particularly described as follows:

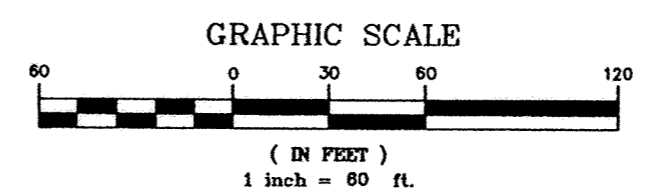
BEGINNING FOR THE SAME at a concrete monument set marking the northwest corner of Lot Number 1264 in Heritage Meadow #3 Subdivision (Plat Book 23, Page 77) -

- Thence North 00°-30'-02" West (bearing base) on and along said Heritage Meadow #3 Subdivision for a distance of 321.98 feet to a concrete monument set, passing concrete monuments set at 138.13 feet and at 188.22 feet -
- Thence South 88°-29'-47" East for a distance of 423.98 feet to a concrete monument set -
- Thence North 89°-42'-52" East for a distance of 588.82 feet to a concrete monument set -
- Thence South 00°-08'-39" East for a distance of 39.25 feet to a concrete monument set -
- Thence North 89°-29'-58" East for a distance of 139.55 feet to a concrete monument set on the west line of Delphos Industrial Corporation Land Subdivision Number Two (Plat Book 12, Page 71) -
- Thence South 00°-09'-48" East on and along said west line for a distance of 282.00 feet to a concrete monument set at the northeast corner of Lot 1255 in Heritage Meadow #3 Subdivision -
- Thence on and along said Heritage Meadow #3 Subdivision the following five (5) courses:
 - 1) South 89°-29'-58" West for a distance of 139.65 feet to a concrete monument set -
 - 2) South 81°-57'-43" West for a distance of 60.57 feet to a concrete monument set -
 - 3) South 89°-29'-58" West for a distance of 502.49 feet to a concrete monument set -
 - 4) North 88°-51'-30" West for a distance of 50.02 feet to a concrete monument set -
 - 5) North 87°-13'-05" West for a distance of 398.65 feet to the place of beginning.

Containing in all 8.533 acres of land subject, however, to all legal easements and rights of way.

The foregoing description is based on a current field survey and office records of previous field surveys performed under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

NOTE: All concrete monuments set are embedded with a 5/8" x 30" rebar with "Sheldon E&S Lima, OH" cap.



LEGEND

- - BRASS SURVEY MARKER SET
- - 5/8" IRON PIN W/ "SHELDON E&S LIMA, OH" CAP IN CONCRETE SET
- - 5/8" IRON PIN W/ "SHELDON E&S LIMA, OH" CAP SET
- - 5/8" IRON PIN W/ "SHELDON E&S LIMA, OH" CAP FOUND

CURVE TABLE

CURVE	CHORD DIRECTION	CHORD LENGTH	ARC LENGTH	RADIUS	DELTA
1	N 43°51'05" W	34.32'	37.83'	25.00'	86°42'06"
2	S 44°29'58" W	35.36'	39.27'	25.00'	90°00'00"
3	N 45°19'20" W	35.47'	39.43'	25.00'	90°21'23"
4	N 44°40'39" E	35.25'	39.11'	25.00'	89°38'37"

ZONING : R1 RESIDENTIAL DISTRICT

AREA IN RIGHT OF WAY = 1.711 ACRES
AREA IN RESIDENTIAL LOTS = 6.822 ACRES
TOTAL AREA = 8.533 ACRES

OWNER/DEVELOPER:
JEAN M. GROTHAUSE
20373 ROAD 23T
FT. JENNINGS, OHIO 45844
TELE: (419) 286-2199

PREPARED BY:
SHELDON ENGINEERING & SURVEYING
1280 N. COLE ST. LIMA, OHIO 45801
TELE: (419) 228-4421
JAMES D. SHELDON, P.E. & P.S.
REG. SURVEYOR # 4569

OWNERS' DEDICATION AND ACKNOWLEDGMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT, AND DEDICATE THE STREETS AS SHOWN THEREON, COMPRISING A TOTAL OF 1.711 ACRES, TO THE PUBLIC USE FOREVER.

EASEMENTS SHOWN ON THIS PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, OR REMOVAL OF WATER, STORM SEWER, OPEN DITCH, SANITARY SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER UTILITY LINES OR SERVICES AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER. ALL EXISTING LEASES ARE VOIDED.

THIS PLAT IS SUBJECT TO THE SAME RESTRICTIONS AS RECORDED IN HERITAGE MEADOW SUBDIVISION, PLAT BOOK 18, PAGE 12, EXCEPT FOR THE FOLLOWING:

- RESTRICTION NO.2 - NO RESIDENTIAL ONE STORY, TWO-STORY, OR BI-LEVEL DWELLING HAVING A TOTAL LIVING AREA OF THE MAIN STRUCTURE OF LESS THAN 1500 SQUARE FEET EXCLUSIVE OF OPEN PORCHES, VERANDAHS, PORTE COCHERES, AND GARAGE SHALL BE ERRECTED, ALTERED, PLACED OR PERMITTED TO REMAIN ON ANY LOT EXCEPT THAT THE TOTAL LIVING AREA REQUIREMENT OF ANY DWELLING CONSTRUCTED ON ANY OF THE FIRST SIX (6) LOTS ON EACH SIDE OF THE WEST END OF JOSHUA DRIVE SHALL HAVE A TOTAL LIVING AREA OF THE MAIN STRUCTURE OF NOT LESS THAN 1750 SQUARE FEET EXCLUSIVE OF OPEN PORCHES, VERANDAHS, PORTE COCHERES, AND GARAGE. NO DWELLING HAVING A ROOF PITCH OF LESS THAN 5/12 SHALL BE PERMITTED ON ANY LOT.
- RESTRICTION NO.3 - NO STRUCTURE OTHER THAN A DETACHED SINGLE DWELLING WITH A TWO- OR THREE-CAR GARAGE SHALL BE ERRECTED, MAINTAINED OR PERMITTED TO REMAIN ON THE PREMISES. NO OLD BUILDINGS OR STRUCTURES SHALL BE MOVED ONTO ANY OF THE BUILDING PLOTS IN SAID SUBDIVISION AND NO STRUCTURE OF A TEMPORARY CHARACTER, TRAILER, RECREATIONAL VEHICLE, BASEMENT, TENT, SHACK, GARAGE OR OTHER OUTBUILDING SHALL BE USED ON ANY LOT AT ANY TIME AS A RESIDENCE, EITHER TEMPORARILY OR PERMANENTLY. THE ONLY EXCEPTION WILL BE THOSE LOTS ON THE EAST SIDE OF MARSH AVENUE WHICH MAY HAVE EITHER A SINGLE OR DOUBLE FAMILY DWELLING CONSTRUCTED ON THESE LOTS.
- RESTRICTION NO.11 - NO SATELLITE DISH HAVING A DIAMETER LARGER THAN TWO FEET (2') SHALL BE PLACED IN THE SUBDIVISION.
- RESTRICTION NO.17 - THESE RESTRICTIONS, COVENANTS AND CONDITIONS SHALL RUN WITH THE LAND AND SHALL BE BINDING ON ALL FUTURE OWNERS OF ALL BUILDING SITES AND ALL PERSONS CLAIMING UNDER THEM UNTIL JANUARY 1, 2025, AFTER WHICH TIME SAID RESTRICTIONS, COVENANTS AND CONDITIONS SHALL BE AUTOMATICALLY EXTENDED FOR SUCCESSIVE PERIODS OF TEN (10) YEARS EACH PROVIDED THAT THE OWNERS OF A THREE-FOURTHS (3/4) MAJORITY OF THE BUILDING SITES MAY, IN WRITING, CHANGE, MODIFY, ALTER, AMEND OR ANNUL ANY OF THE OTHER RESTRICTIONS, RESERVATIONS OR CONDITIONS AT ANY TIME.

Hyth J. Mansfield
WITNESS

Jean M. Grothause
JEAN M. GROTHAUSE

Mary Jane Osting
WITNESS

NOTARY PUBLIC

STATE OF OHIO
ss:
ALLEN COUNTY

BE IT REMEMBERED THAT ON THIS 31 DAY OF March, 2005, PERSONALLY CAME THE SAID JEAN M. GROTHAUSE, TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE THEIR VOLUNTARY ACT AND DEED.

Hyth J. Mansfield
NOTARY PUBLIC IN AND FOR ALLEN COUNTY, OHIO
Hyth J. Mansfield
ORC 147.03
MY COMMISSION EXPIRES: _____

APPROVAL BY THE CITY PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE PLANNING COMMISSION ON _____ THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THE DATE OF THIS APPROVAL.

3/29/05
DATE

Debbie A. Lemieux
MAYOR OF THE CITY DELPHOS, OHIO
AND CHAIRMAN OF CITY PLANNING COMMISSION.
Donald Kung

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS FILED FOR TRANSFER ON April 1, 2005. FEE: \$ 10.50.

Bern E. Deussenbrock
ALLEN COUNTY AUDITOR sm

COUNTY RECORDER

200505029

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON April 1, 2005 AND THAT IT WAS RECORDED ON April 1, 2005 IN VOL. 26, PAGE 165, PLAT RECORDS OF ALLEN COUNTY, OHIO. FEE: \$ 124.20. Time 9:56 AM

Mona S. Lash
ALLEN COUNTY RECORDER by MH

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A CURRENT TRUE AND COMPLETE SURVEY COMPLETED BY ME OR UNDER MY SUPERVISION AND THAT ALL MARKERS ARE CORRECTLY SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE WITHIN SIX (6) MONTHS FROM THE DATE OF RECORDING.

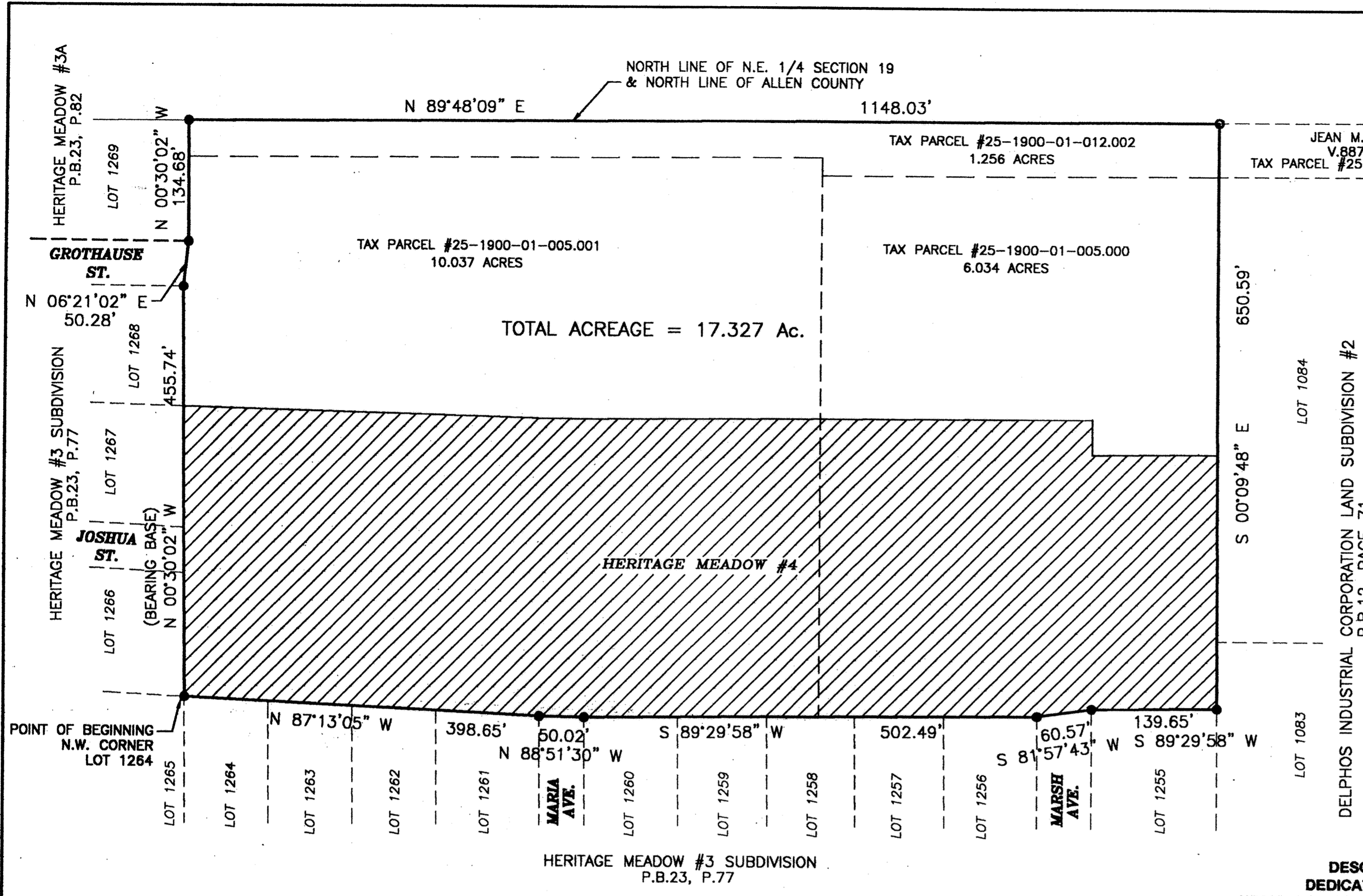
23 March 05
DATE

James D. Sheldon
JAMES D. SHELDON, P.E., P.S.
OHIO REGISTERED SURVEYOR #4569



**DEDICATORS' LAND
HERITAGE MEADOW SUBDIVISION #4A
IN THE N.E. 1/4 OF SECTION 19
T 2 S - R 5 E
CITY OF DELPHOS
ALLEN COUNTY, OHIO**

JEAN M. GROTHAUSE
V.887, P.609
TAX PARCELS:
#25-1900-01-005.000
#25-1900-01-005.001
#25-1900-01-012.002

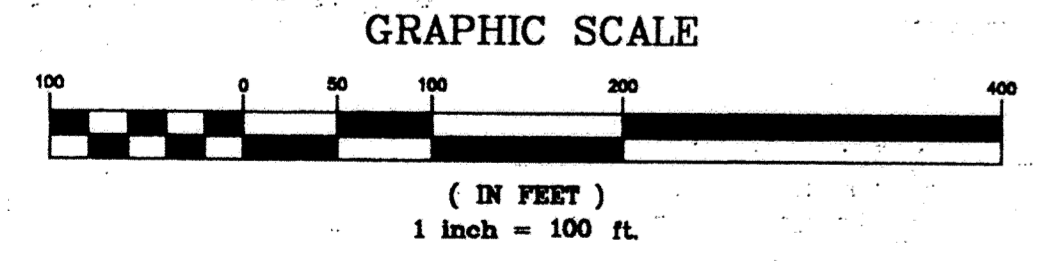


**DESCRIPTION
DEDICATORS' LAND
HERITAGE MEADOW SUBDIVISION #4A
17.327 ACRES**

REVIEWED BY:
[Signature]
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 2/23/05

PREPARED BY:
SHELDON ENGINEERING & SURVEYING
1280 N. COLE ST. LIMA, OHIO 45801
TELE: (419) 228-4421
JAMES D. SHELDON, P.E. & P.S.
REG. SURVEYOR # 4569
REG. ENGINEER # 24779

OWNER/DEVELOPER:
JEAN M. GROTHAUSE
20373 ROAD 23T
FT. JENNINGS, OHIO 45844
TELE: (419) 286-2199



LEGEND

○	- 5/8" IRON PIN W/ "SHELDON E&S LIMA, OH" CAP FOUND
●	- 5/8" IRON PIN W/ "SHELDON E&S LIMA, OH" CAP IN CONCRETE SET

Being a parcel of land situated in the Northeast Quarter of Section 19, Township 2 South, Range 5 East, Marion Township, now in the City of Delphos, Allen County, Ohio, and being more particularly described as follows:
BEGINNING FOR THE SAME at a concrete monument set marking the northwest corner of Lot Number 1264 in Heritage Meadow #3 Subdivision (Plat Book 23, Page 77) -
Thence on and along said Heritage Meadow #3 Subdivision the following two (2) courses:
1) North 00°-30'-02" West (bearing base) for a distance of 455.74 feet to a concrete monument set -
2) North 06°-21'-02" East for a distance of 50.28 feet to a concrete monument set marking the southwest corner of Lot 1269 in Heritage Meadow Subdivision #3A (Plat Book 23, Page 82) -
Thence North 00°-30'-02" West on and along the east line of said Heritage Meadow Subdivision #3A for a distance of 134.68 feet to a concrete monument set on the north line of said Northeast Quarter of Section 19 (also being the north line of Allen County) -
Thence North 89°-48'-09" East on and along the north line of said Northeast Quarter and said Allen County line for a distance of 1148.03 feet to a 5/8-inch iron pin found -
Thence South 00°-09'-48" East for a distance of 650.59 feet to a concrete monument set marking the northeast corner of Lot 1255 in said Heritage Meadow #3 Subdivision -
Thence on and along said Heritage Meadow #3 Subdivision the following five (5) courses:
1) South 89°-29'-58" West for a distance of 139.65 feet to a concrete monument set -
2) South 81°-57'-43" West for a distance of 60.57 feet to a concrete monument set -
3) South 89°-29'-58" West for a distance of 502.49 feet to a concrete monument set -
4) North 88°-51'-30" West for a distance of 50.02 feet to a concrete monument set -
5) North 87°-13'-05" West for a distance of 398.65 feet to the **place of beginning**.
Containing in all 17.327 acres of land subject, however, to all legal easements and rights of way.

The foregoing description is based on a current field survey and office records of previous field surveys performed under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).
NOTE: All concrete monuments set are embedded with a 5/8" x 30" rebar with "Sheldon E&S Lima, OH" cap. All iron pins found are 5/8" x 30" rebar with "Sheldon E&S Lima, OH" cap.